

CITY OF WESTMINSTER			
PLANNING APPLICATIONS SUB COMMITTEE	Date 20 December 2022	Classification For General Release	
Report of Director of Town Planning & Building Control		Ward(s) involved Abbey Road	
Subject of Report	150 And 152, Hamilton Terrace, London, NW8 9UX		
Proposal	Demolition of rear of building and roof and erection of rear extension, roof extension, landscaping; alterations to entrance gates; new windows to front and side elevations; and associated works.		
Agent	hgh Consulting		
On behalf of	Shrikant and Aditya Padmanabhan and Singhal		
Registered Number	22/02259/FULL	Date amended/ completed	27 September 2022
Date Application Received	4 April 2022		
Historic Building Grade	Unlisted Building of Merit		
Conservation Area	St John's Wood		
Neighbourhood Plan	Not applicable		

1. RECOMMENDATION

Grant Conditional Permission.

2. SUMMARY & KEY CONSIDERATIONS

This application relates to a pair of semi-detached houses. It is proposed to demolish the rear elevation and roof of the houses and erection rear and roof extensions together with other external alterations new windows to the front and side elevations.

Objections have been received from 9 neighbours (from 6 properties) on grounds including design, amenity, sustainability and overdevelopment.

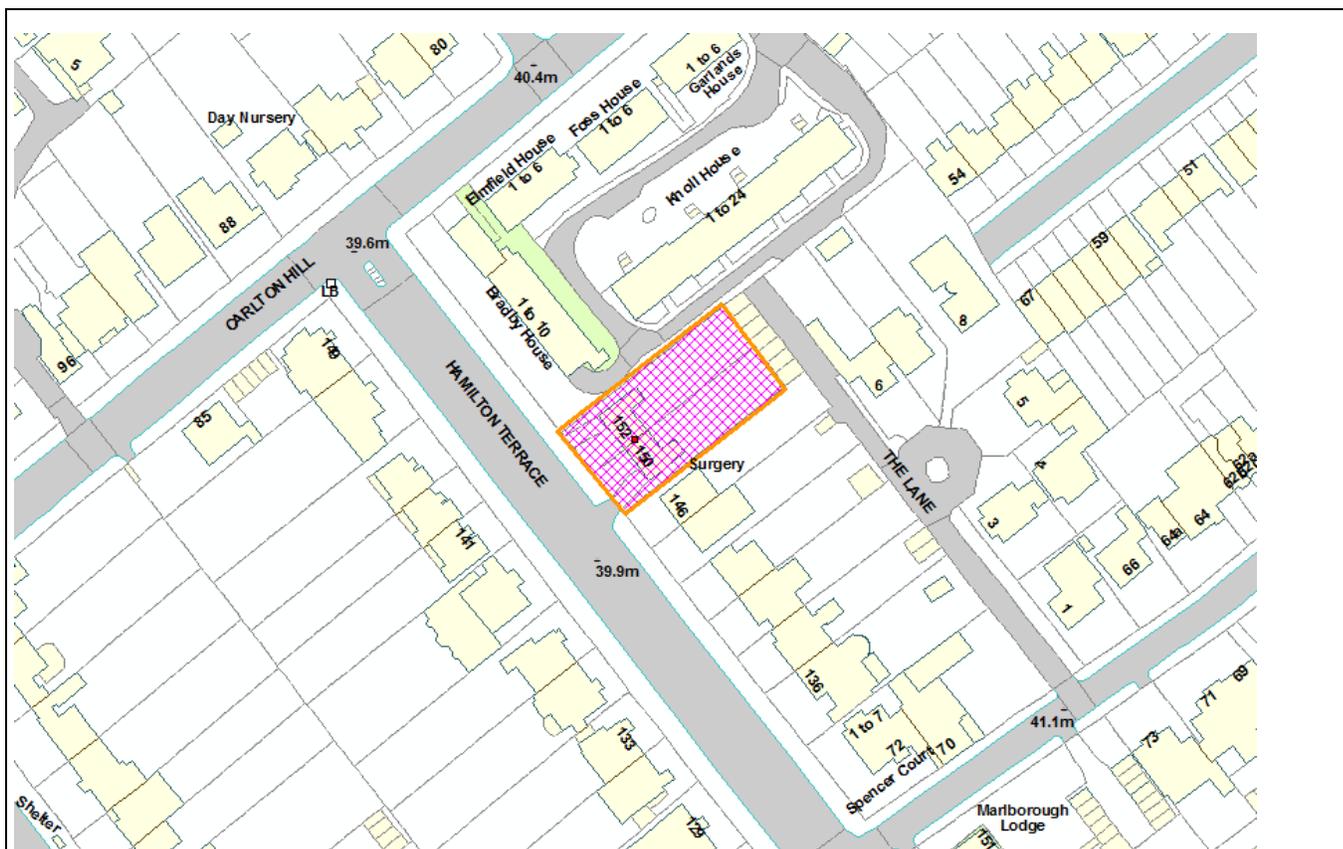
The key considerations in this case are:

- The impact of the proposal on these unlisted buildings of merit and on the character and appearance of the St Jon's Wood Conservation Area.

- The impact on the amenity of neighbouring residential properties.

The proposals are not considered harmful to the character and appearance of the houses or detrimental to the character and appearance of St John's Wood Conservation Area. The proposals are considered to be acceptable in amenity terms. The application is being recommended for conditional approval requiring that the development is carried out in one continual programme of works and completed in entirety.

3. LOCATION PLAN



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4. PHOTOGRAPHS

Front elevation



Rear Elevation



5. CONSULTATIONS

5.1 Application Consultations

ST JOHN'S WOOD SOCIETY

Any response to be reported verbally.

ARBORICULTURAL MANAGER

No objection subject to conditions

HIGHWAYS PLANNING –

No objection subject to conditions. Requests clarification on the method of opening of front gates and waste storage provision.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 44

Total No. of replies: 9 from a total of 6 properties

No. of objections: 9 from a total of 6 properties

No. in support: 0

9 objections from 6 properties in Knoll and Bradby House, on one or all of the following grounds:-

Land Use

- Overdevelopment of the site and overly large units.

Design

- Impact on leafy character of conservation area as result of extension and terrace
- Extensions not subordinate
- Building line of Bradby House should be used as natural limit for 150/152.
- Object to multi storey extension
- Size and Scale of the development
- Townscape visual impact submission incorrect because of use of shrubbery to block images of terrace and misrepresentation of the size of development.

Amenity

- loss of daylight/sunlight to Bradby House and Knoll House at 77 Carlton Hill.
- Loss of privacy because of rear extension being closer to 77 Carlton Hill
- Sunlight and daylight Report insufficient and impact on sunlight would be beyond disclosed VSC scores.
- Loss of privacy to Knoll House from rear terraces

Sustainability

- Co2 report insufficient in not considering construction burden
- Excessive carbon footprint of extension

Trees

- Previous unauthorised removal of trees.

Other Issues

- Disruption including noise and dust caused by works
- Encroachment of building on garden/open space

PRESS NOTICE/ SITE NOTICE:

Yes

5.2 Applicant's Pre-Application Community Engagement

Formal pre-application engagement is not required for a development of this scale although it is encouraged by the City Council for all development. No community engagement was carried out with regards to this proposal however the applicant did engage with officers through its pre-application advice service.

6. WESTMINSTER'S DEVELOPMENT PLAN

6.1 City Plan 2019-2040 & London Plan

The City Plan 2019-2040 was adopted at Full Council on 21 April 2021. The policies in the City Plan 2019-2040 are consistent with national policy as set out in the National Planning Policy Framework (NPPF) (July 2021) and should be afforded full weight in accordance with paragraph 219 of the NPPF. Therefore, in accordance with Section 38 of the Planning and Compulsory Purchase Act 2004, it comprises the development plan for Westminster in combination with the London Plan, which was adopted by the Mayor of London in March 2021 and, where relevant, neighbourhood plans covering specific parts of the city (see further details in Section 6.2).

