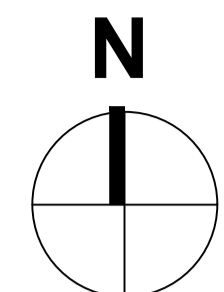
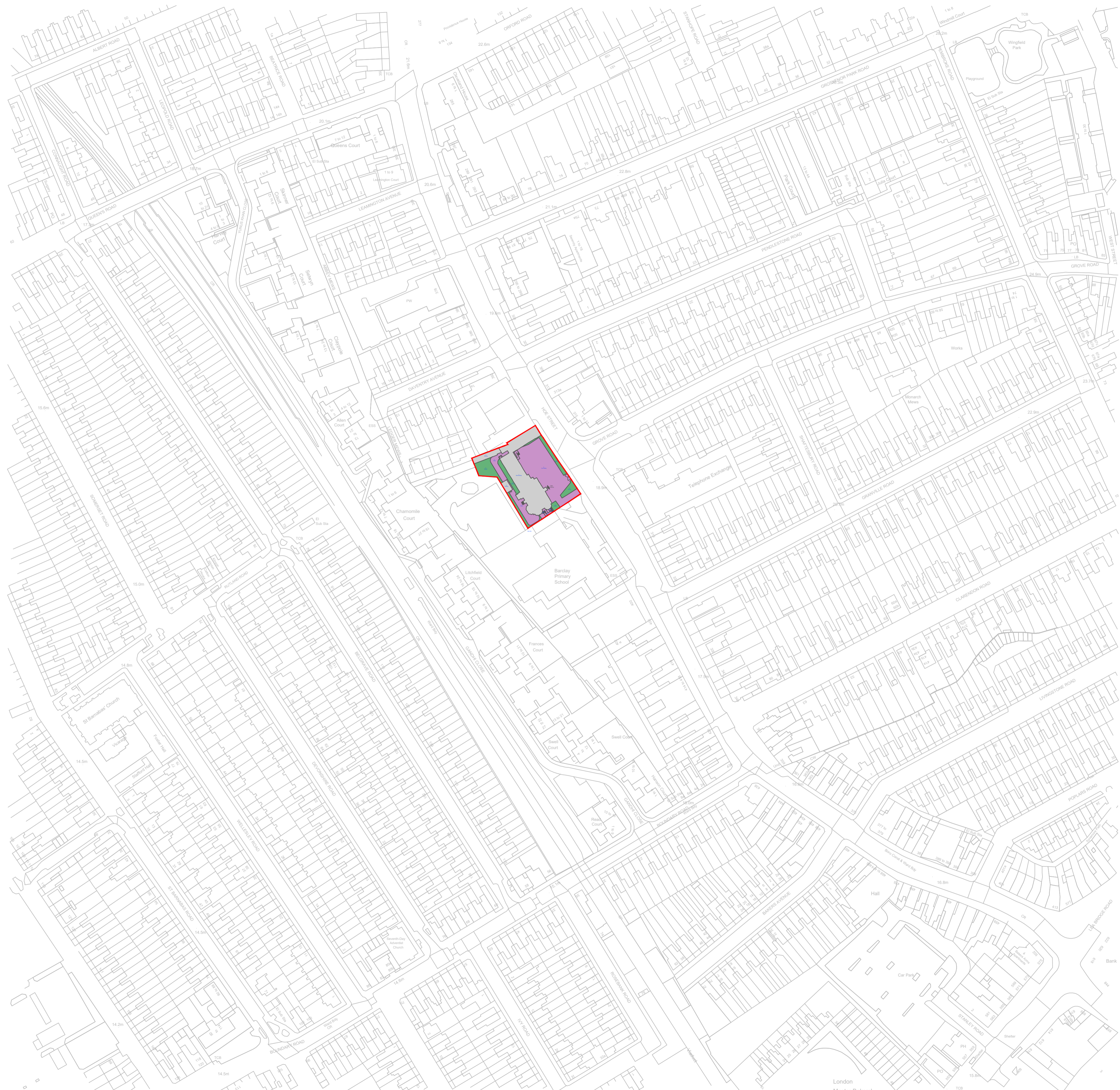


4.3 Plans

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This Drawing is for Planning use only
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ORIGINAL SHEET SIZE **A1**

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Notes:

REV	DATE	CHECKED	DATE	APPROVED	DATE
P1	07.12.23	RA	08.12.23	ES	08.12.23



CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts house Refurbishment

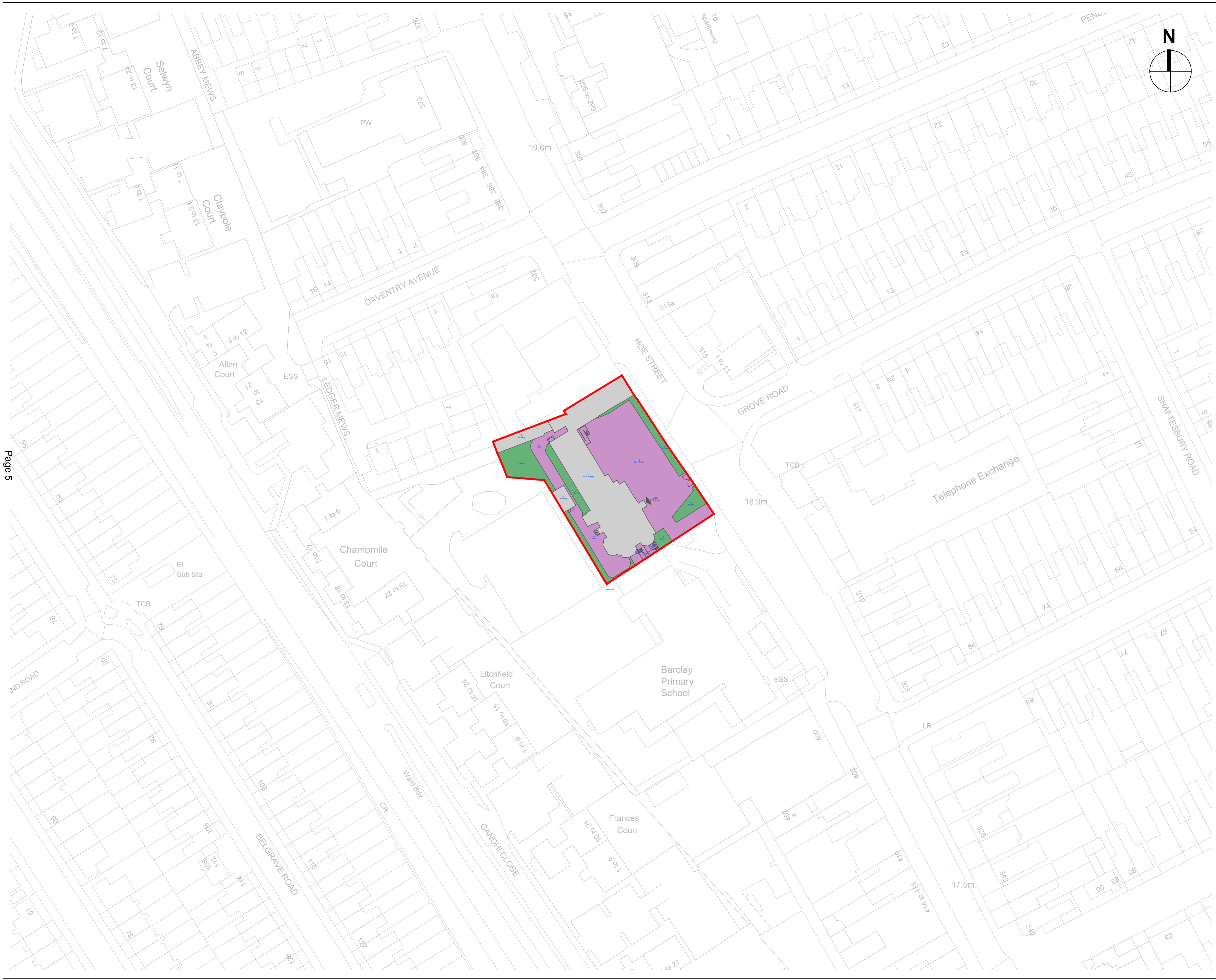
TITLE
Existing Location Plan

SCALE DISCIPLINE PROJECT NUMBER
 1:1250 Architect 114694

DRAWING NUMBER REV CODE
EVO-XX-00-D-A-010 P1

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	RA

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0 5m 10m 20m

1:500

ORIGINAL SHEET SIZE **A1**

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Notes:

FIRST ISSUE						
REV	DRAWN	DATE	CHECKED	DATE	APPROVED	DATE
P1	DA	07.12.23	RA	08.12.23	ES	08.12.23



CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

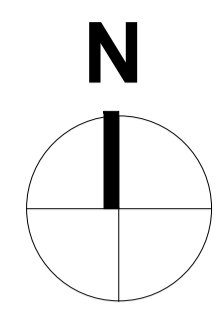
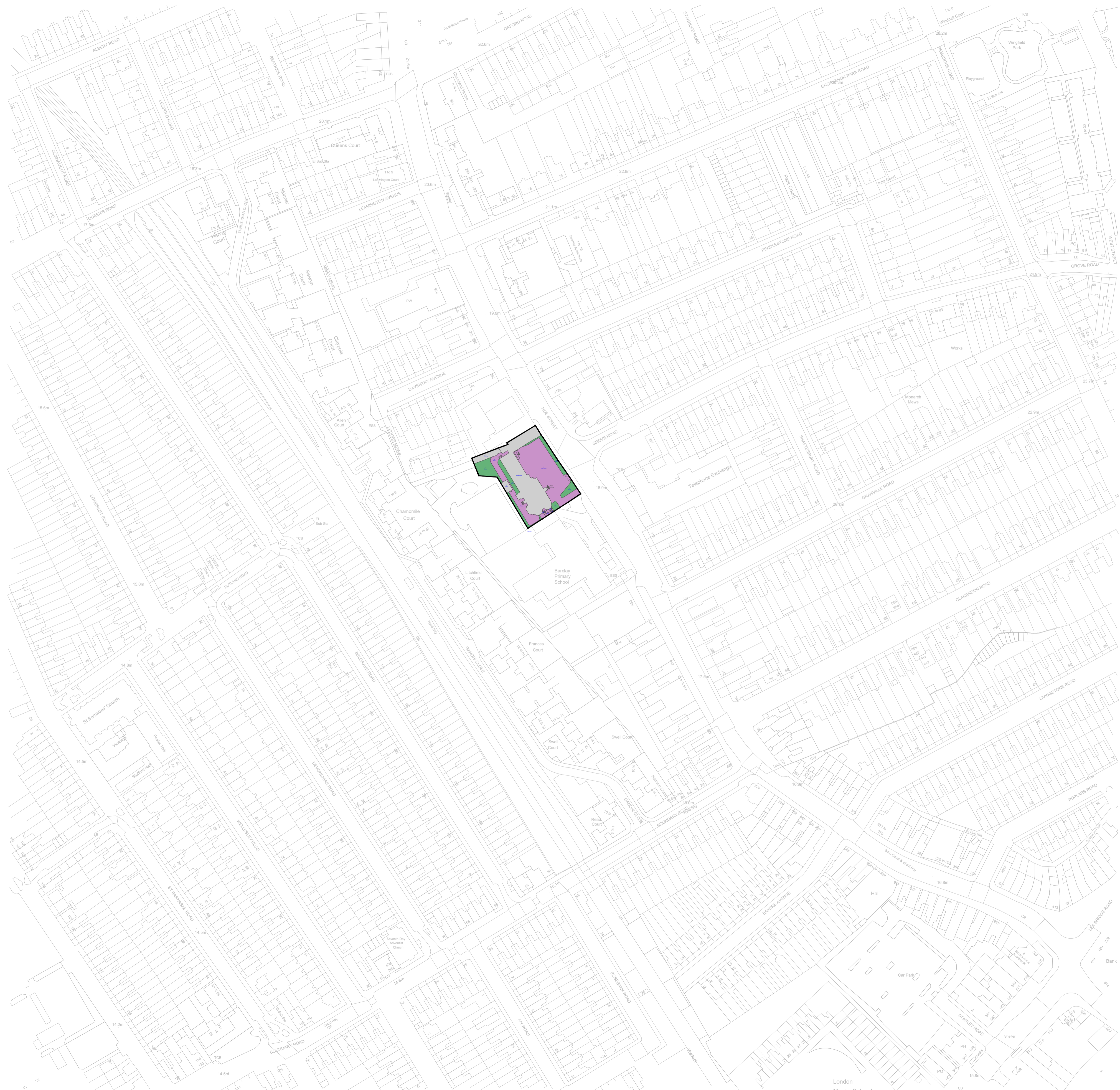
TITLE
Existing Site Plan

SCALE 1:500 DISCIPLINE Architect PROJECT NUMBER 114964

DRAWING NUMBER **EVO-XX-00-D-A-011** REV CODE **P1**

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	RA

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 1:1250

ORIGINAL SHEET SIZE **A1**

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Notes:

FIRST ISSUE							
REV	DA	DATE	CHECKED	DATE	APPROVED	DATE	
P1	DA	07.12.23	RA	08.12.23	ES	08.12.23	



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 Tel: 01603 894100 web: www.norsegroup.co.uk

CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts house Refurbishment

TITLE
Proposed Location Plan

SCALE DISCIPLINE PROJECT NUMBER
1:1250 Architect 114694

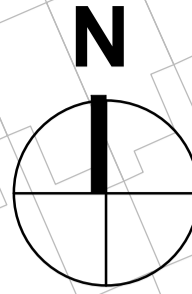
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EVO-XX-00-D-A-012 P1

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	
		RA	

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Notes:
 For outline spec refer to document:
Outline Specification for Repairs
For Pre-application Discussion with Historic England
 Project Ref: 09-14-114694
 November 2023

Main Entrance Gates: Metal work repairs/replacement of closing stile where damaged. Adjustment and replacement of ironmongery. Redecorate using Water Based Exterior Gloss Paint in black.

Gate Piers and Front Wall: Damages or missing joints are to be raked out to prescribed depth and refilled using a lime mortar mix to a matching agreed colour and texture to blend with surrounding brickwork. For bricks that are eroded there are two options under consideration. 1) To replace the brick/s within a location with new bricks or the same type and colour, or 2) To carry out a 'plastic mortar' repair using a mix of lime mortar and brick dust from the original bricks. Carry out repairs to ornamental piers render coating where damaged using the same cement-based render

Location of cycle and bin store.

REV	DATE	CHECKED	DATE	APPROVED	DATE
P1	07.12.23	RA	08.12.23	ES	08.12.23



CLIENT
 London Borough of Waltham Forest

PROJECT
 Chestnuts House Refurbishment

TITLE
 Proposed Site Plan

SCALE 1:500 DISCIPLINE Architect PROJECT NUMBER 114964

DRAWING NUMBER **EVO-XX-00-D-A-013** REV CODE **P1**

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	RA

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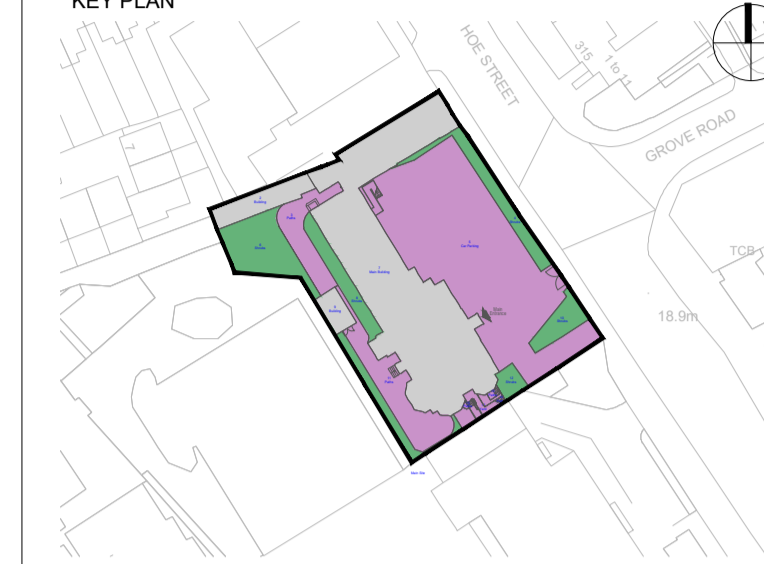
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ORIGINAL SHEET SIZE A1

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KEY PLAN



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P1	DA	07.12.23	RA	08.12.23	ES	08.12.23	



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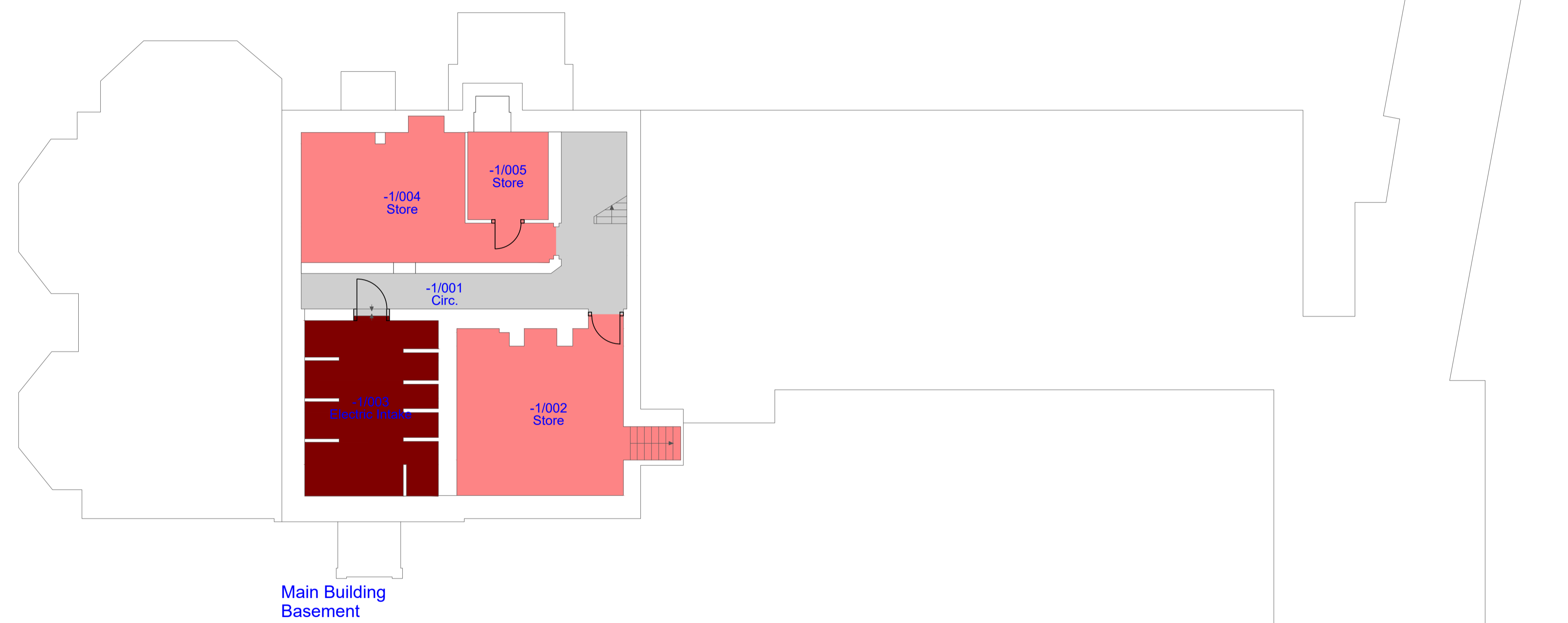
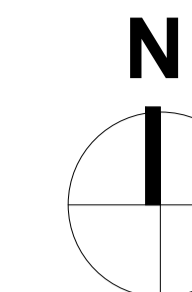
PROJECT
Chesnuts House Refurbishment

TITLE
Existing Basement Floor Plan

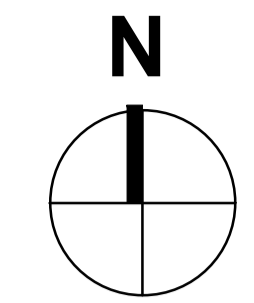
SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER NPS-ZZ-00-D-A-020 REV CODE P1

S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
		Checked by RA	



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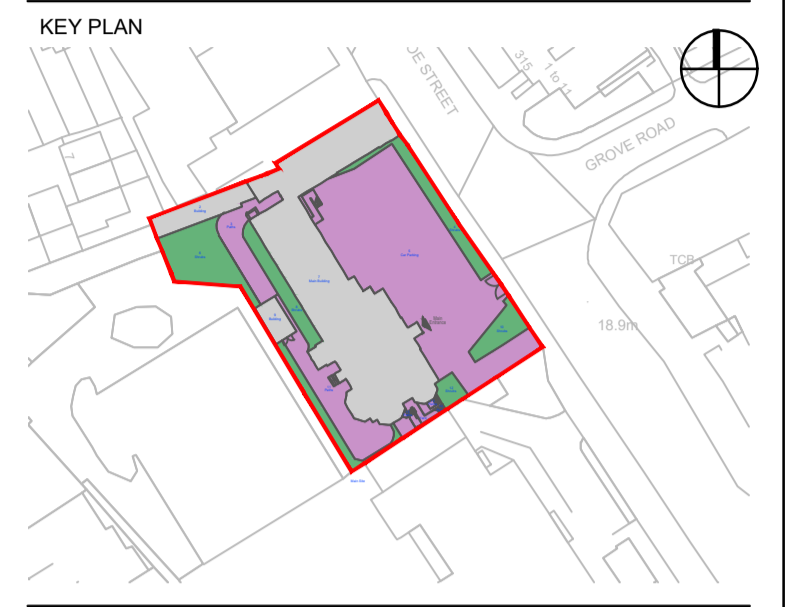
This Drawing is for Planning use only

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1:100

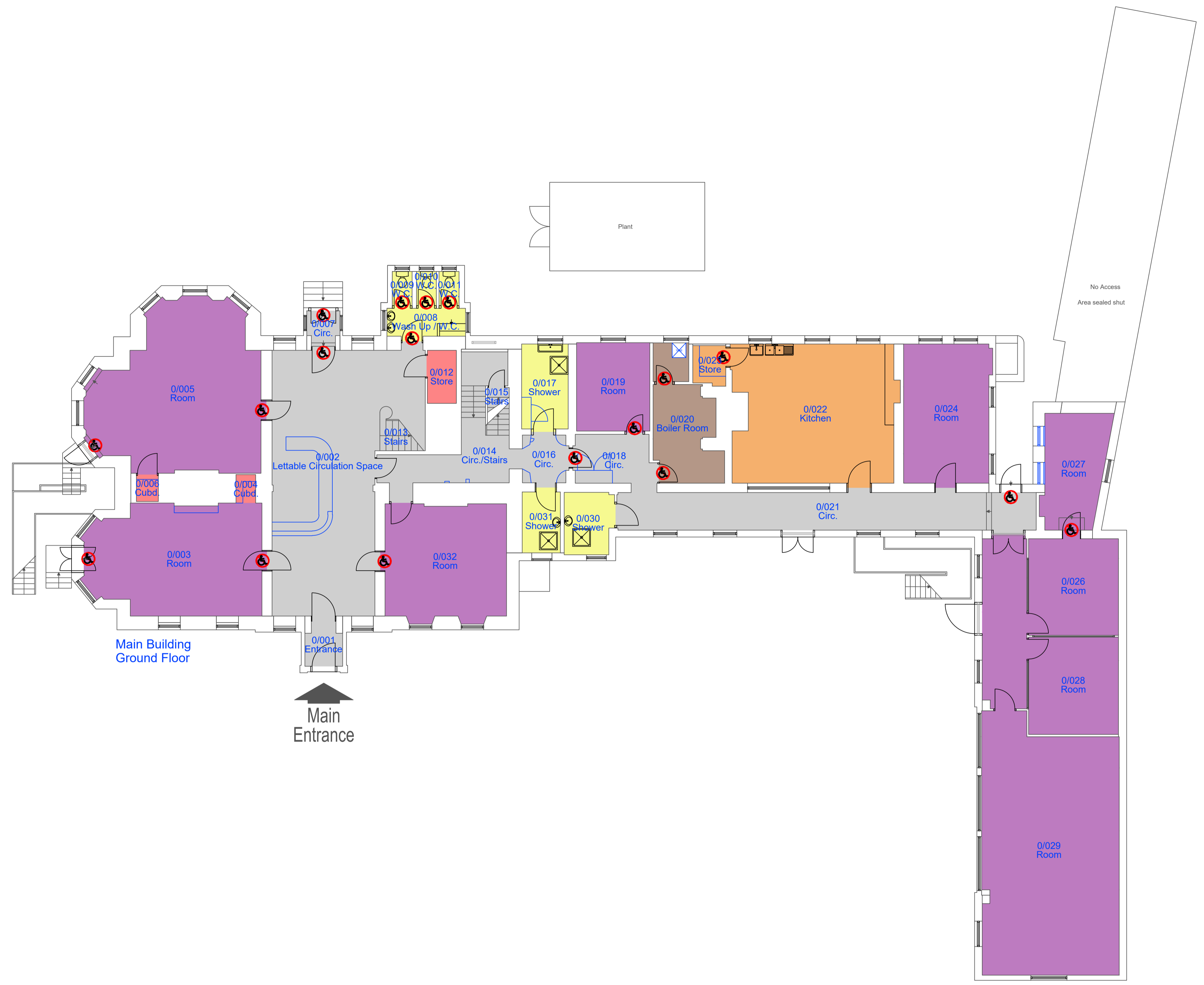
ORIGINAL SHEET SIZE **A1**

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Notes:



Page 13

Chestnuts House

FMSE/EVO/CHH/0198

Site Area: 1920.1
Gross External Area: 1462.2
Gross Internal Area: 1293.0
Total Room Area: 1158.2
Net Internal Area: 776.1

FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	07.12.23	RA	08.12.23	ES	08.12.23
REV	DRAWN	DATE	CHECKED	DATE	APPROVED	DATE



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

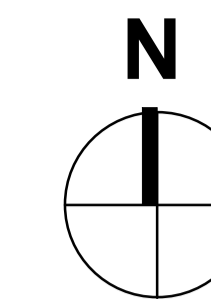
TITLE
Existing Ground Floor Plan

SCALE	DISCIPLINE	PROJECT NUMBER
1:100	Architect	114694

DRAWING NUMBER	REV CODE
EVO-ZZ-00-D-A-021	P1

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	RA

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ORIGINAL SHEET SIZE A1

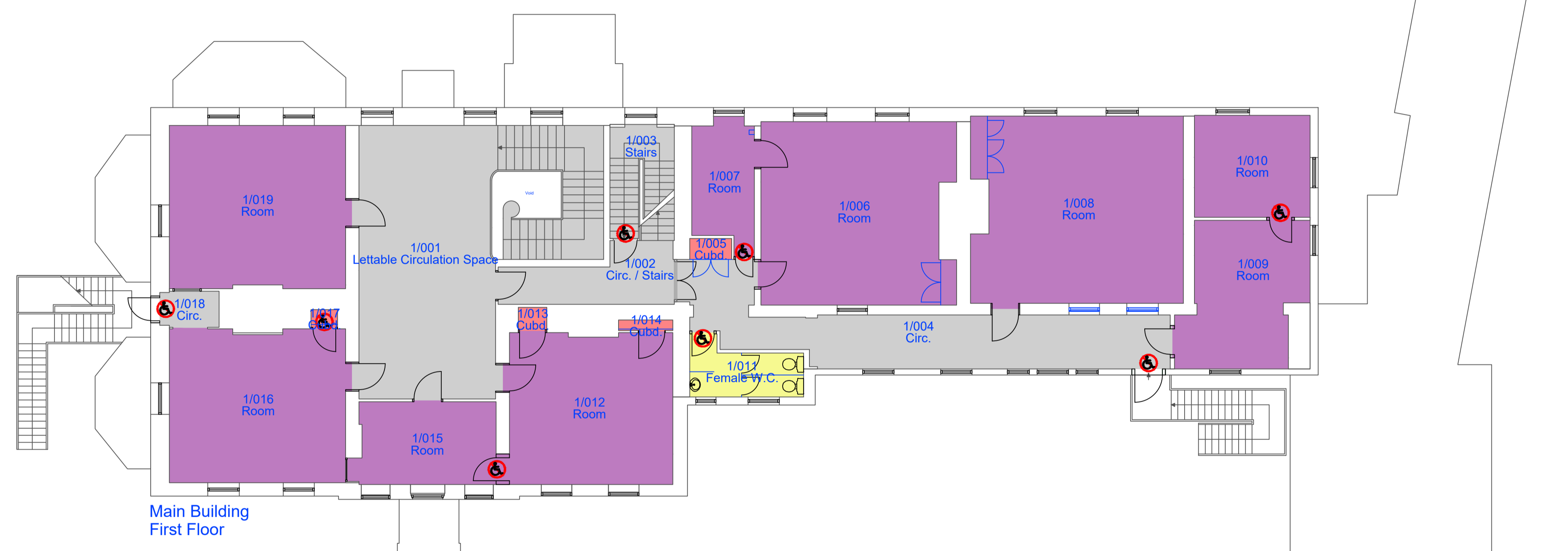
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KEY PLAN