As set out in Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 49 of the NPPF, the application must be determined in accordance with the development plan, unless material considerations indicate otherwise.

6.2 Neighbourhood Planning

The application site is not located within an area covered by a Neighbourhood Plan.

6.3 National Policy & Guidance

The City Plan 2019-2040 policies referred to in the consideration of this application have been examined and have been found to be sound in accordance with tests set out in Paragraph 35 of the NPPF. They are considered to remain consistent with the policies in the NPPF (July 2021) unless stated otherwise.

7. BACKGROUND INFORMATION

7.1 The Application Site

The application site includes 150 and 152 Hamilton Terrace, both semi-detached dwellinghouses which make up this mid20th Century four storey building. The site is located on the Northeast side of Hamilton Terrace and is located within the St John's Wood Conservation Area. Bradby House is a block of flats fronting Hamilton Terrace to the Northwest of the site, Knoll House is located to the North of the site behind Bradby House and 148 Hamilton Terrace is to the South East of the site also fronting Hamilton Terrace. There is a row of private garages directly to the rear of the site. There is a mature lime tree located within the front garden of 146 Hamilton Terrace adjacent to the site and a mature London Plan street tree located in front of No 150 Hamilton Terrace.

7.2 Recent Relevant History

No recent planning history.

8. THE PROPOSAL

The application proposes the following:

- Demolition of the rear elevation of both houses, including rear outriggers at lower ground and ground floor level and the demolition of their roofs
- Four storey rear extensions (lower ground to second floor level
- Rear ground floor terraces,
- Roof extensions with rear dormer windows, living roof, solar panels and rooflights.
- Replacement of windows throughout and the addition of new windows to the front and side elevations
- The conversion of the existing garages into habitable accommodation
- Creation of a patio/terrace area to the rear, landscaping and alterations to the front entrance gates.

The proposal has, on officers advice, been amended during the course of the application to omit the proposed levelling the front driveways which currently slope down towards the houses from street level.

9. DETAILED CONSIDERATIONS

9.1 Land Use

The existing semi- detached single family dwelling houses are 276.5sqm and 261sqm and the proposed houses would be 507sqm (150 Hamilton Terrace) and 261sqm (152 Hamilton Terrace). Although these houses are in excess of the 200sqm floorspace limit for new houses in Policy 8 of the City Plan, the supporting text of that policy states that the limit will not apply to the replacement of a single dwelling and or extensions. As such, whilst it is acknowledged that these are large family houses, this is common in this location and the size of the proposed houses would not be contrary to policy 8 and acceptable in land use terms.

It is not considered that this proposal represents an over development of the site, as this is a large plot. Therefore, the objection raised on these grounds cannot be supported in this instance.

Affordable Housing

The site area is less than 0.5 hectares and less than 10 units are proposed. As the site does not result in an uplift of 1000sqm or more of residential floorspace, is under 0.5 hectares and less than 10 units are proposed, affordable housing is not required in this instance.

9.2 Environment & Sustainability

Sustainable Design

Policy 38D of the City Plan 2019-2040 states that “development will enable the extended lifetime of buildings and spaces and respond to the likely risks and consequences of climate change by incorporating principles of sustainable design, including: 1. Use of high-quality durable materials and detail; 2. Providing flexible, high quality floorspace; 3. Optimising resource and water efficiency; 4. Enabling the incorporation of, or connection to, future services or facilities; and 5. Minimising the need for plant and machinery”.

Policy 38E states that applicants will demonstrate how sustainable design principles and measures have been incorporated into designs, utilising environmental performance standards.

A Sustainability Assessment has been included with the application. This makes reference to the proposed incorporation of internal insulation, new double glazed windows, photovoltaic panels, and other measures incorporated into the proposals. This report concludes that, notwithstanding the increase in floorspace proposed in the scheme, the proposals would give rise to a reduction of 44% carbon emissions below building regulation baseline. This report was written in light of the initial proposals to incorporate air source heat pumps. Although the air source heat pump does not part of this application the proposed location is annotated on the drawings and for the size of unit and location proposed it would benefit from permitted development rights.

The comments of the objector are noted in stating that they consider the development to give rise to an unnecessary excess carbon footprint resulting from the works of demolition. Concern was also raised regarding a considered lesser benefit in their assessment of the sustainability report which accompanied the application. Though recognising these concerns, the application remains one proposing roof and rear extensions, and in light of the measures proposed the application is considered in line with City Plan policies 36 and 38 and a refusal on grounds of the concerns raised are not considered sustainable.

In addition, conditions will secure that the new hard landscaped areas to front garden and rear patio will incorporate permeable paving allowing for sustainable urban drainage, which is welcomed and in line with policy 35 in the City Plan.

Energy Performance

Policy 36 of the City Plan states that the council will promote zero carbon development and expects “all development to reduce on-site energy demand and maximise the use of low carbon energy sources to minimise the effects of climate change”.

The applicant has included a number of energy efficiency measures, including improved thermal insulation, the use of an air source heat pump and the installation of photovoltaic panels. The submitted sustainability statement states that such measures enable a reduction of 44.32% over Part L2013 building regulations baseline.

Flood Risk & Sustainable Drainage

The site falls within a flooding hotspot, as identified in the City Plan. A flood risk assessment has been submitted with the application. The proposed flood mitigation and management measures include introducing nominal falls locally to prevent surface water ponding. The assessment concludes that these overland flow routes are suitable to take surface water away. Where hard landscaping is proposed this will be York stone permeable paving.

9.3 Biodiversity & Greening

Policy 34B of the City Plan requires that “developments will, wherever possible, contribute to the greening of Westminster by incorporating trees, green walls, green roofs, rain gardens and other green features and spaces into the design of the scheme.

An intensive green roof has been proposed on the main roof of the building and it is recommended that this is secured by condition.

9.4 Townscape, Design & Heritage Impact

Planning Policy and Guidance and Existing Buildings:

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that “In the exercise, with respect to any buildings or other land in a conservation area...special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”

Furthermore Chapters 12 and 16 of the NPPF require great weight be placed on design quality and the preservation of designated heritage assets including their setting. Chapter 16 of the NPPF clarifies that harmful proposals should only be approved where the harm caused would be clearly outweighed by the public benefits of the scheme, taking into account the statutory duty to have special regard or pay special attention, as relevant. This should also consider the relative significance of the affected asset and the severity of the harm caused.

The St John's Wood Conservation Area within which these buildings are located highlights that they are unlisted buildings of merit. In addition, they are highlighted in the Audit as properties where a roof extension would not normally be considered acceptable.

Though relatively modern, they are brick faced and with sash windows and reflect the general traditional character of the surroundings, and as such can be considered as a non-designated heritage asset.

It is recognised that City Plan Policy 39 (L) states that there will be a presumption that unlisted buildings that make a positive contribution to a conservation area will be conserved, and that Policy 39I also seeks the conservation of non-designated heritage assets.

These two buildings were conceived as semi-detached houses grouped together in a unified architectural design to appear essentially as a single villa style building, a building form common to the 19th century properties on Hamilton Terrace. Stylistically, the character of the buildings more closely follow the mid-20th century residential estate to the immediate north side, however the neo-Georgian detailing, exposed brick facing, regular fenestration pattern of timber sliding sash windows and overall height and form sits comfortably in the Victorian townscape of Hamilton Terrace.

Demolition

The applications include the removal of the rear elevations, rear projections and flat roofs to the existing buildings in association with the extensions proposed, though the buildings are otherwise being largely retained, and the proposals are not considered to represent a substantial or total demolition of the building mindful of the considerations set out in City Plan policy 39 (L & R) set out above and other design and conservation policies. The works nonetheless have an impact on the building and conservation area, and those works are assessed in line with relevant policy and guidance, as set out below.

Extension to Roof Level:

Stylistically these two buildings are very similar to the mid-20th century residential estate to the immediate north side of the application site. The buildings to that adjoining estate all incorporate clay tile clad pitched roof structures which are hipped at 45 degrees, and the submitted drawings show the extensions proposed at nos. 150 and 152 with matching height above parapet and angle of hip and matching red tiles will be secured through condition. The small rooflights and rear dormers proposed will not unduly clutter its visual impression. The overall bulk and massing of the extensions is considered to sit comfortably in context with the building and townscape.

Whilst recognising the notation in the St John's Wood Conservation Area Audit that the buildings are ones where a roof extension would not normally be considered acceptable, from a consideration of the townscape they sit within which includes the clay tile pitched roofs to the immediate north, officers consider that as designed in this application the extensions are nonetheless considered acceptable. The completion of extensions across the pair is considered in line with City Plan policy 40 (E) which states that roof extensions will be supported in principle where they do not impact adversely on heritage assets and that where roof extensions do not currently exist then they are constructed as a coordinated approach across the terrace. This is also in line with paragraph 120 (E) in the NPPF which states that planning decisions should support opportunities for upward extensions where consistent with the prevailing height and form of neighbouring properties and the overall street scene.

Mindful of the policies and guidance above, and to ensure the retention of the strong architectural unity of the pair of buildings, a condition is recommended requiring the construction of both the roof and rear extensions as a single construction contract. This will help ensure that the building remains a single architectural composition, and avoid the unbalanced appearance of extensions only being undertaken on one of the two properties.

Extensions to Rear:

To the rear, the buildings are proposed to be extended out by approximately 5m and these extensions will be both full height and almost full width to the existing buildings, with smaller additions at lower ground floor level projecting an approximately 1.7m. Such large scale extensions, including those full height and full width, would not typically be considered acceptable to buildings in conservation areas. In the particular circumstances of this case however they are considered appropriate. The submitted drawings confirm that the new main rear elevation line will match that of the villa building to the south side, and will thus integrate closely with the form and massing of the run of villa buildings in this part of Hamilton Terrace. On the north side, the main rear elevation will project slightly beyond the line of the side elevation to the adjoining building, though would be generally comparable. At lower ground floor level, the further 1.7m projections are similar in form to the conservatory extensions beyond rear elevation lines which can be found on villa buildings in the terrace.

The rear elevation follows the form and detailing of the existing rear elevation closely thus maintaining the overall neo-Georgian styling, though with the removal of the highly prominent existing conservatory structures which is welcomed in itself. The side elevations are stepped in, and with windows and blind window panels to add visual interest to these largely blank elevations.

Overall, the proposed extensions to the rear are considered acceptable. As set out above, a condition is recommended requiring the rear extensions to be constructed together to maintain the uniformity of the building.

Works to Front:

The replacement of the existing sash windows with new sashes of appropriate design and with double glazing is considered acceptable, and the incorporation of windows into the existing blind panels to the ends of the front elevation will not harm the overall character of the building.

The new front gates are simply detailed, appropriate for the building, and will provide a more continuous boundary treatment which is welcomed in townscape terms. The new entrance porches do not appear assured in design, and a condition is recommended to secure improvements.

Design related comments Received During Consultation Process:

From the public consultation process a concern was raised regarding a perceived overdevelopment of the site.

Reference is made in this regard to the square footage of the property, however though recognising that the considerable impression of the extent of development comes from an impression of the size and massing of the building including when considered in association with the surrounding townscape. Though recognising that this is also a concern expressed, for the reasons set out above, the extensions are considered acceptable in those terms and not to harm the existing buildings or significance of the St John's Wood Conservation Area or any surrounding heritage assets.

The concern raised regarding how the development corresponds to building lines of adjoining properties (with both no. 146 Hamilton Terrace and Bradby House being referenced) is noted, and such issues have been considered as part of the overall assessment of the application. It is recognised that the extended application buildings will have a massing at higher levels which extends beyond that found on Bradby House, however for the reasons set out above the proposals are considered acceptable.

The comments made on the assessment and accuracy of the townscape visual impact part of the submission are noted. It is recognised that these reflect visual imagery of the proposed development, and officers do not consider that they necessarily reflect a fully verified impression of the scheme. They do however reflect an impression of the applicants intended approach, and are assessed on that basis. The plan, elevation and section drawings submitted to accompany the application submission are considered the accurate reflection of the application proposals.

9.5 Residential Amenity

Policy 7 of the City Plan seeks to protect surrounding residences from unacceptable loss of daylight/ sunlight, sense of enclosure, loss of privacy and noise. Policy 38C of the City Plan requires that all development, introduces measures that reduce the opportunity for crime and anti-social behaviour, promoting health, well-being and active lifestyles through design and ensuring a good standard of amenity for new and existing occupiers.

A number of objections have been received on the grounds of amenity including on the grounds of loss of daylight/sunlight to Bradby House and Knoll House at 77 Carlton Hill, loss of privacy because of rear extension being closer to 77 Carlton Hill and from the rear terraces. Comments have also been made that the Sunlight and daylight Report is insufficient and the impact on light would be beyond that set out in the report.

Daylight & Sunlight

A sunlight and daylight report has been submitted by the applicant. The assessment considered the nearest residential windows in the neighbouring properties of 146 Hamilton Terrace, Bradby House and Knoll House. All applicable neighbouring windows assessed met the BRE guidelines for daylight and sunlight. The Sunlight and Daylight Assessment testing has been carried out in accordance with the BRE guidelines and therefore the objection that it is insufficient and the impact on sunlight would be beyond that disclosed is not sustainable. Although the assessment was carried out prior to the latest BRE Document: Site layout planning for daylight and sunlight: a good practice (BR 209 2022 edition) the assessment in relation to the impact on neighbouring properties remains the same and has no material impact on the results.

Sense of Enclosure

The additional bulk of the proposal compared to the existing building would be adjacent to the largely blank flank wall (with the exception of a window to a store) of Bradby House and the side wall of 146 Hamilton Terrace which contains windows which the applicant has identified as non-habitable rooms. The extension does not project beyond the rear building line of No. 146. Therefore, there would be no significant sense of enclosure on those properties. Knoll House would be over 16 metres from the nearest part of the extended building and its windows would not face directly onto the extension.

Privacy

Although the proposed rear fenestrated wall would project further than the existing situation at its nearest point this would be over 16 metres from the nearest residential windows of Knoll House and would not face directly onto it, therefore the objection on these grounds is not sustainable.

The proposed ground floor terrace is located some distance from Knoll House and would be at the same height and further away than the existing conservatory to the rear of No. 152. Therefore, the objection on loss of privacy grounds from this element of the proposal is not sustainable.

It is proposed to incorporate two new windows into the side elevations of no.150 & 152 Hamilton Terrace. These would be at ground floor level and will be obscure glazed and non-openable and would not result in any overlooking.

A condition preventing the use of the roof of the houses as a terrace is recommended as such use is likely to result in an increase in overlooking to Knoll House and the rear garden of 146 Hamilton Terrace.

Noise & Vibration

Air source heat pumps are shown on the proposed drawings at rear lower ground floor level. These do not form part of the application and so are not assessed however in the location and the size they are proposed they would be permitted development not requiring planning permission.

The proposed rear terrace is not considered likely to result in any significant increase in noise disturbance as compared with the existing garden.

9.6 Transportation, Accessibility & Servicing

Highway Impact

Although the front gates to the property are changed as part of the proposal, the front boundary wall and therefore the position of the vehicular access is not changed. The gates do not open over the highway and are therefore considered acceptable in highways terms.

Waste & Recycling Storage

It is considered reasonable to secure waste storage details by condition in consultation with the City Council's Waste Project Officer.

Cycling & Cycle Storage

The proposal includes sufficient cycle parking provision for each house in line with London Plan policy. It is recommended that this provision is secured by condition.