Notes:



Main Building First Floor

FIRST ISSUE							
REV	DA	DATE	CHECKED	DATE	APPROVED	DATE	
P1	DA	07.12.23	RA	08.12.23	ES	08.12.23	

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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing First Floor Plan

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-022 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
		Checked by RA	

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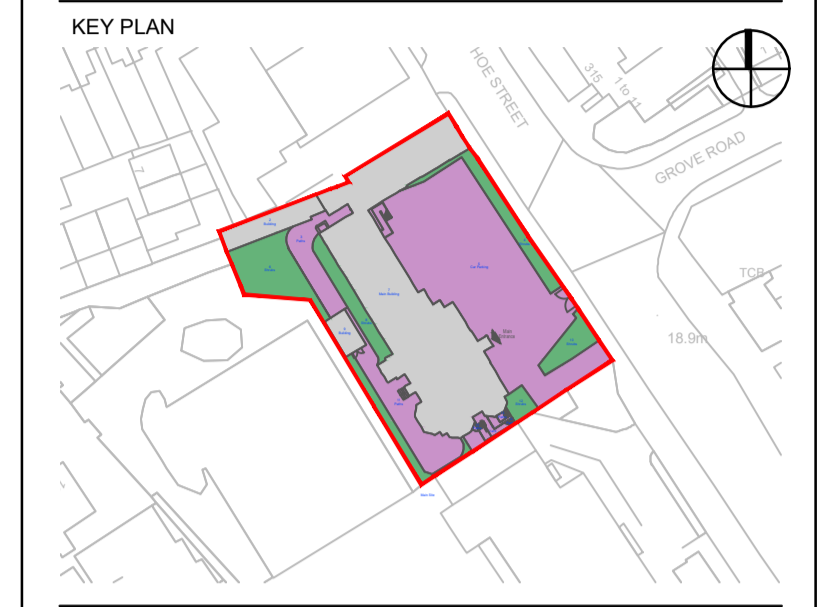
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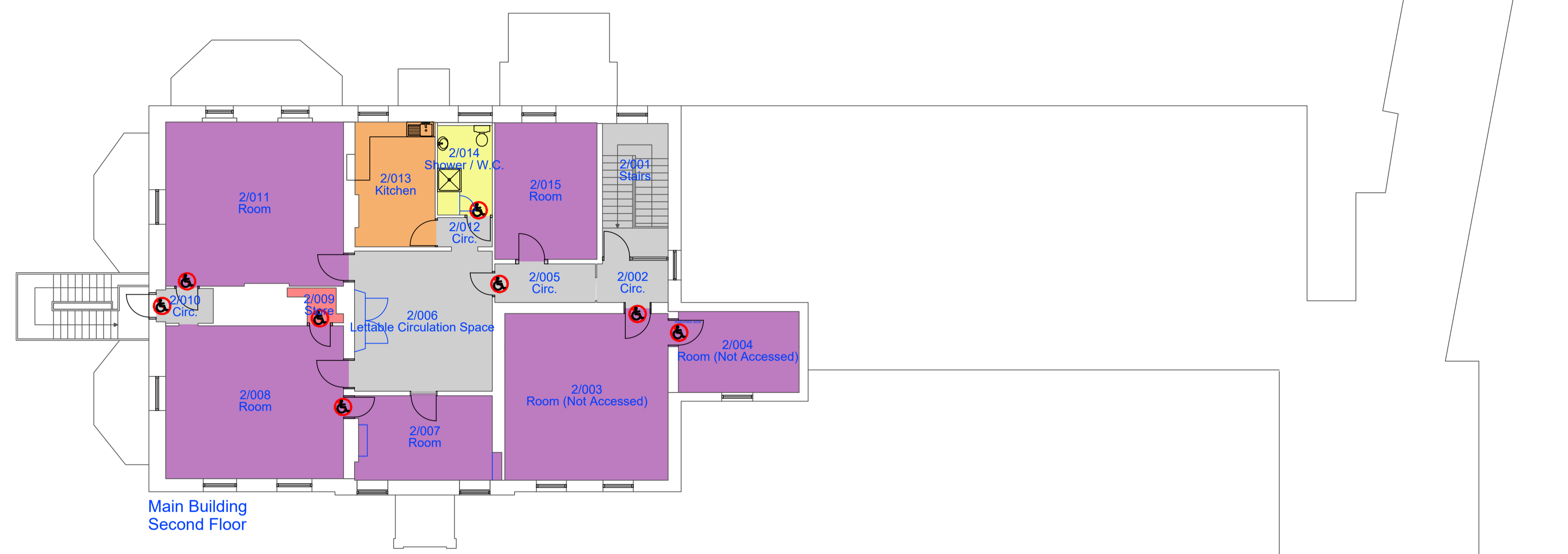
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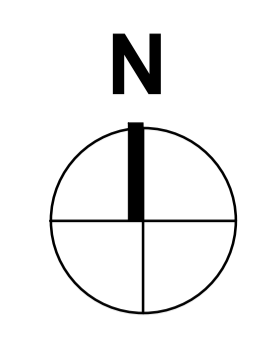
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Notes:



Main Building Second Floor



FIRST ISSUE							
REV	DATE	CHECKED	DATE	APPROVED	DATE		
P1	07.12.23	RA	08.12.23	ES	08.12.23		

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CLIENT
London Borough of Waltham forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing Second Floor

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-023 REV CODE P1

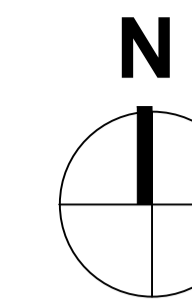
STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
		Checked by RA	

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1:100

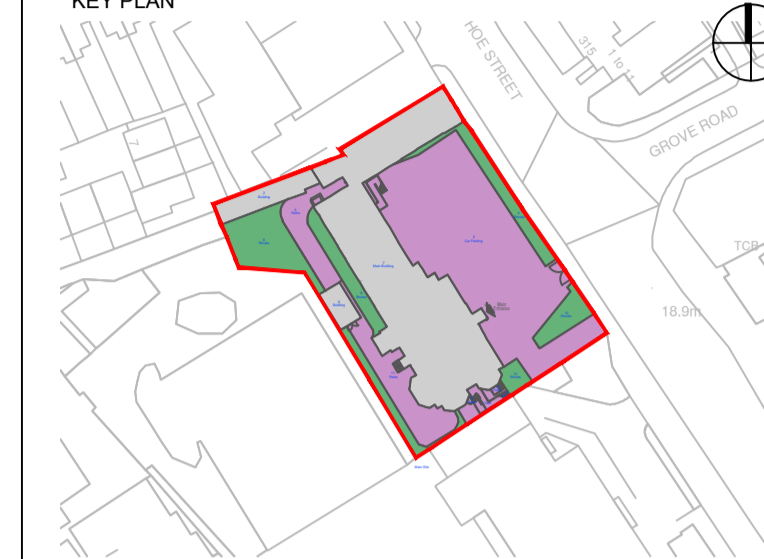
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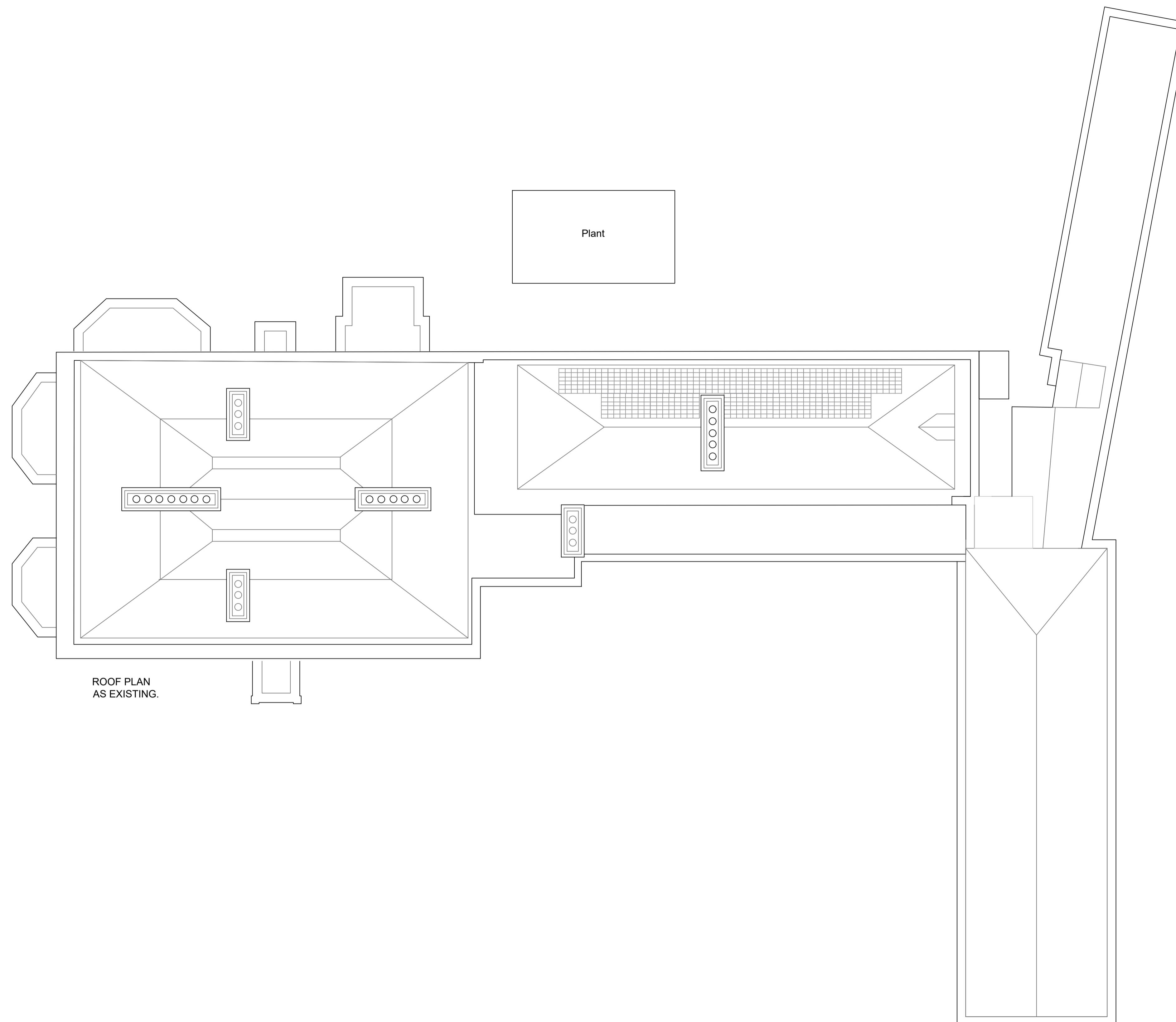
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KEY PLAN



Notes:



ROOF PLAN AS EXISTING.

FIRST ISSUE							
REV	DA	DATE	RA	DATE	ES	DATE	
P1	DA	17.01.24	RA	19.01.24	ES	19.01.24	

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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing Roof Plan

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-024 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
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Notes:



EXISTING EAST ELEVATION A

FIRST ISSUE							
REV	DA	DATE	RA	DATE	ES	DATE	
P1	DA	07.12.23	RA	08.12.23	ES	08.12.23	

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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing East Elevation A

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-025 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by
		Checked by RA	ES

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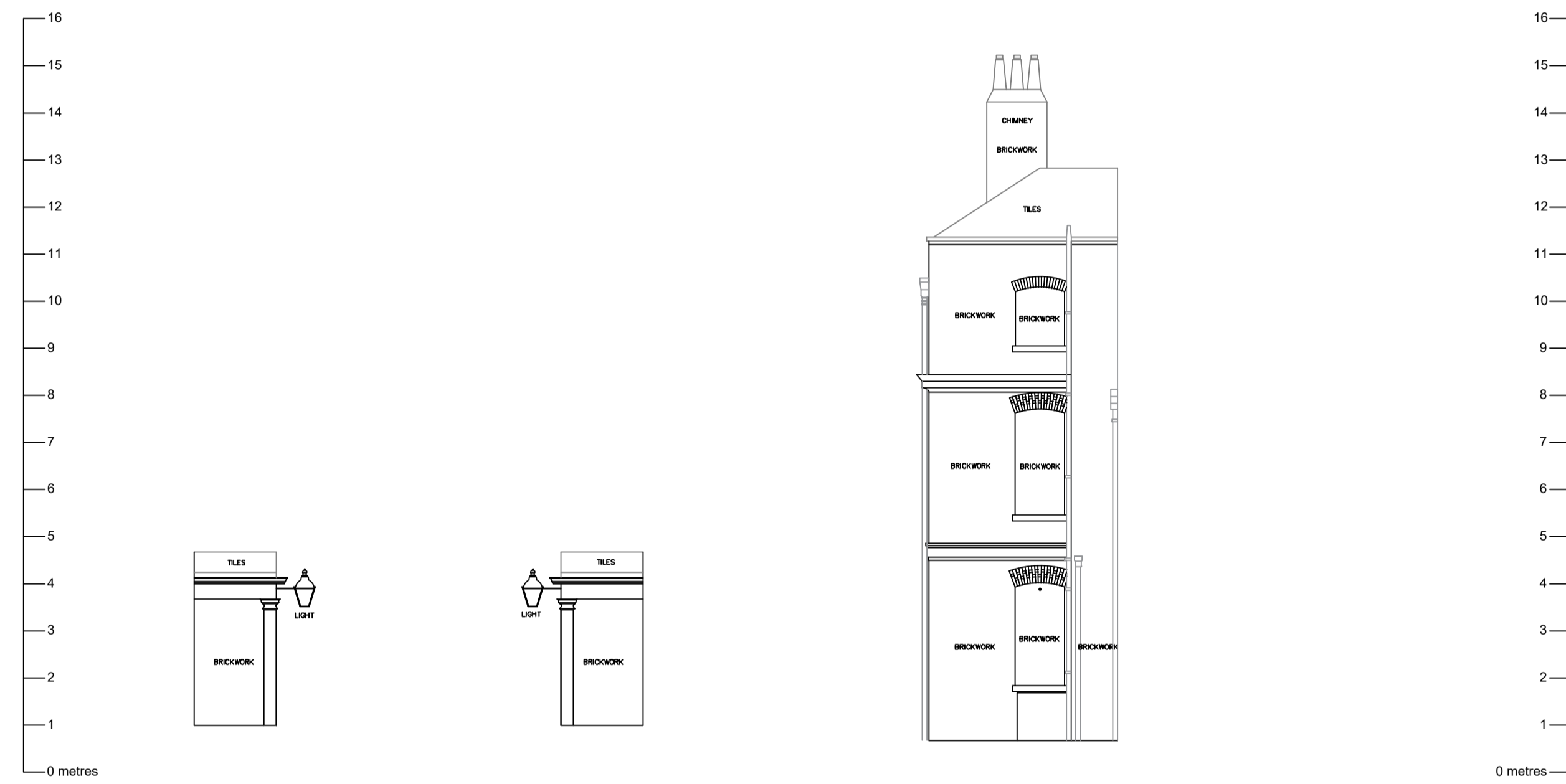
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Notes:



EXISTING ELEVATION A3

EXISTING ELEVATION A2

EXISTING ELEVATION A1

FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	21.12.23	RA	19.01.24	ES	10.01.24



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing East Elevations A1-A3

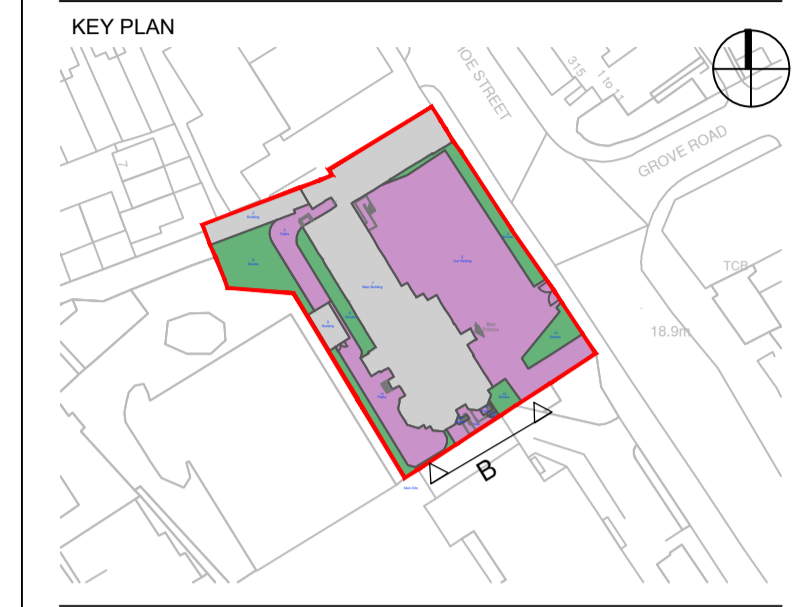
SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-026 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
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Notes:



EXISTING SOUTH ELEVATION B

FIRST ISSUE						
REV	DA	DATE	CHECKED	DATE	APPROVED	DATE
P1	DA	21.12.23	RA	19.01.24	ES	10.01.24

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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing South Elevation B

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-027 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
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Notes:



EXISTING WEST ELEVATION C

FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	21.12.23	RA	19.01.24	ES	10.01.24

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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing West Elevation C

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-028 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by
		Checked by RA	ES

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Date Plotted: 20 March 2024 09:34:11

File Path: G:\LBWF Chestnut House Refurb 114694\2_Design\2_WP1_Arch\2_Drawing\Sheet\revised planning DWG set\EVO-ZZ-00-D-A-028 Existing West Elevation C.dwg, Saved: 20 March 2024 09:11:35, By: Townsend, E.Kot, Sarah

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Notes:



EXISTING ELEVATION C4

EXISTING ELEVATION C3

EXISTING ELEVATION C2

EXISTING ELEVATION C1

FIRST ISSUE							
REV	DA	DATE	RA	DATE	ES	DATE	
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24	



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishments

TITLE
Existing West Elevations C1-C4

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-029 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by
		Checked by RA	ES

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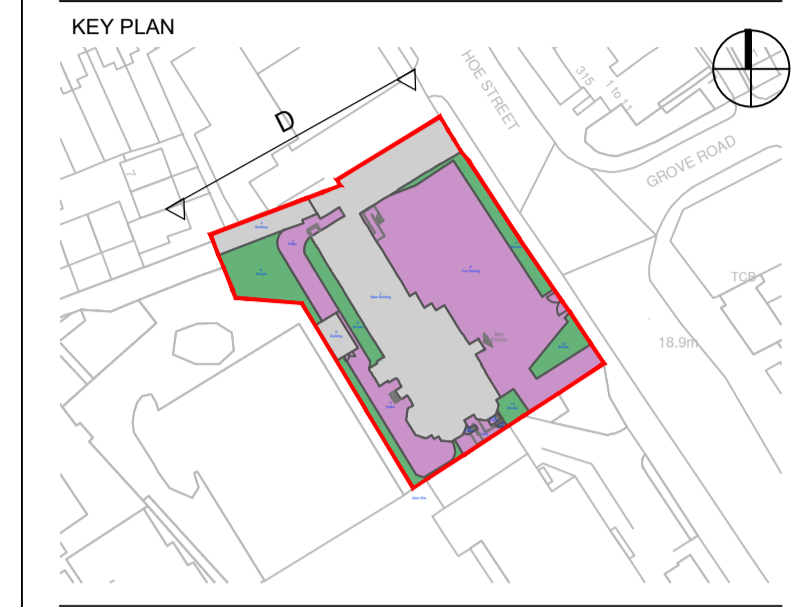
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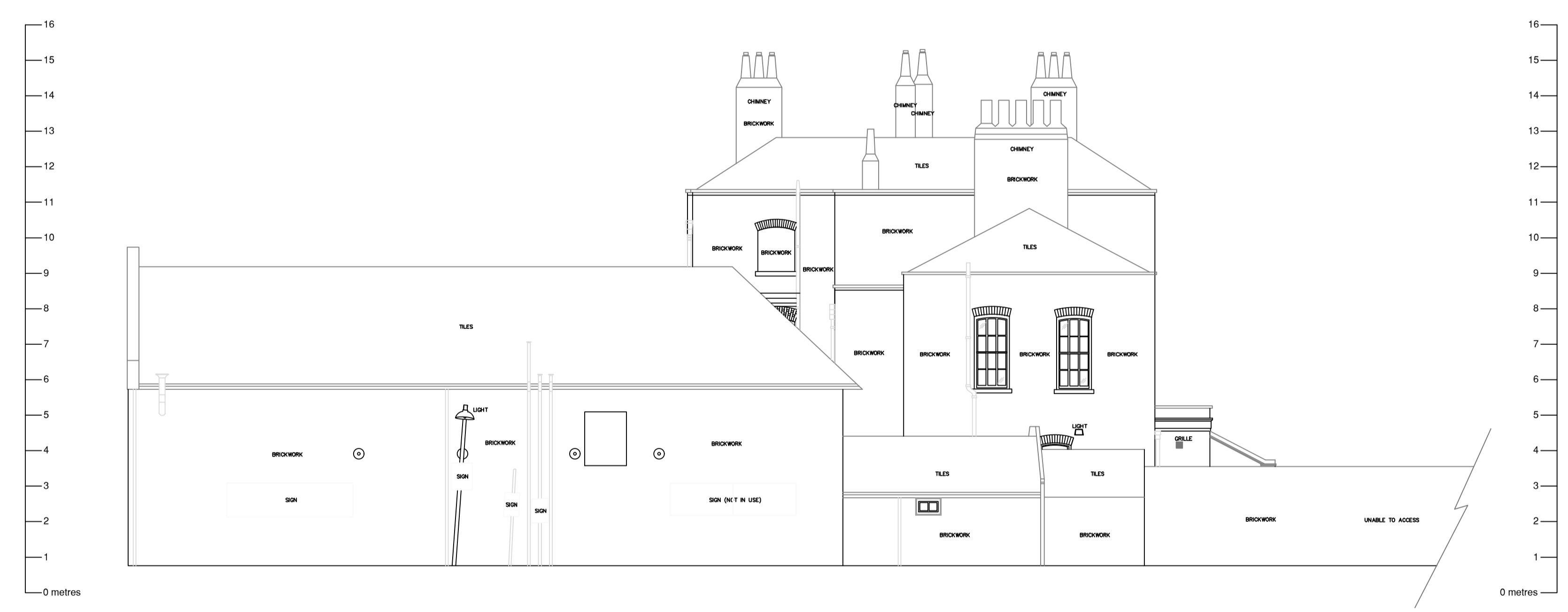
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Notes:



EXISTING NORTH ELEVATION D

FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24



CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing Elevation D

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-030 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
		Checked by RA	

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Notes:



EXISTING NORTH ELEVATION E

FIRST ISSUE						
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24
REV	DRAWN	DATE	CHECKED	DATE	APPROVED	DATE

EVOLVE

A PARTNERSHIP BETWEEN
WALTHAM FOREST COUNCIL AND NORSE CONSULTING

Evolve Norse
280 Filers Lane, Norwich, NR6 6EQ
Tel: 01603 894100 web: www.norsegroup.co.uk

CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Existing North Elevation E

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-031 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
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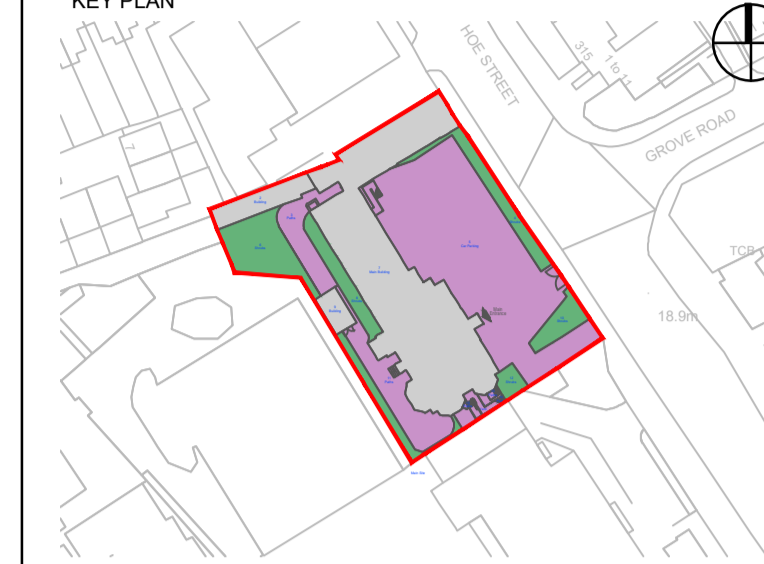
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KEY PLAN

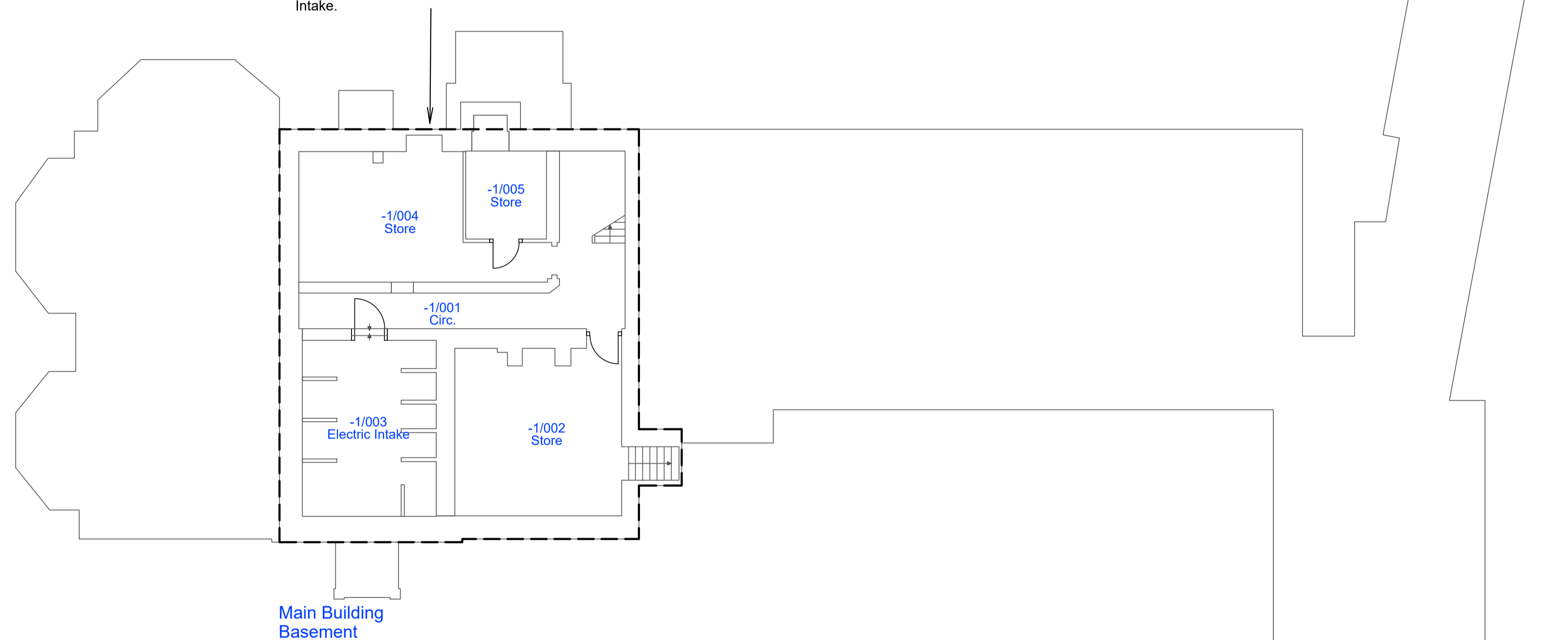


Notes:

For outline spec refer to document:

Outline Specification for Repairs
For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Basement walls: Carry out brickwork repairs and repoint using lime mortar. Install a cavity membrane liner to both the perimeter and internal walls of the basement floor to ceiling along with forming a catchment drainage gutter/channel at the junction of wall and floor set into the floor screed for percolation into subsoil below floor. Enclose the cavity membrane by constructing a false plasterboard wall and decorate. Lay a cavity membrane across all floors and cover with floor finish or boarding or screed. Proposal, subject to discussion with authority and agreement, for the removal of brick floor to area -1/003 Electrical Intake.