Parking

A total number of 4 off street car parking spaces are proposed with the loss of 2 garage spaces. The overall loss of 2 off street car parking spaces accords with the City Plan 2019-2040: Policy 27 which encourages car free living and the use of more sustainable modes of transport which is necessary to reduce congestion and improve air quality and road safety.

9.7 Economy including Employment & Skills

It is recognised that the proposal will create jobs during the construction period.

9.8 Other Considerations

Trees

The proposals have been amended to retain the existing driveway at the front of the property which has dealt with the Arboricultural Officers concerns for the mature lime tree and the street tree London plane tree. The proposals are now considered acceptable in relation to trees subject to tree protection and landscaping conditions.

9.9 Environmental Impact Assessment

The proposed development is not of sufficient scale or impact to require an Environmental Impact Assessment.

9.10 Planning Obligations & Pre-Commencement Conditions

The Town and Country Planning (Pre-commencement Conditions) Regulations 2018 requires the City Council to obtain the applicant's written agreement before imposing pre-commencement conditions (i.e. conditions which must be discharged before works can start on site) on a planning permission. Pre-commencement conditions can only be imposed without the written agreement of the applicant where the applicant fails to provide a substantive response within a 10 day period following notification by the Council of the proposed condition, the reason and justification for the condition.

During the course of this application a notice was served relating to the proposed imposition of a pre-commencement condition to secure tree protection details. The applicant has agreed to the imposition of the condition.

10. Conclusion

Given the above, the proposals are considered acceptable, and do not give rise to harm to the building, conservation area or the setting of surrounding properties or the residential amenity of neighbouring properties. Notwithstanding the objections received, the proposals are considered acceptable in amenity, design, conservation and sustainability terms, and in line with relevant policy and guidance. The recommendation is considered in line with the statutory duties set out in s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: SARAH WHITNALL BY EMAIL AT swhitnall@westminster.gov.uk

11. KEY DRAWINGS



Fig 2. Aerial view of site from south.



Fig 3. Aerial view of site from north.



Visualisation from Hamilton Terrace



Visualisation from rear (behind Bradby House)