FIRST ISSUE							
REV	DA	DATE	CHECKED	DATE	APPROVED	DATE	
P1	DA	07.12.23	RA	08.12.23	ES	08.12.23	

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CLIENT
London Borough of Waltham Forest

PROJECT
Chesnuts House Refurbishment

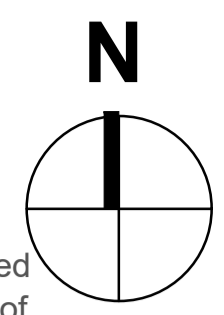
TITLE
Proposed Basement Floor Plan

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-040 REV CODE P1

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	RA

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Notes:
 WG - Windows on Ground floor
 DG - Doors on Ground Floor

For Windows and doors condition investigation report, refer to document:

Chestnuts House: Window and door condition investigation
 Site note 3 for September 2023, job no. 157-68

For Ceiling and plasterwork conditions, refer to document:

Chestnuts House
 Hoe Street
 Walthamstow E17
 Ceiling Report - October 2023

For outline spec refer to document:

Outline Specification for Repairs For Pre-application Discussion with Historic England
 Project Ref: 09-14-114694
 November 2023

Food and Beverage Offering

- Demolition line - Structure to be removed up to the gable end of the first pitched roof.
- Rear wall to be retained as boundary wall. May require piers for strengthening.

Repairs to External Windows and Doors

Timber Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include splicing in new timber found to be decayed and resin type system for minor repairs. Balancing mechanisms to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out where is considered inappropriate like 'Georgian Wired'. Redecorate using a breathable external eggshell paint system in an agreed off white.

Metal Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include welding in new metal found to be corroded and for minor repairs, the use of resin type repair system. Ease and adjust casements. Casement hinges to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

Exterior Doors: Doors are to be stripped of paint back to substrate and repaired in situ where possible, including splicing in new timber found to be decayed and resin type repair system for minor repairs. Ironmongery to be overhauled and where missing matching items to be sourced and installed. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

Chimneys/Fireplace and Internal Ventilation: Placing a capping to the chimney pots at roof level. Internal spaces ventilated using openable windows and natural draw of the chimney/fire places.

Interior Ceilings and Plasterwork

Various Repairs to Ceilings: Repairs to supporting structure to be undertaken as specified by Structural Engineer. Cracks raked out and refilled using lime plaster. Unstable ceilings either partially or completely replaster using lime plaster. Where plaster nibs have failed, reinforcing of the ceiling plaster and laths using recessed penny washers and screws along with similar traditional techniques for cornices and other features. Redecorate ceilings with white emulsion on completion.

Wall Plaster Repairs to Grand Staircase: In-situ plaster repairs to chipped and cracked plasterwork using lime plaster or 'Plaster of Paris'. Redecorate ceilings with white emulsion on completion.

Coach House

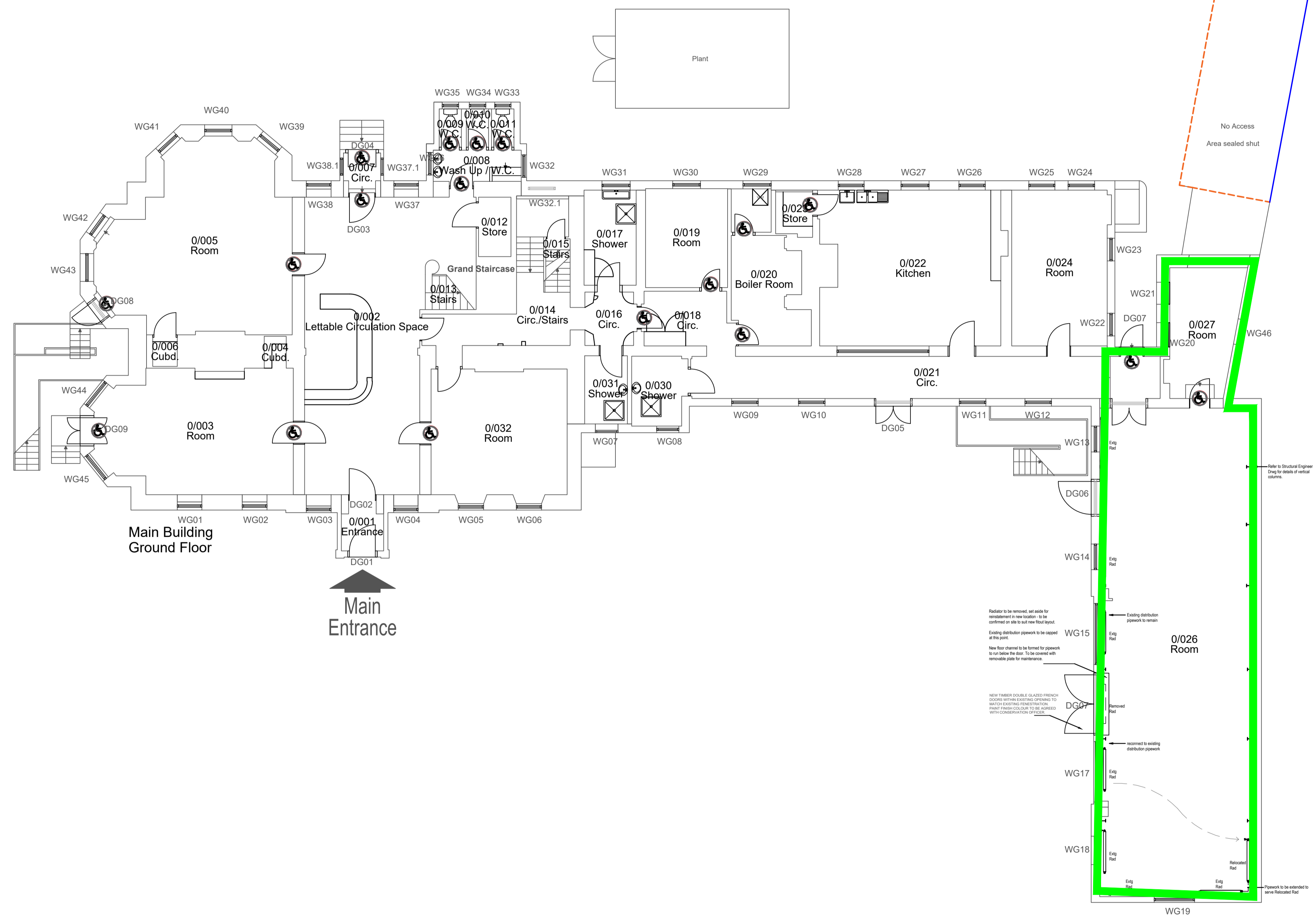
Isolate radiators affected by works, re-configure heating pipework to run below floor level, install removable cover plate.

Re-install radiator in new location.

Re-test & commission heating.

Refer to Mech Eng spec for detail.

Refer to Structural Engineering drawing for details of vertical columns.



Radiators to be removed, set aside for replacement in new location. To be confirmed on site to suit new floor layout.
 Existing distribution pipework to be capped at this point.
 New floor channel to be formed for pipework to run below the door. To be covered with verobalustrade for maintenance.

NEW TIMBER DOUBLE GLAZED FRENCH DOORS SET INTO EXISTING OPENINGS TO MATCH EXISTING WINDOW PROPORTIONS. PLEASE REFER TO DRAWING 01/08 FOR DETAILS WITH CONSIDERATION OF DETAILS.

Chestnuts House

FMSE/EVO/CHH/0198

Site Area: 1920.1
 Gross External Area: 1462.2
 Gross Internal Area: 1293.0
 Total Room Area: 1158.2
 Net Internal Area: 776.1

Coach House - note re beverages included						
P2	DA	27.06.24	RA	27.06.24	ES	27.06.24
FIRST ISSUE						
P1	DA	18.01.24	RA	19.01.24	ES	19.01.24
REV	DRAWN	DATE	CHECKED	DATE	APPROVED	DATE



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CLIENT
 London Borough of Waltham Forest

PROJECT
 Chestnuts House Refurbishment

TITLE
 Proposed Ground Floor Plan

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-041 REV CODE P2

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Checked by RA	Approved by ES
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KEY PLAN



Notes:

WF - Windows on First Floor
DF - Doors on First Floor

For Windows and doors condition investigation report, refer to document:

Chestnuts House: Window and door condition investigation
Site note 3 for September 2023, job no. 157-68

For Ceiling and plasterwork conditions, refer to document:

Chestnuts House
Hoe Street
Walthamstow E17
Ceiling Report - October 2023

For outline spec refer to document:

Outline Specification for Repairs
For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Repairs to External Windows and Doors

Timber Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include splicing in new timber found to be decayed and resin type system for minor repairs. Balancing mechanisms to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out where is considered inappropriate like 'Georgian Wired'. Redecorate using a breathable external eggshell paint system in an agreed off white.

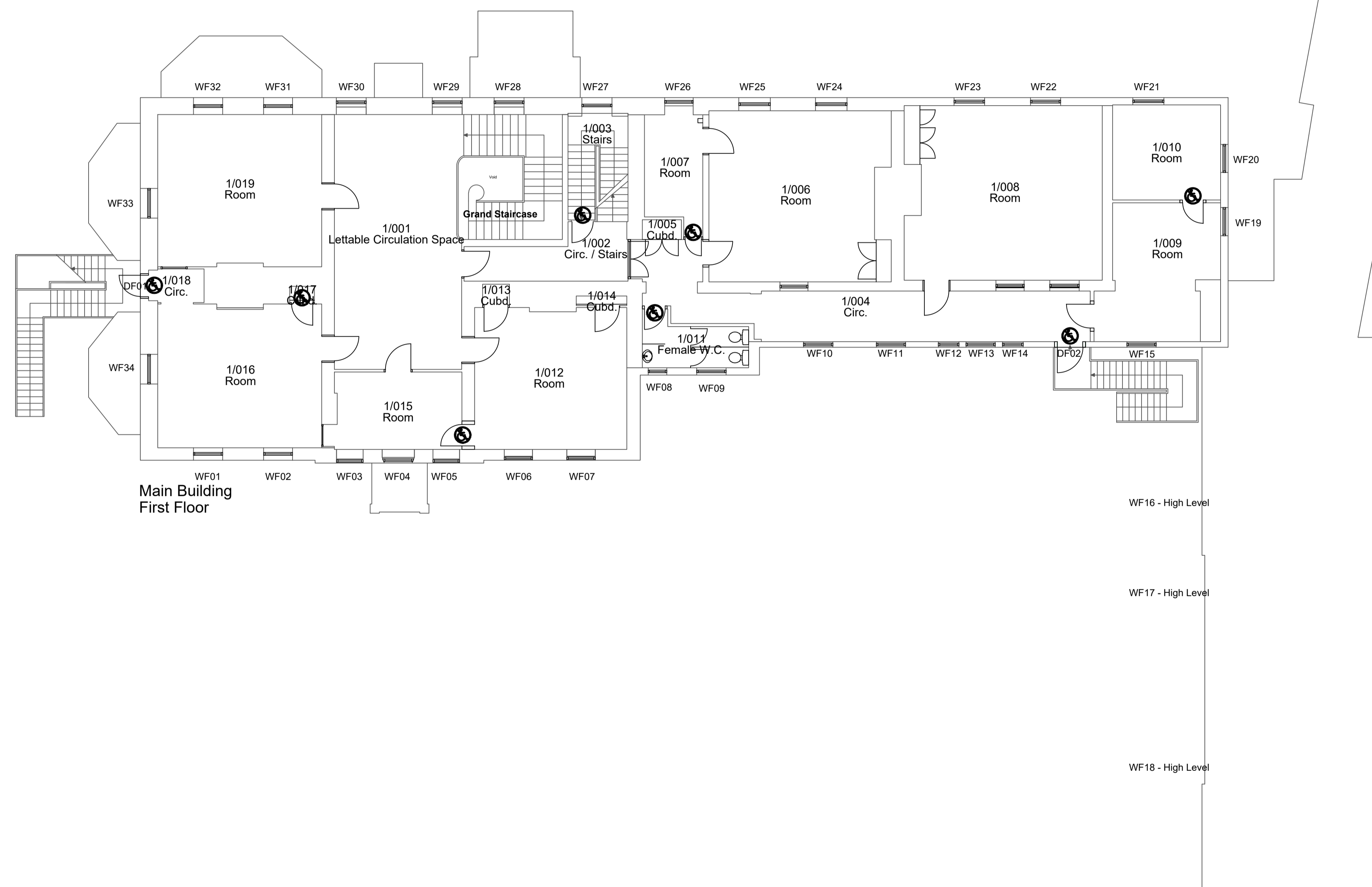
Metal Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include welding in new metal found to be corroded and for minor repairs, the use of resin type repair system. Ease and adjust casements. Casement hinges to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

Exterior Doors: Doors are to be stripped of paint back to substrate and repaired in situ where possible, including splicing in new timber found to be decayed and resin type repair system for minor repairs. Ironmongery to be overhauled and where missing matching items to be sourced and installed. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

Interior Ceilings and Plasterwork

Various Repairs to Ceilings: Repairs to supporting structure to be undertaken as specified by Structural Engineer. Cracks raked out and refilled using lime plaster. Unstable ceilings either partially or completely replaster using lime plaster. Where plaster ribs have failed, reinforcing of the ceiling plaster and laths using recessed penny washers and screws along with similar traditional techniques for cornices and other features. Redecorate ceilings with white emulsion on completion.

Wall Plaster Repairs to Grand Staircase: In-situ plaster repairs to chipped and cracked plasterwork using lime plaster or 'Plaster of Paris'. Redecorate ceilings with white emulsion on completion.



Main Building First Floor

FIRST ISSUE						
P1	DA	18.01.24	RA	19.01.24	ES	19.01.24
REV	DRAWN	DATE	CHECKED	DATE	APPROVED	DATE



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

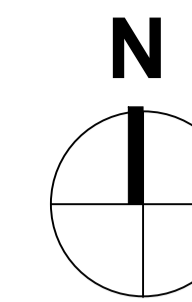
TITLE
Proposed First Floor Plan

SCALE DISCIPLINE PROJECT NUMBER
1:100 Architect 114694

DRAWING NUMBER REV CODE
EVO-ZZ-00-D-A-042 P1

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
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KEY PLAN



Notes:

WS - Windows on Second floor
DS - Doors on Second Floor

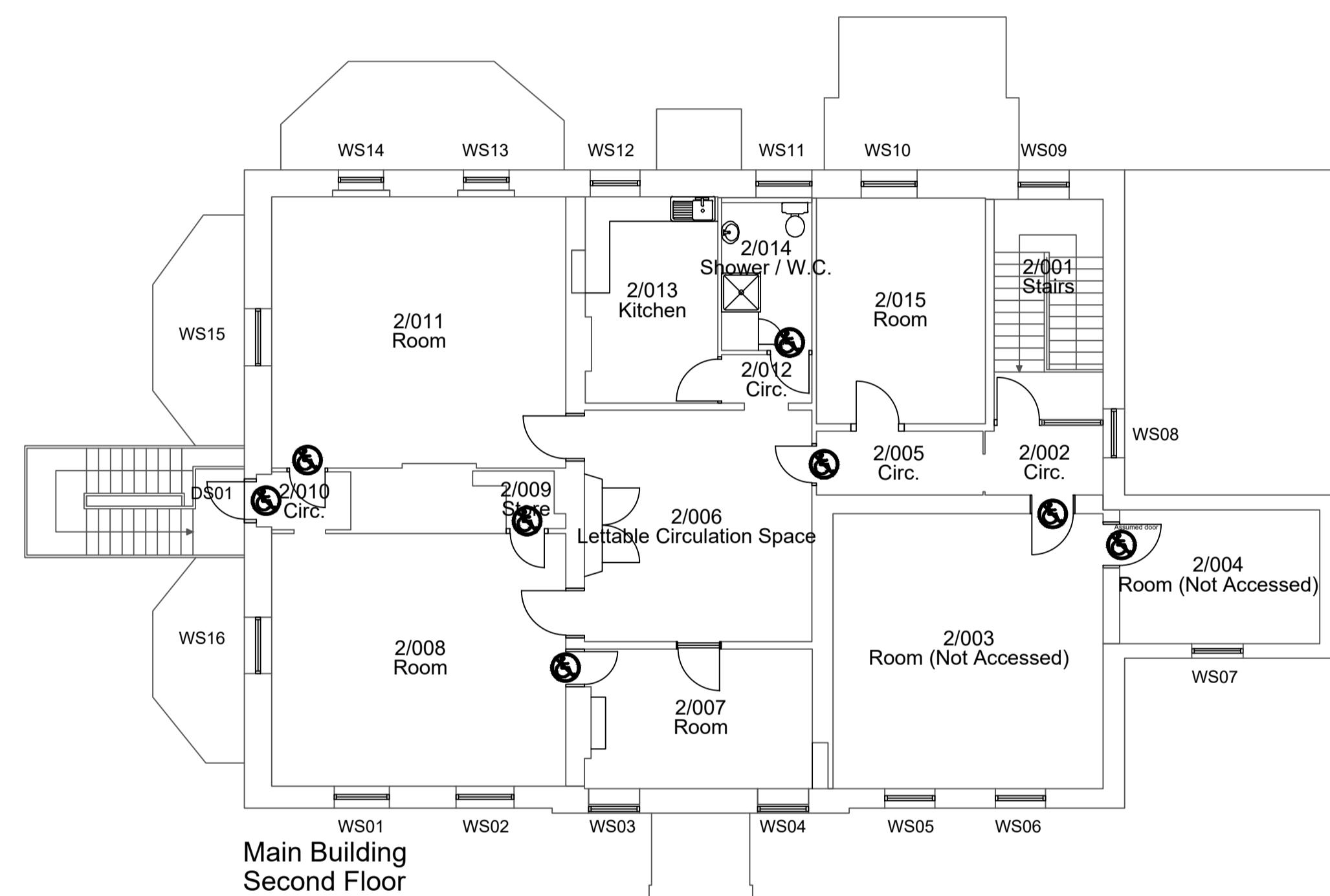
Chestnuts House: Window and door condition investigation
Site note 3 for September 2023, job no. 157-68

For Ceiling and plasterwork conditions, refer to document:

Chestnuts House
Hoe Street
Walthamstow E17
Ceiling Report - October 2023

For outline spec refer to document:

Outline Specification for Repairs
For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023



Repairs to External Windows and Doors

Timber Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include splicing in new timber found to be decayed and resin type system for minor repairs. Balancing mechanisms to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out where is considered inappropriate like 'Georgian Wired'. Redecorate using a breathable external eggshell paint system in an agreed off white.

Metal Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include welding in new metal found to be corroded and for minor repairs, the use of resin type repair system. Ease and adjust casements. Casement hinges to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

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Interior Ceilings and Plasterwork

Various Repairs to Ceilings: Repairs to supporting structure to be undertaken as specified by Structural Engineer. Cracks raked out and refilled using lime plaster. Unstable ceilings either partially or completely replaster using lime plaster. Where plaster nibs have failed, reinforcing of the ceiling plaster and laths using recessed penny washers and screws along with similar traditional techniques for cornices and other features. Redecorate ceilings with white emulsion on completion.

Wall Plaster Repairs to Grand Staircase: In-situ plaster repairs to chipped and cracked plasterwork using lime plaster or 'Plaster of Paris'. Redecorate ceilings with white emulsion on completion.

FIRST ISSUE						
P1	DA	18.01.24	RA	19.01.24	ES	19.01.24
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Tel: 01603 894100 web: www.norsegroup.co.uk

CLIENT
London Borough of Waltham forest

PROJECT
Chestnuts House Refurbishment

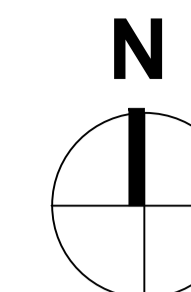
TITLE
Proposed Second Floor

SCALE DISCIPLINE PROJECT NUMBER
1:100 Architect 114694

DRAWING NUMBER REV CODE
EVO-ZZ-00-D-A-043 P1

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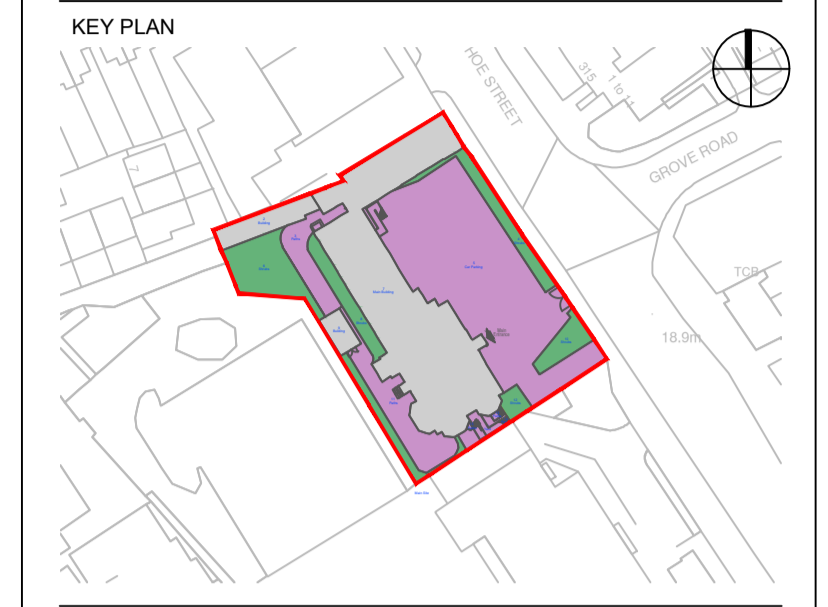
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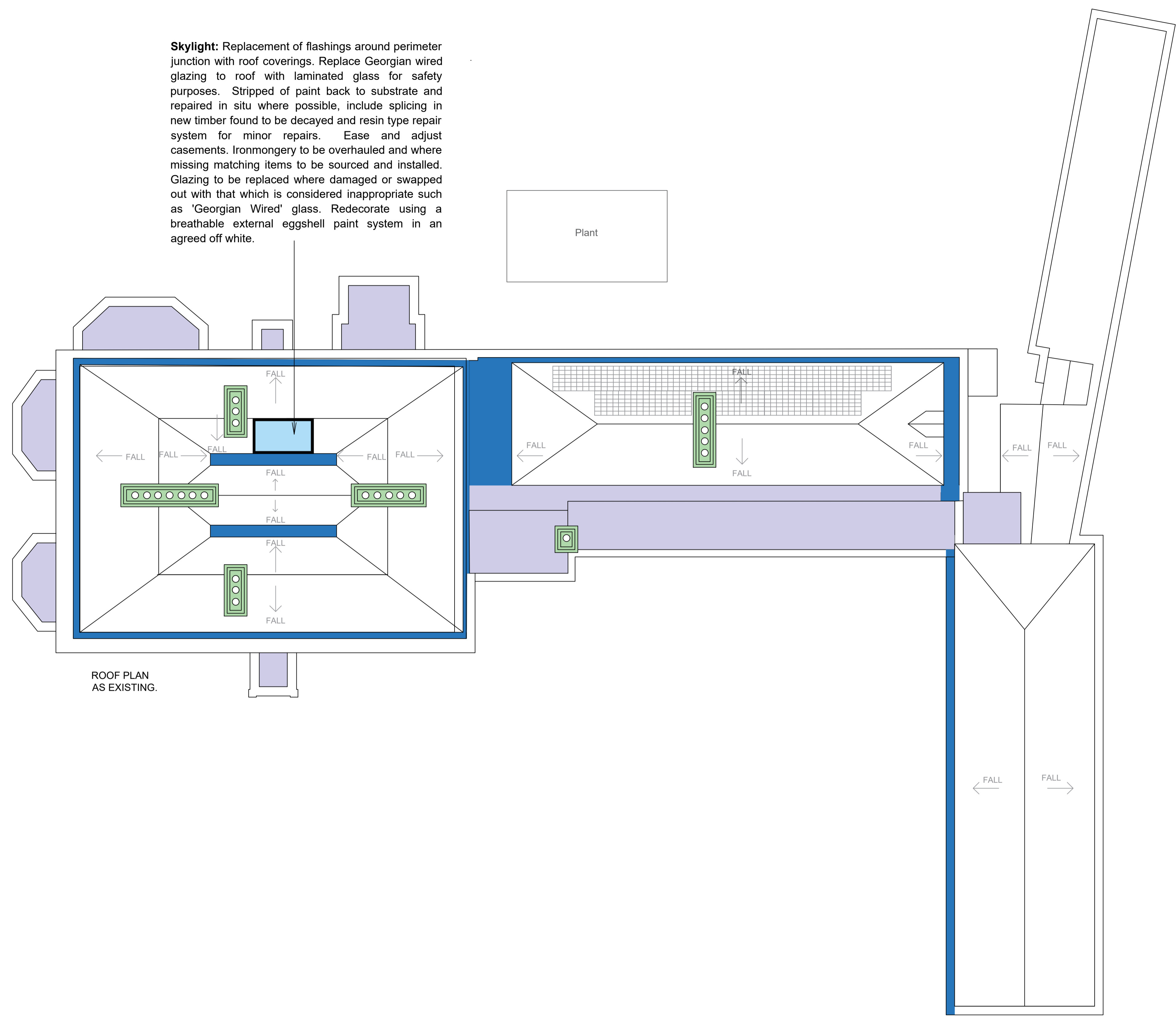
Notes:
Roof Safety Access: Provision of a safety line around the perimeter parapet walls for use with harnesses along with roof hatches located in the flat roofs

For outline spec refer to document:
Outline Specification for Repairs For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Skylight: Replacement of flashings around perimeter junction with roof coverings. Replace Georgian wired glazing to roof with laminated glass for safety purposes. Stripped of paint back to substrate and repaired in situ where possible, include splicing in new timber found to be decayed and resin type repair system for minor repairs. Ease and adjust casements. Ironmongery to be overhauled and where missing matching items to be sourced and installed. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

Plant

- Roof Coverings and Rainwater Goods**
- Valley and Parapet Gutters** - Removing all existing materials and relining with new lead including proving new chutes to hoppers.
 - Flat Roofs** - Removing roof coverings back to roof deck. Installing new insulation boarding and cover with Tern coated Stainless Steel to mimic lead including Wood Roll joints.
 - Chimneys/Fireplace and Internal Ventilation:** Placing a capping to the chimney pots at roof level. Internal spaces ventilated using openable windows and natural draw of the chimney/fire places.



ROOF PLAN AS EXISTING.

FIRST ISSUE						
REV	DA	DATE	RA	ES	DATE	DATE
P1	DA	17.01.24	RA	ES	19.01.24	19.01.24



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed Roof Plan

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-044 REV CODE P1

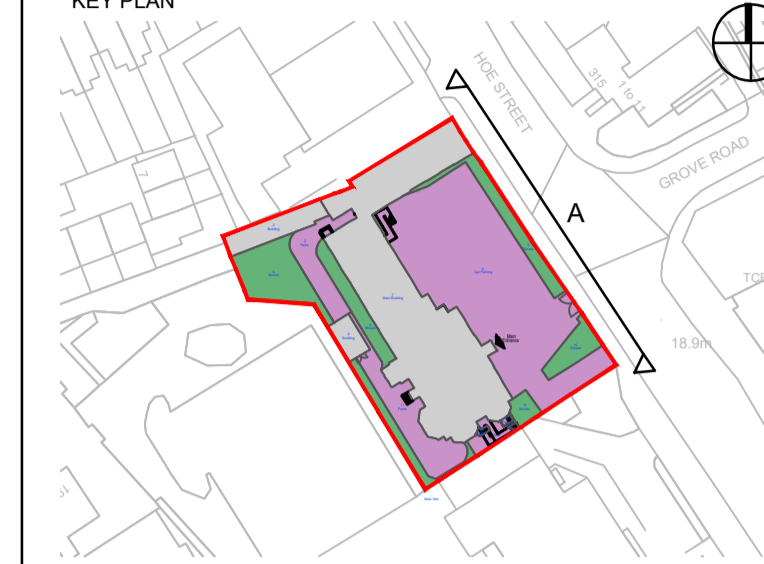
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KEY PLAN



Notes:

Secondary Glazing: New fire-resistant secondary glazing to be installed to the internal window reveals in the vicinity of the fire escape staircases to provide fire protection to those escaping from the building in the event of a fire, as required by Building Regulations.