Existing Street Elevation



Proposed Street Elevation

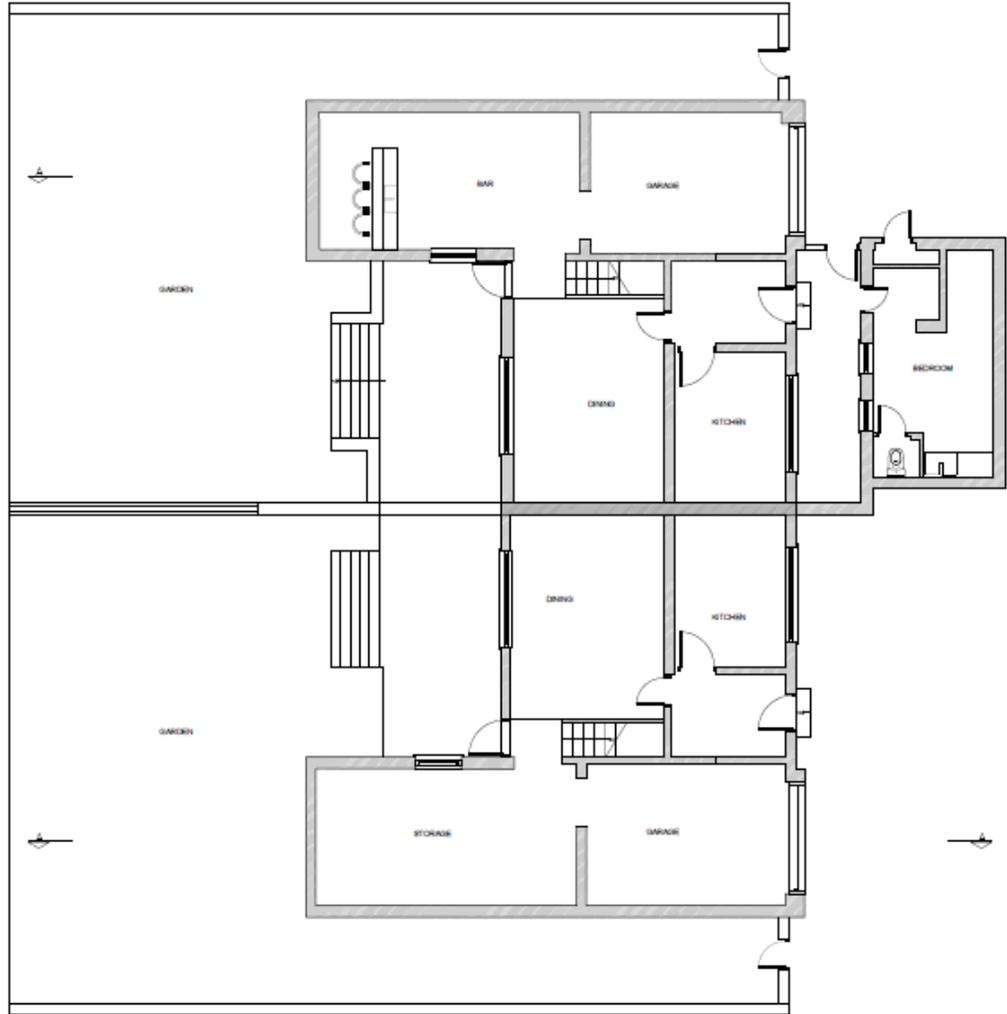


Existing rear elevation



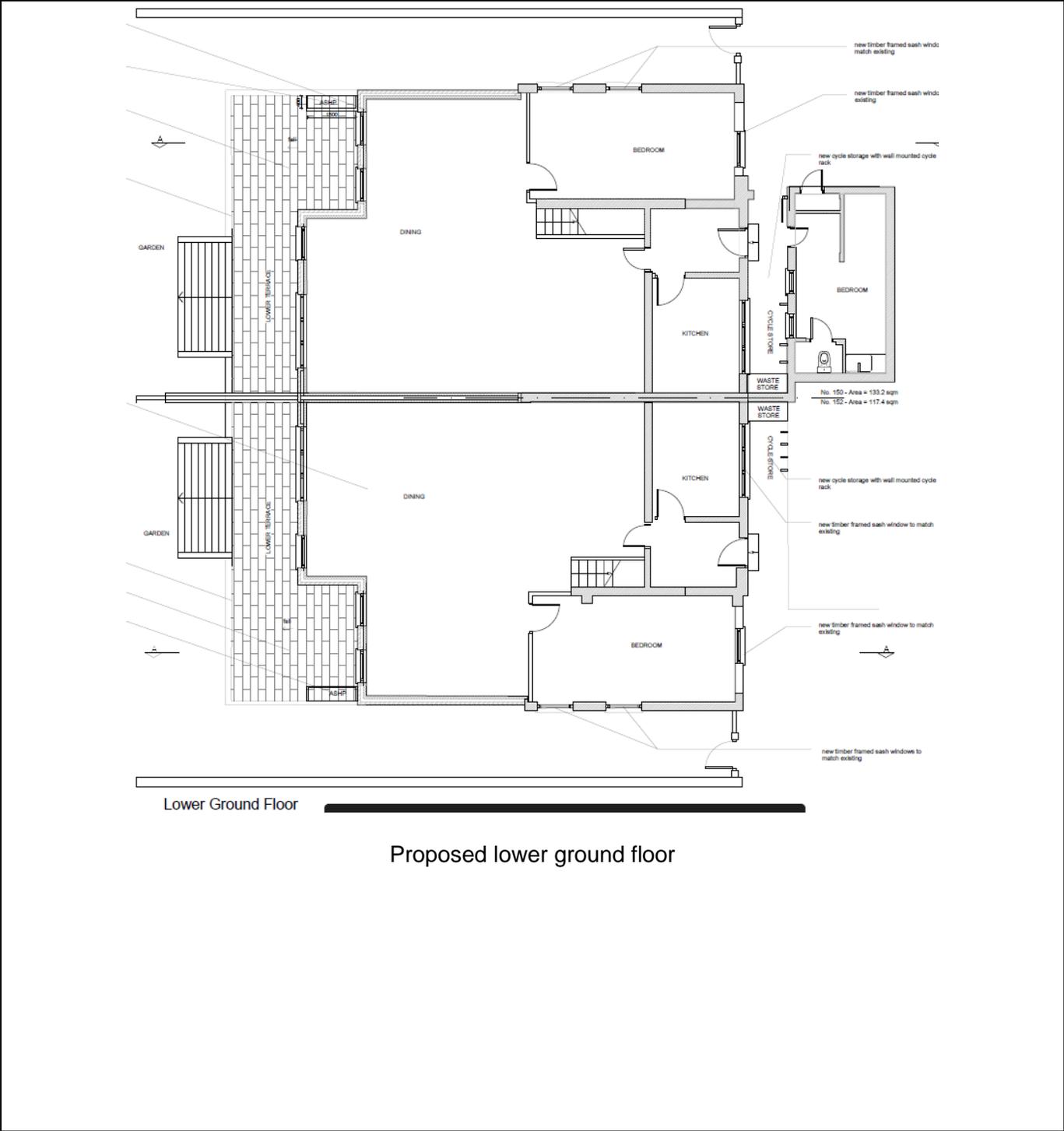
Rear Elevation

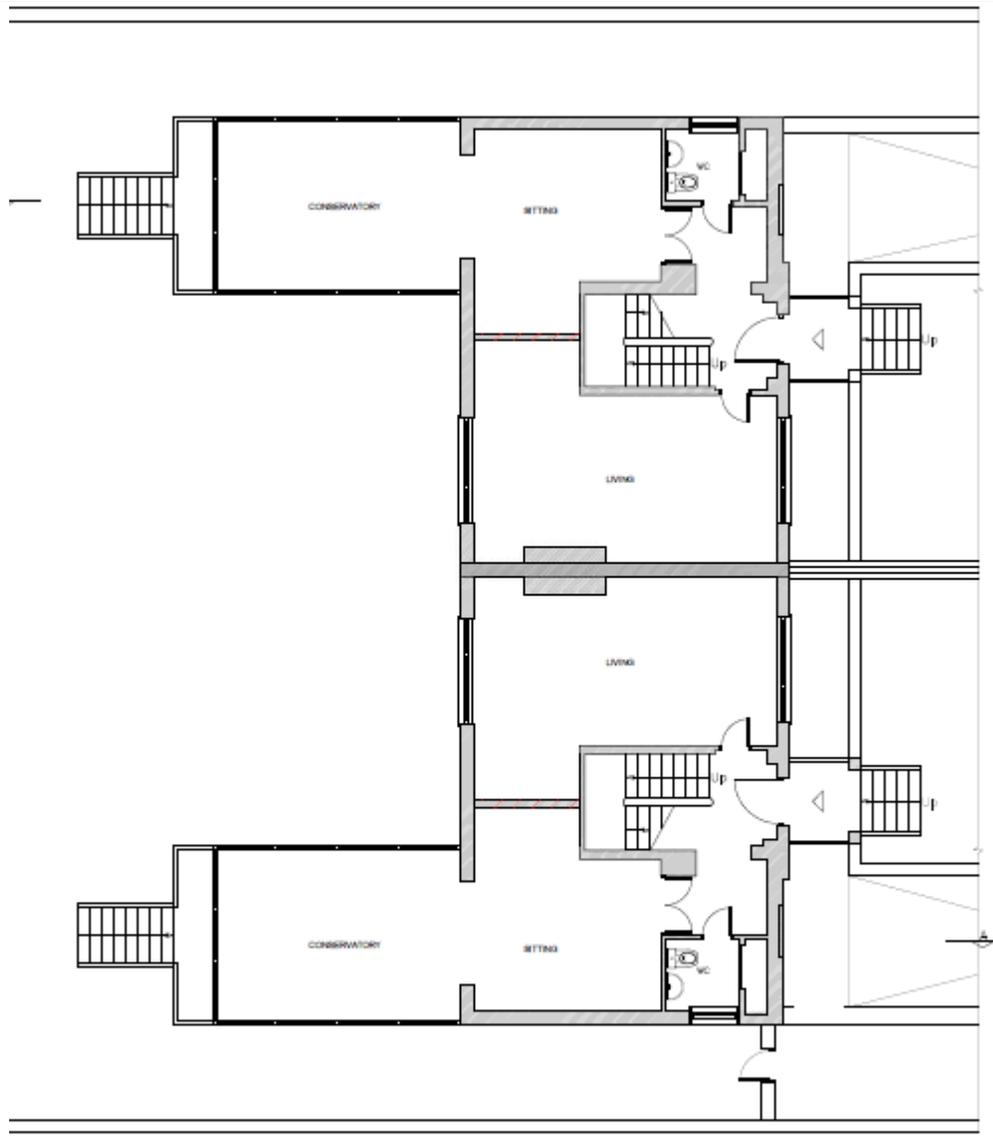
Proposed rear elevation



Lower Ground Floor

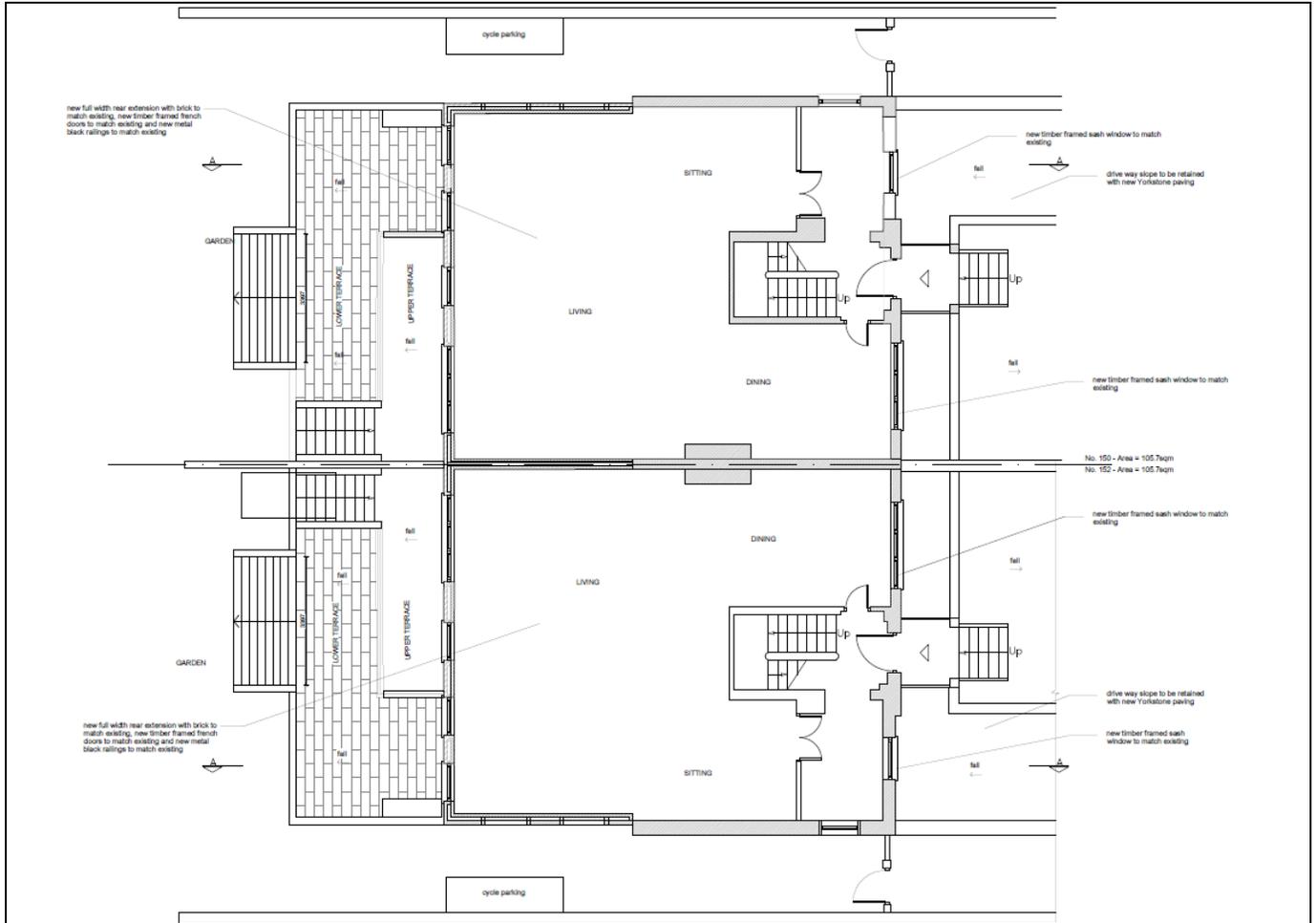
Existing lower ground floor





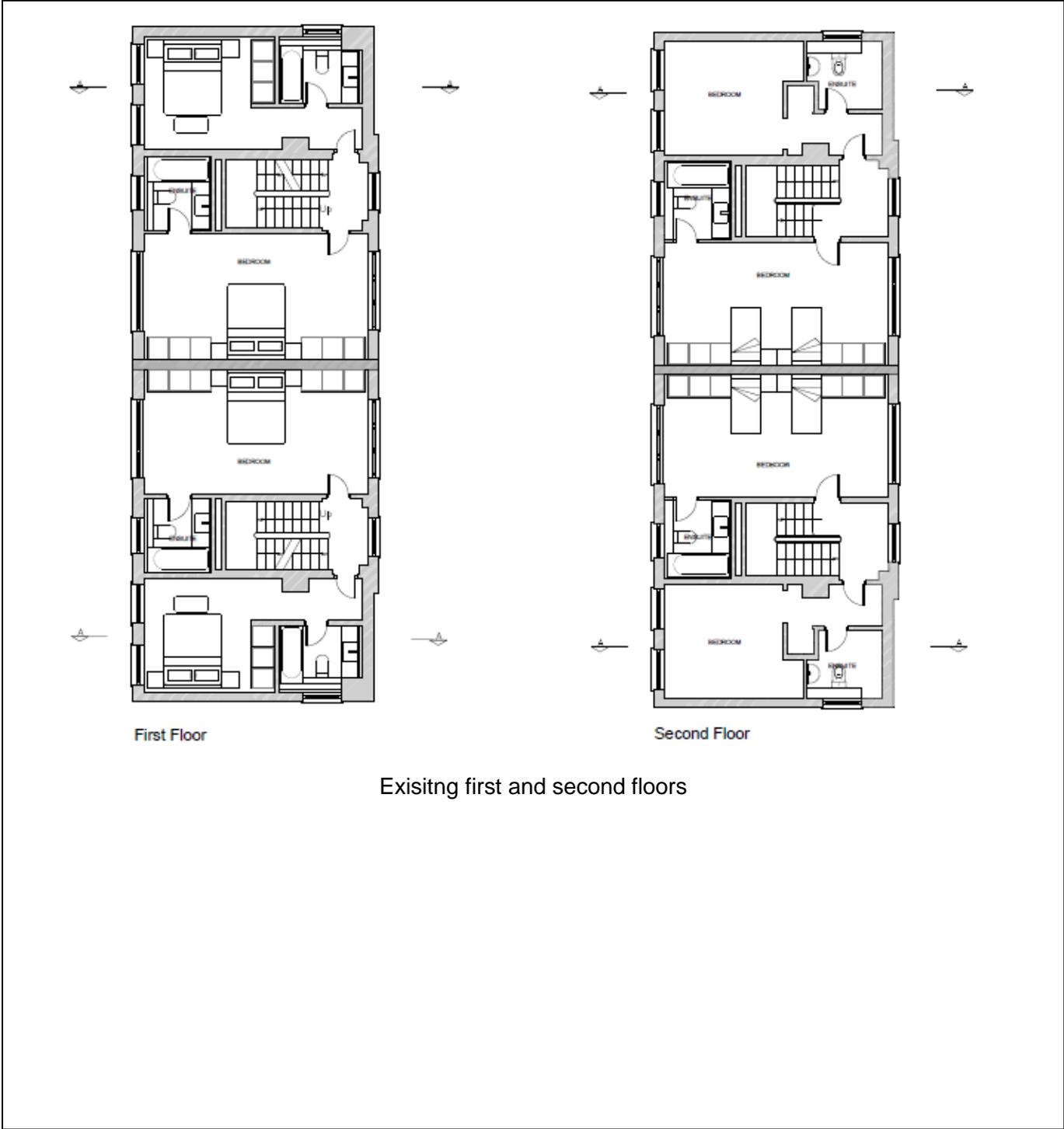
Ground Floor

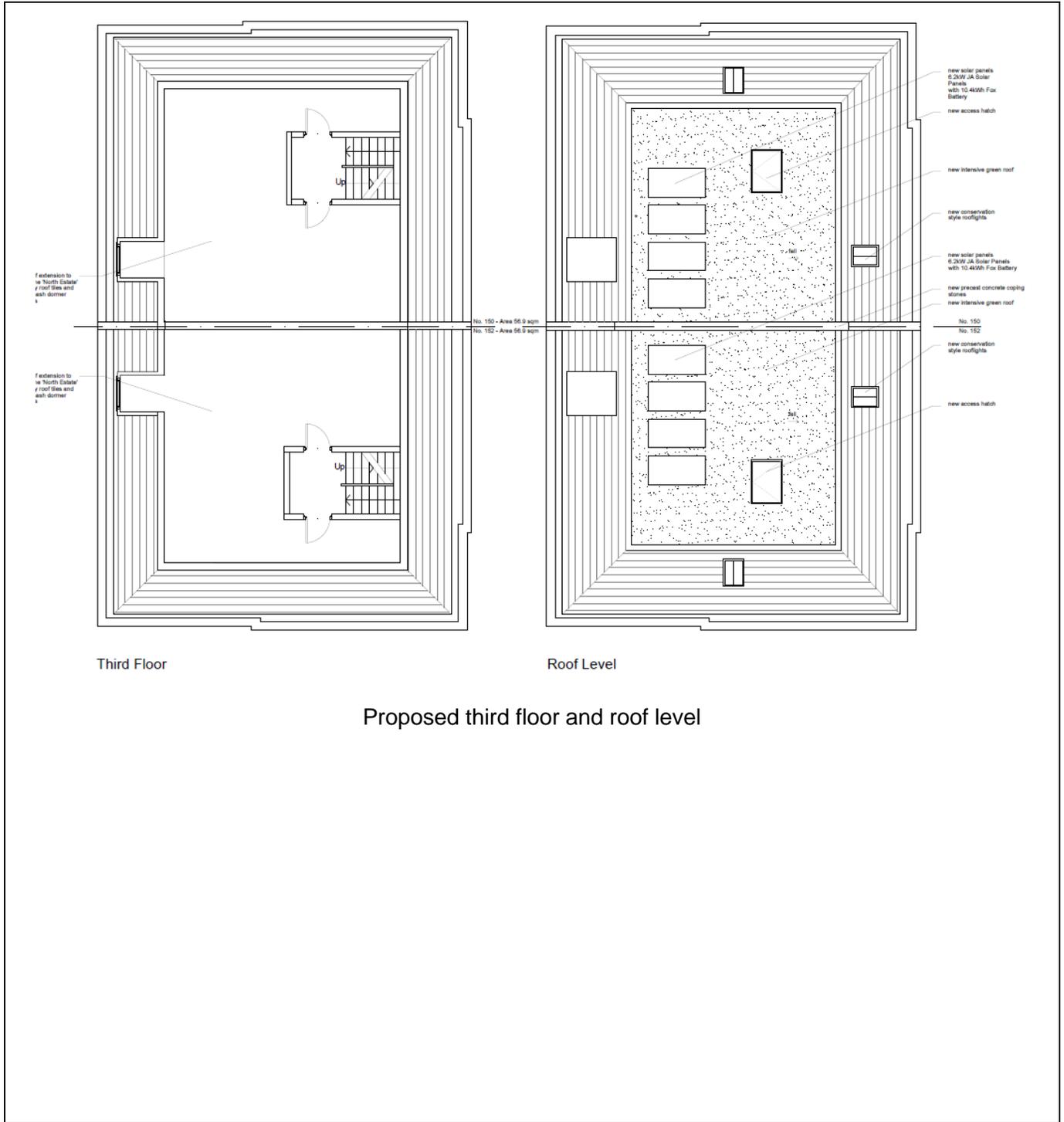
Existing Ground floor

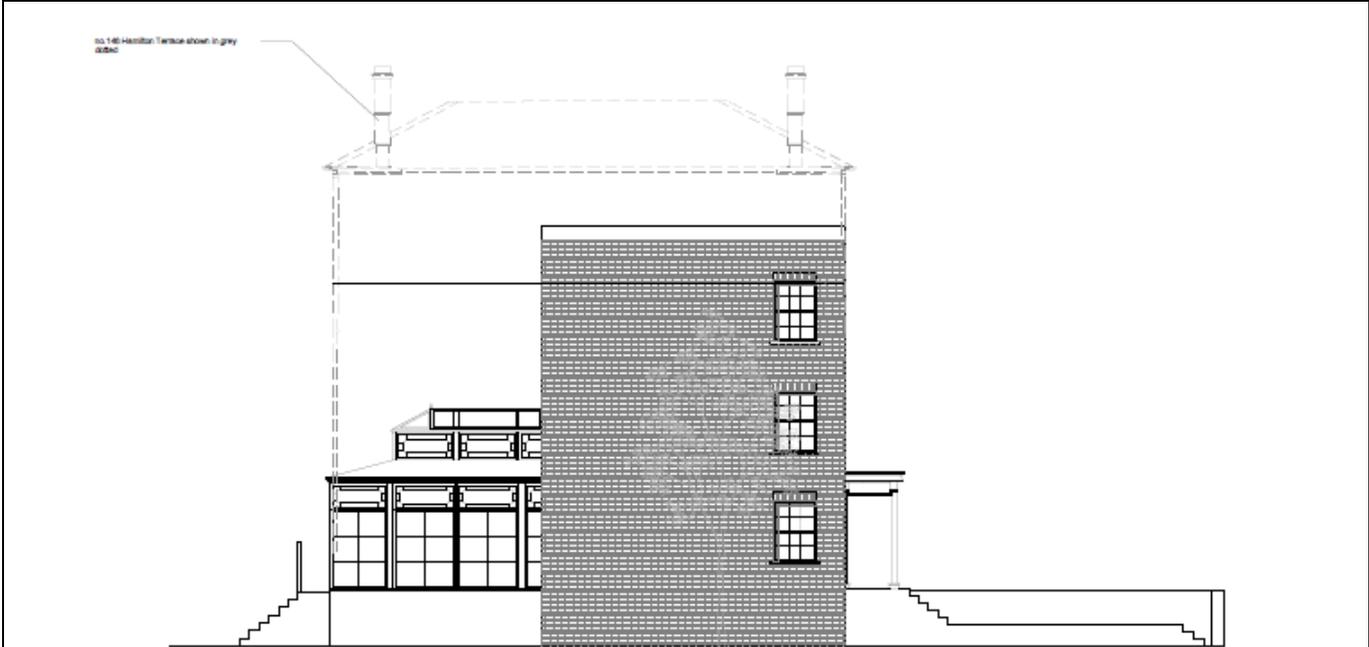


Ground Floor

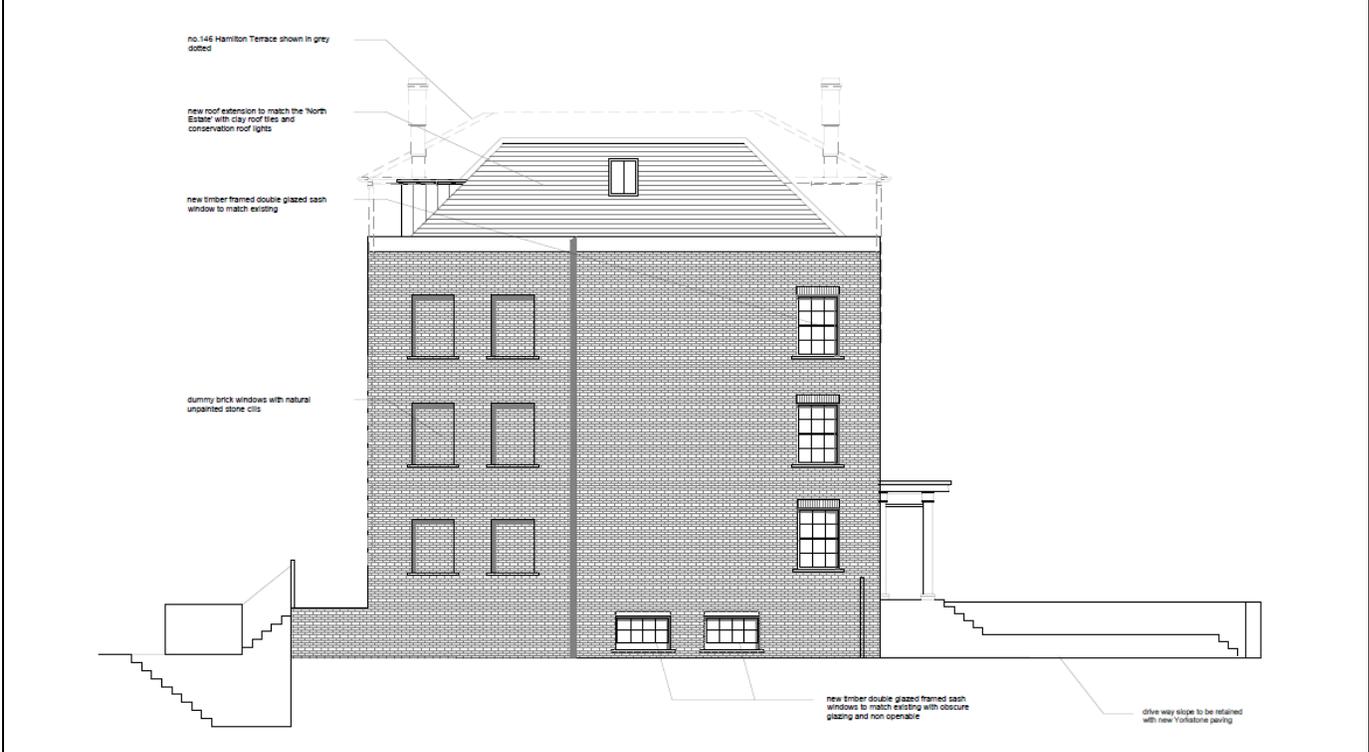
Proposed Ground floor







Existing North elevation 152 Hamilton Terrace