For outline spec refer to document:

**Outline Specification for Repairs
For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023**

Brickwork Repairs
Repointing: Damages or missing joints are to be raked out to prescribed depth and refilled using a lime mortar mix to a matching agreed colour and texture to blend with surrounding brickwork as agreed - samples to be provided.
Brick Repairs: For bricks that are eroded there are two options under consideration. 1) To replace the brick/s within a location with new bricks or the same type and colour, or 2) To carryout a 'plastic mortar' repair using a mix of lime mortar and brick dust from the original bricks.

Front Porch: Remove existing plastic-based masonry paint and carryout repairs to render where damaged using the same cement-based render. Redecorate porch walls in a breathable exterior masonry paint. Replace the existing plastic rainwater hopper and downpipe with cast iron.



PROPOSED EAST ELEVATION A

Rainwater Downpipes: Repairs to upper lead pipes of downpipes on front elevation by either in-situ works re removal and later reinstatement. The lower section of those on the front elevations and remaining rainwater downpipes on the other elevations are cast iron downpipes and will be checked for leaks and repaired. New sections if required will be sand cast iron as will missing elements like brackets and shoes. If necessary, be bespoke manufacture. All pipes to be painted in black.

Other Exterior Pipework: Soil pipes will be pressure tested and repairs where necessary. Any plastic pipework will be replaced using cast iron of the same dimensions. New sections, if required, will be sand cast iron as will missing elements like brackets. If necessary, be bespoke manufacture. All pipework to be painted in black.

Two Storey Staircase: Dismantle existing fire escape and replace with a new purpose made metal staircase to similar dimensions in accordance with modern Building Regulations. Apply new colour contrasting nosings probably in white or light grey and anti-slip coatings on treads. Finish to be in black.

Three Storey Staircase (South Elevation): Carry out metal repairs and redecorate in black. Apply new colour contrasting nosings probably in white or light grey and anti-slip coatings on treads.

FIRST ISSUE						
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24
REV	DRAWN	DATE	CHECKED	DATE	APPROVED	DATE



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed East Elevation A

SCALE DISCIPLINE PROJECT NUMBER
1:100 Architect 114694

DRAWING NUMBER REV CODE
EVO-ZZ-00-D-A-045 P1

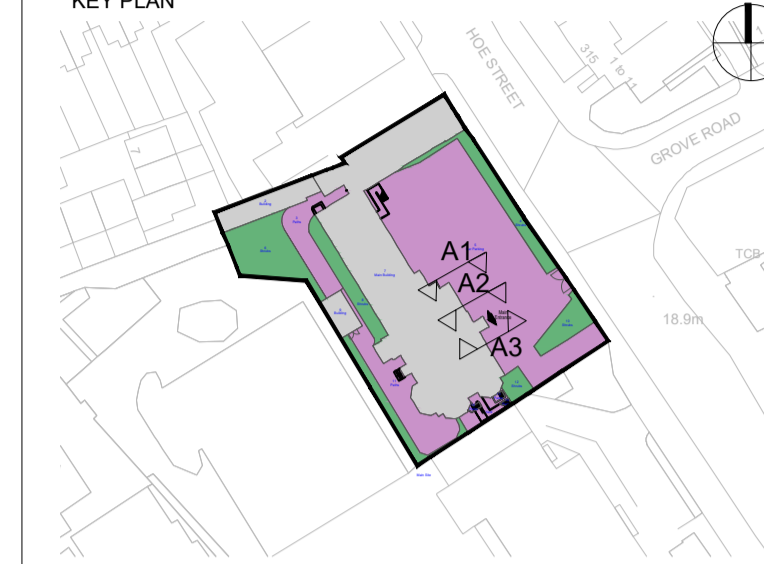
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S2	Planning Approval	DA	ES
		Checked by	RA

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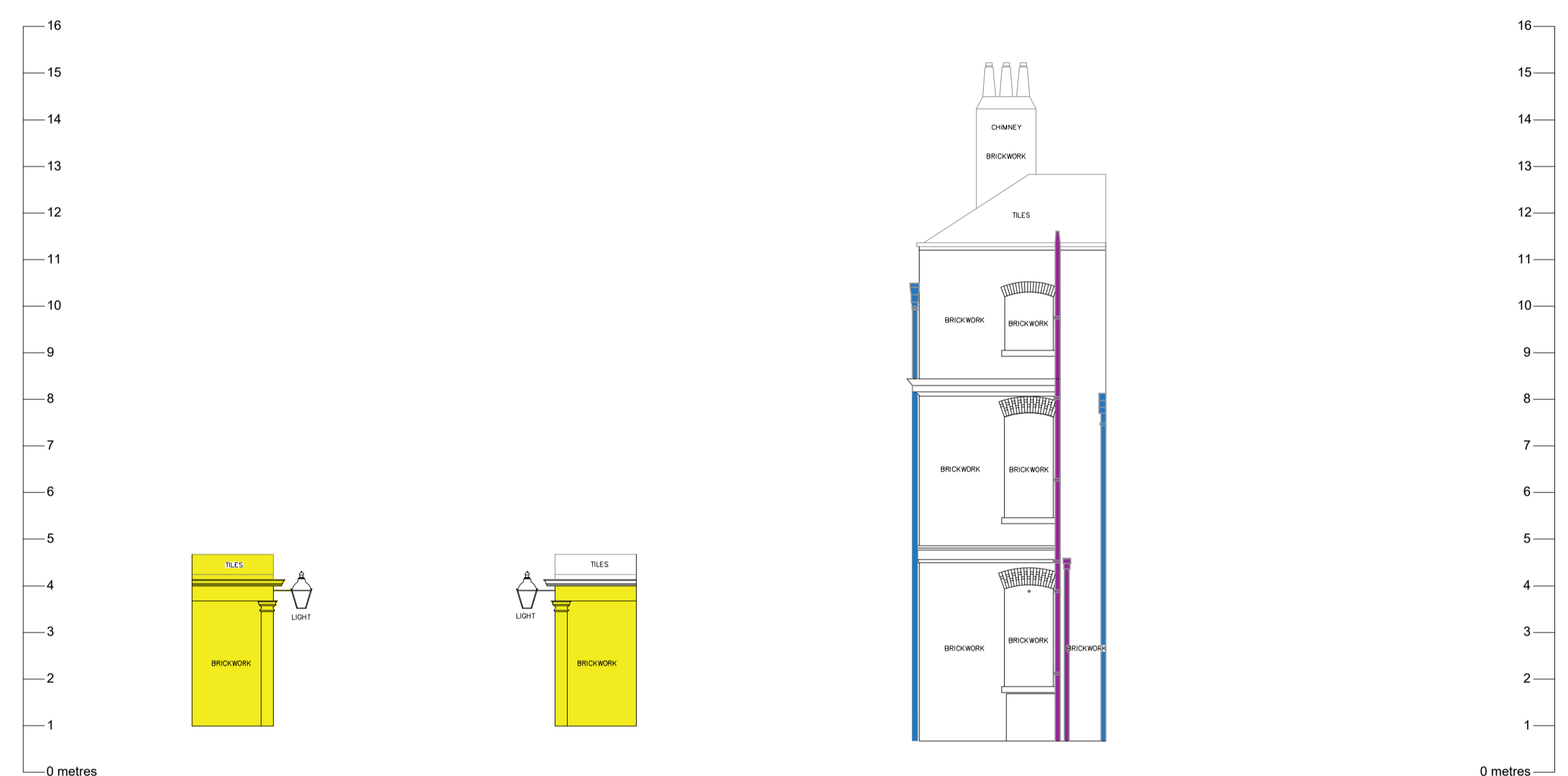
KEY PLAN



Notes:

For outline spec refer to document:

Outline Specification for Repairs For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023



PROPOSED ELEVATION A3 PROPOSED ELEVATION A2 PROPOSED ELEVATION A1

- Front Porch:** Remove existing plastic-based masonry paint and carry out repairs to render where damaged using the same cement-based render. Redecorate porch walls in a breathable exterior masonry paint. Replace the existing plastic rainwater hopper and downpipe with cast iron.
- Rainwater Downpipes:** Repairs to upper lead pipes of downpipes on front elevation by either in-situ works re removal and later reinstatement. The lower section of those on the front elevations and remaining rainwater downpipes on the other elevations are cast iron downpipes and will be checked for leaks and repaired. New sections if required will be sand cast iron as will missing elements like brackets and shoes. If necessary, be bespoke manufacture. All pipes to be painted in black.
- Other Exterior Pipework:** Soil pipes will be pressure tested and repairs where necessary. Any plastic pipework will be replaced using cast iron of the same dimensions. New sections, if required, will be sand cast iron as will missing elements like brackets. If necessary, be bespoke manufacture. All pipework to be painted in black.

FIRST ISSUE						
REV	DA	DATE	CHECKED	DATE	APPROVED	DATE
P1	DA	21.12.23	RA	19.01.24	ES	10.01.24



CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed East Elevations A1-A3

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

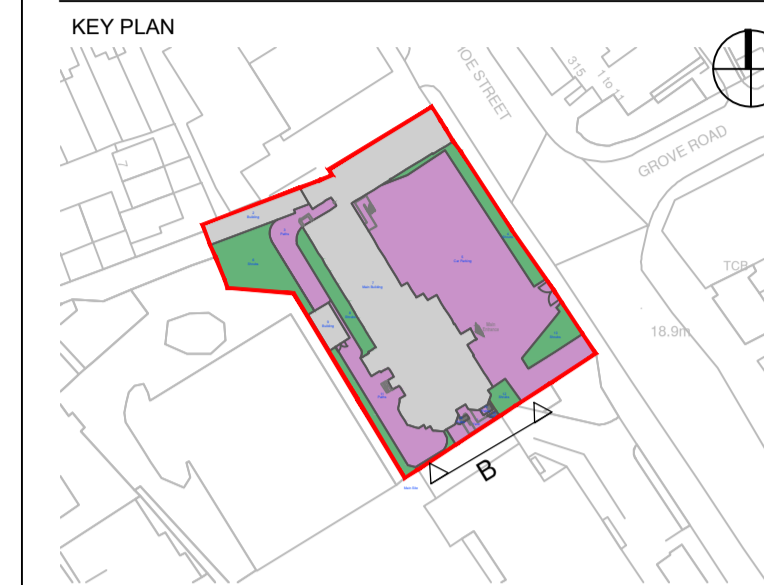
DRAWING NUMBER EVO-ZZ-00-D-A-046 REV CODE P1

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
		Checked by RA	

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Notes:
Secondary Glazing: New fire-resistant secondary glazing to be installed to the internal window reveals in the vicinity of the fire escape staircases to provide fire protection to those escaping from the building in the event of a fire, as required by Building Regulations.

For outline spec refer to document:
Outline Specification for Repairs For Pre-application Discussion with Historic England Project Ref: 09-14-114694 November 2023



PROPOSED SOUTH ELEVATION B

Metal Fire Escapes
Three Storey Staircase (South Elevation): Carry out metal repairs and redecorate in black. Apply new colour contrasting nosings probably in white or light grey and anti-slip coatings on treads.

Brickwork Repairs
Repointing: Damages or missing joints are to be raked out to prescribed depth and refilled using a lime mortar mix to a matching agreed colour and texture to blend with surrounding brickwork as agreed - samples to be provided.
Brick Repairs: For bricks that are eroded there are two options under consideration. 1) To replace the brick/s within a location with new bricks or the same type and colour, or 2) To carryout a 'plastic mortar' repair using a mix of lime mortar and brick dust from the original bricks.

Front Porch: Remove existing plastic-based masonry paint and carryout repairs to render where damaged using the same cement-based render. Redecorate porch walls in a breathable exterior masonry paint. Replace the existing plastic rainwater hopper and downpipe with cast iron.

FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24



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Tel: 01603 894100 web: www.norsegroup.co.uk

CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed South Elevation B

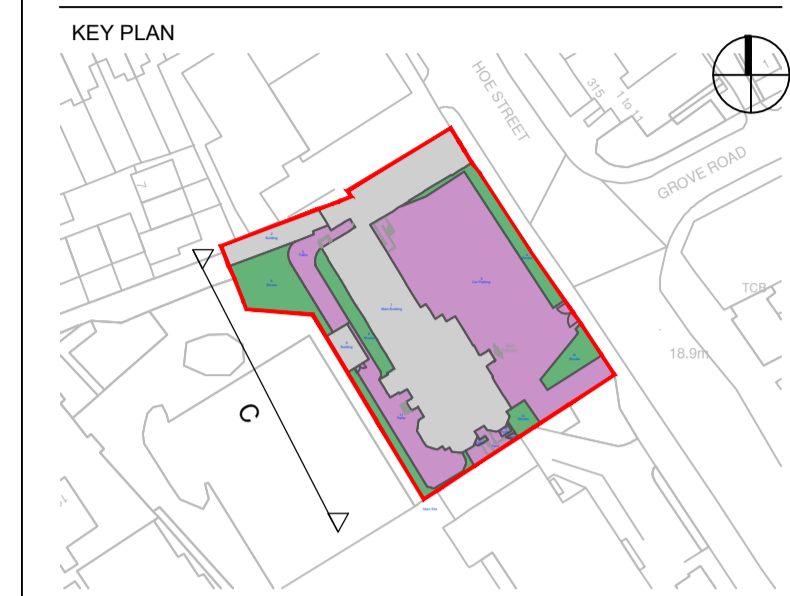
SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-047 REV CODE P1

STATUS CODE S2 PURPOSE OF ISSUE Planning Approval Drawn by DA Checked by RA Approved by ES

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Notes:
Secondary Glazing: New fire-resistant secondary glazing to be installed to the internal window reveals in the vicinity of the fire escape staircases to provide fire protection to those escaping from the building in the event of a fire, as required by Building Regulations.

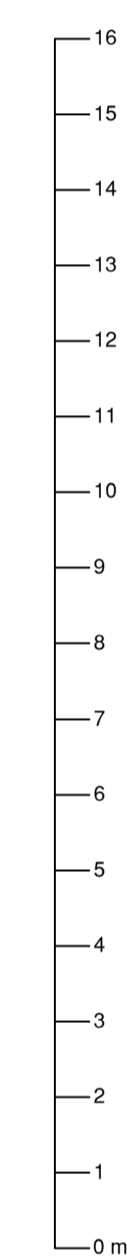
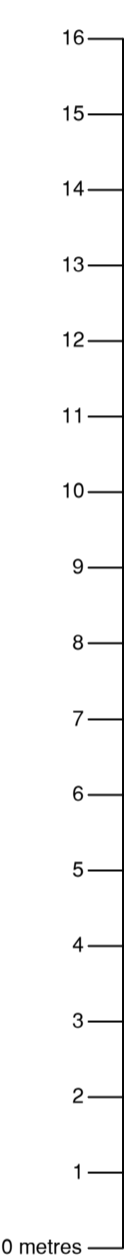
For outline spec refer to document:

Outline Specification for Repairs For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Metal Fire Escapes
Three Storey Staircase (South Elevation): Carry out metal repairs and redecorate in black. Apply new colour contrasting nosings probably in white or light grey and anti-slip coatings on treads.