Proposed North elevation 152 Hamilton Terrace

DRAFT DECISION LETTER

- Address:** Development Site At 150 And 152, Hamilton Terrace, London, NW8 9UX
- Proposal:** Demolition of rear of building and roof and erection of rear extension, roof extension, landscaping; alterations to entrance gates; new windows to front and side elevations; and associated works.
- Plan Nos:** 1056L01E; 1056L02E; 1056PL01E; 1056PL02E; 1056D01G; 1056D02G; 1056D02G; 1056D03G; 1056D04G; 1056D05G; 1056D06G; 1056D07G; 1056D08G; 1056D09G; 1056D10G; 1056E11G; 1056P01G; 1056P02G; 1056P03G; 1056P04G; 1056P05G; 1056P06G; 1056P07G; 1056P08G; 1056P09G; 1056P10G; 1056P11G; Design and Access Statement; Arboricultural Impact Assessment; Heritage Statement; Sustainability Statement; Flood Risk Assessment Daylight and Sunlight Assessment
- Case Officer:** Richard Langston **Direct Tel. No.** 07866036470

Recommended Condition(s) and Reason(s) or Reason(s) for Refusal:

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for piling, excavation and demolition work, you must carry out any building work which can be heard at the boundary of the site only:
- o between 08.00 and 18.00 Monday to Friday;
 - o between 08.00 and 13.00 on Saturday; and
 - o not at all on Sundays, bank holidays and public holidays.

You must carry out piling, excavation and demolition work only:

- o between 08.00 and 18.00 Monday to Friday; and
- o not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours unless otherwise agreed through a Control of Pollution Act 1974 section 61 prior consent in special circumstances (for example, to meet police traffic restrictions, in an emergency or in the interests of public safety). (C11AB)

Reason:

To protect the environment of neighbouring occupiers. This is as set out in Policies 7 and 33 of the City Plan 2019 - 2040 (April 2021). (R11AD)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this

permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 4 The new facing brickwork must match the existing original brickwork adjacent in terms of colour, texture, face bond and pointing. This applies unless differences are shown on the approved drawings. (C27CA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 5 You must provide, maintain and retain the following energy efficiency measures before you start to use any part of the development, as set out in your application.

Solar panels to main roof level

You must not remove any of these features. (C44AA)

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in Policies 36 and 38 of the City Plan 2019 - 2040 (April 2021). (R44AD)

- 6 You must provide, maintain and retain the following bio-diversity features before you start to use any part of the development, as set out in your application.

Bio-diverse green roof

You must not remove any of these features. (C43FA)

Reason:

To increase the biodiversity of the environment, as set out Policy 34 of the City Plan 2019 - 2040 (April 2021). (R43FC)

- 7 You must apply to us for approval of detailed drawings and a bio-diversity management plan in relation to the green roof to include construction method, layout, species and maintenance regime, and the relationship of the planting to the pv panels to roof level

You must not commence works on the relevant part of the development until we have approved what you have sent us. You must carry out this work according to the approved details and thereafter retain and maintain in accordance with the approved management plan. (C43GA)

Reason:

To increase the biodiversity of the environment, as set out Policy 34 of the City Plan 2019 - 2040 (April 2021). (R43FC)

- 8 The new windows shall be formed in glazing and white painted timber/putty (as appropriate) framing, and shall operate only in a vertically sliding manner

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 9 The new external metalwork shall be black in colour

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 10 You must apply to us for approval of further information (as set out below) about the following parts of the development:-

Fully detailed elevations and vertical and horizontal sections of the new windows, including glazing bars, beading / putty, and DGU specification, and how they would be set within their reveals, at a scale of 1:5 (including appropriate break-lines if required).

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved details. The windows shall operate only in a vertical sliding manner. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 11 You must apply to us for approval of a photograph of a sample of paving to be used to the front garden and rear patio areas, and a plan marked up to show its area of installation. You must not start work on the relevant part of the development until we have approved in writing what you have sent us. You must then carry out the work using the approved materials. (C26BD)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 12 The new paving to the front garden and rear patio shall be permeable paving allowing for sustainable urban drainage. You must not remove any of these features, without the prior

written consent of the Local Planning Authority.

Reason:

To ensure sustainable urban drainage measures are incorporated within the scheme in accordance with Policies 34 and 45 of the City Plan 2019 - 2040 (April 2021). (R30DB)

- 13 You must apply to us for approval of detailed drawings and manufacturers specifications for the new electric vehicle charging point. You must not start any work on these parts of the development until we have approved what you have sent us. You must provide the electric vehicle charging point as an integral part of the works to create the extensions, and once installed it shall be retained and maintained thereafter

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area, and to make sure that the development provides the environmental sustainability features included in your application. This is as set out in Policies 36, 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021).

- 14 You must apply to us for approval of a photograph of a sample of the clay tiles you will use to face the pitched roofs of the new extension at roof level. You must not start work on the relevant part of the development until we have approved in writing what you have sent us. You must then carry out the work using the approved materials. (C26BD)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 15 The new rooflights shall be framed in dark grey or black aluminium, and shall be designed as conservation rooflights so as to be flush with the tile facing to the pitched roofs

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 16 You must apply to us for approval of details of how waste is to be stored on site and how materials for recycling will be stored separately. You must not start work on the relevant part of the development until we have approved in writing what you have sent us. You must then provide the waste and recycling storage prior to occupation of the development and thereafter permanently retain the stores according to these details.

Reason:

To protect the environment and provide suitable storage for waste and materials for recycling as set out in Policies 7 and 37 of the City Plan 2019 - 2040 (April 2021). (R14CD)

- 17 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)
- Reason:
In the interests of public safety and to avoid blocking the road as set out in Policies 24 and 25 of the City Plan 2019 - 2040 (April 2021). (R24AD)
- 18 You must not use the roof of the building for sitting out or for any other purpose. You can however use the roof to escape in an emergency. (C21AA)
- Reason:
To protect the privacy and environment of people in neighbouring properties. This is as set out in Policies 7, 33 and 38 of the City Plan 2019 - 2040 (April 2021). (R21BD)
- 19 **Pre Commencement Condition.** You must apply to us for approval of a method statement explaining the measures you will take to protect the trees on and close to the site. You must not start any demolition, site clearance or building work, and you must not take any equipment, machinery or materials for the development onto the site, until we have approved in writing what you have sent us. You must then carry out the work according to the approved details. (C31CC)
- Reason:
To protect the trees and the character and appearance of this part of the St Johns Wood Conservation Area. This is as set out in Policies 34, 38 and 39 of the City Plan 2019 - 2040 (April 2021). (R31DD)
- 20 You must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved in writing what you have sent us. You must then carry out the landscaping and planting within 1 year of completing the development (or within any other time limit we agree to in writing).
- If you remove any trees that are part of the planting scheme that we approve, or find that they are dying, severely damaged or diseased within 5 years of planting them, you must replace them with trees of a similar size and species. (C30CC)
- Reason:
To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the St Johns Wood Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in Policies 34, 38 and 39 of the City Plan 2019 - 2040 (April 2021). (R30CE)
- 21 The roof and rear extensions of 150 Hamilton Terrace and 152 Hamilton Terrace must be completed as a single construction contract and the works carried out in their entirety.
- Reason:
To ensure that the building remains a single architectural composition and avoid the

unbalanced appearance of extensions only being undertaken on one of the two properties, as set out in policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021).

- 22 You must apply to us for approval of elevation drawings (and including annotations of cladding materials and finished colours) for the new external cycle parking structures to the side of each building at ground floor level. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

- 23 Notwithstanding the submitted drawings, you must apply to us for approval of plan/elevation/section (as appropriate) drawings showing any replacement entrance porch(es) to the buildings. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in Policies 38, 39 and 40 of the City Plan 2019 - 2040 (April 2021). (R26BF)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in the City Plan 2019 - 2040 (April 2021), neighbourhood plan (where relevant), supplementary planning documents, the London Plan (March 2021), planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 With regards to condition 4, you are advised that the strong expectation is that the existing brickwork from the areas being demolished as part of this approval will be re-used to the new extensions where practicable.