Brickwork Repairs
Repointing: Damages or missing joints are to be raked out to prescribed depth and refilled using a lime mortar mix to a matching agreed colour and texture to blend with surrounding brickwork as agreed - samples to be provided.

Brick Repairs: For bricks that are eroded there are two options under consideration. 1) To replace the brick/s within a location with new bricks or the same type and colour, or 2) To carryout a 'plastic mortar' repair using a mix of lime mortar and brick dust from the original bricks.



PROPOSED WEST ELEVATION C

Rainwater Downpipes: Repairs to upper lead pipes of downpipes on front elevation by either in-situ works re removal and later reinstatement. The lower section of those on the front elevations and remaining rainwater downpipes on the other elevations are cast iron downpipes and will be checked for leaks and repaired. New sections if required will be sand cast iron as will missing elements like brackets and shoes. If necessary, be bespoke manufacture. All pipes to be painted in black.

Other Exterior Pipework: Soil pipes will be pressure tested and repairs where necessary. Any plastic pipework will be replaced using cast iron of the same dimensions. New sections, if required, will be sand cast iron as will missing elements like brackets. If necessary, be bespoke manufacture. All pipework to be painted in black.

FIRST ISSUE						
REV	DATE	CHECKED	DATE	APPROVED	DATE	
P1	19.01.24	RA	19.01.24	ES	19.01.24	

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WALTHAM FOREST COUNCIL AND NORSE CONSULTING

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Tel: 01603 894100 web: www.norsegroup.co.uk

CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed West Elevation C

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-048 REV CODE P1

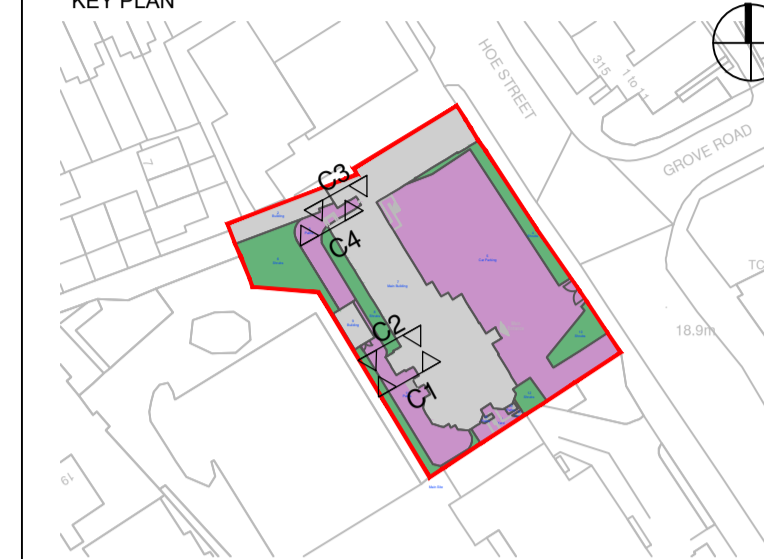
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		Checked by RA	ES

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KEY PLAN



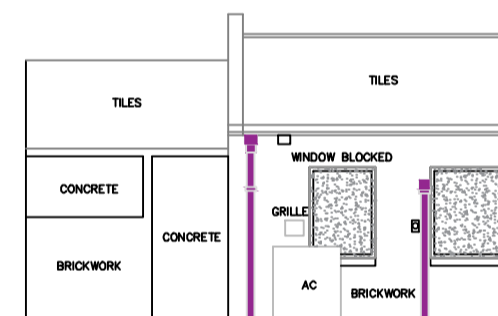
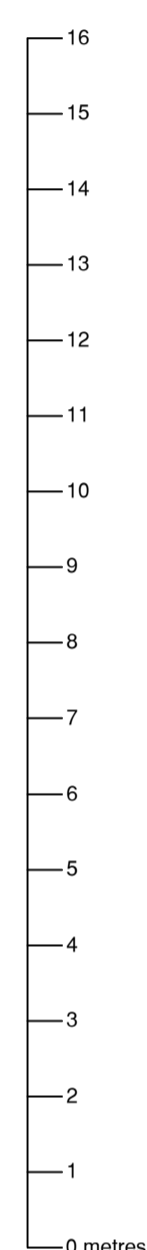
Notes:

For outline spec refer to document:

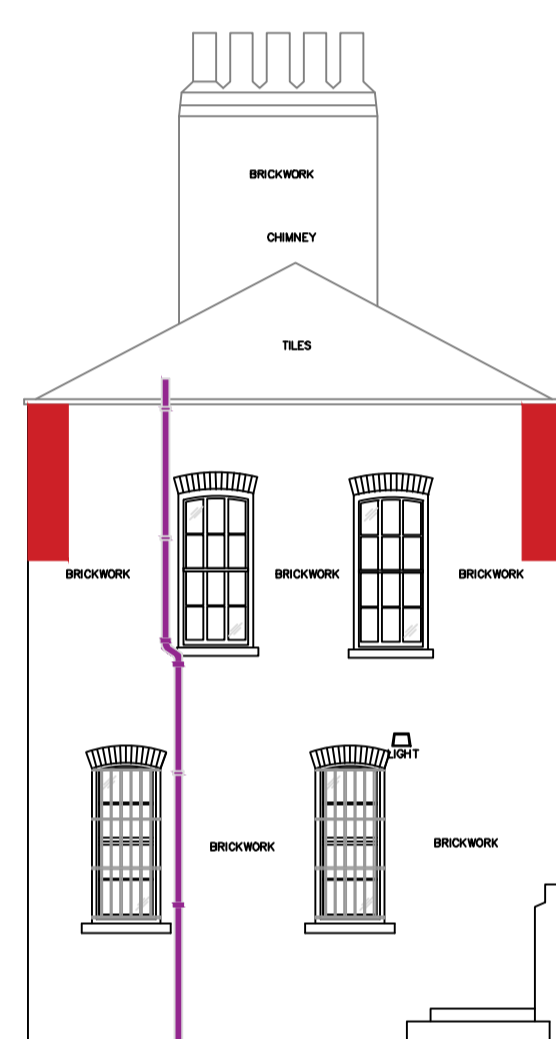
Outline Specification for Repairs For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Brickwork Repairs
Repointing: Damages or missing joints are to be raked out to prescribed depth and refilled using a lime mortar mix to a matching agreed colour and texture to blend with surrounding brickwork as agreed - samples to be provided.
Brick Repairs: For bricks that are eroded there are two options under consideration. 1) To replace the brick/s within a location with new bricks or the same type and colour, or 2) To carryout a 'plastic mortar' repair using a mix of lime mortar and brick dust from the original bricks.

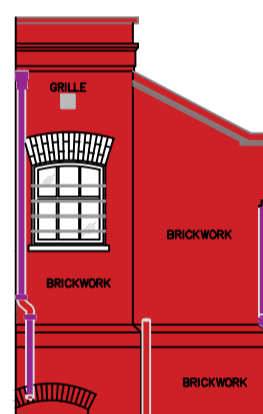
Other Exterior Pipework: Soil pipes will be pressure tested and repairs where necessary. Any plastic pipework will be replaced using cast iron of the same dimensions. New sections, if required, will be sand cast iron as will missing elements like brackets. If necessary, be bespoke manufacture. All pipework to be painted in black.



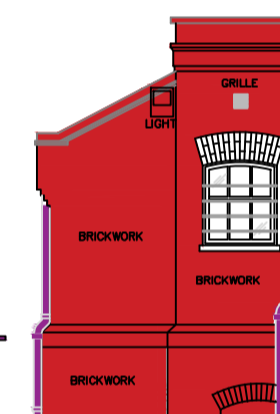
PROPOSED ELEVATION C4



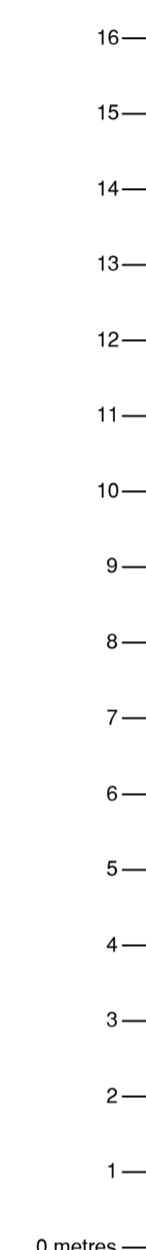
PROPOSED ELEVATION C3



PROPOSED ELEVATION C2



PROPOSED ELEVATION C1



FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24



CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishments

TITLE
Proposed West Elevations C1-C4

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-029 REV CODE P1

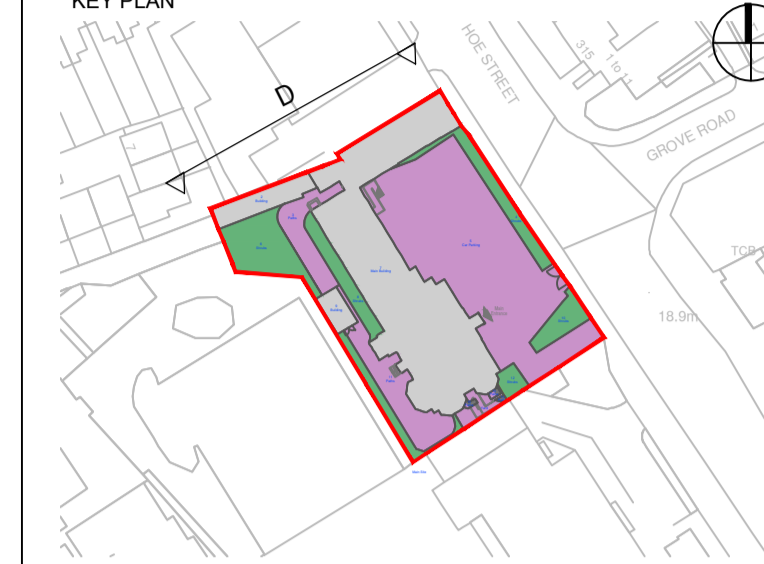
STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by
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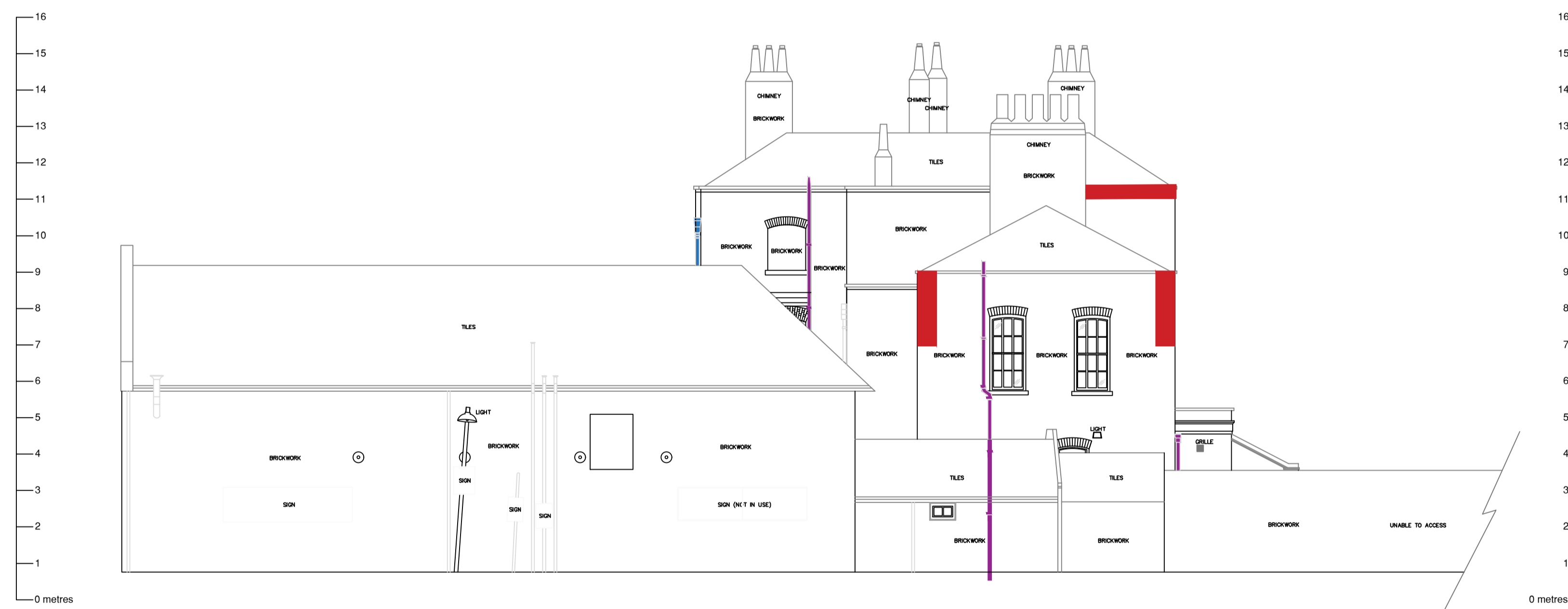
For outline spec refer to document:

Outline Specification for Repairs
For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Brickwork Repairs
Repointing: Damages or missing joints are to be raked out to prescribed depth and refilled using a lime mortar mix to a matching agreed colour and texture to blend with surrounding brickwork as agreed - samples to be provided.

Brick Repairs: For bricks that are eroded there are two options under consideration. 1) To replace the brick/s within a location with new bricks or the same type and colour, or 2) To carryout a 'plastic mortar' repair using a mix of lime mortar and brick dust from the original bricks.

Other Exterior Pipework: Soil pipes will be pressure tested and repairs where necessary. Any plastic pipework will be replaced using cast iron of the same dimensions. New sections, if required, will be sand cast iron as will missing elements like brackets. If necessary, be bespoke manufacture. All pipework to be painted in black.



PROPOSED NORTH ELEVATION D

FIRST ISSUE						
REV	DA	DATE	RA	DATE	ES	DATE
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24



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280 Filers Lane, Norwich, NR6 6EQ
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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed Elevation D

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-040 REV CODE P1

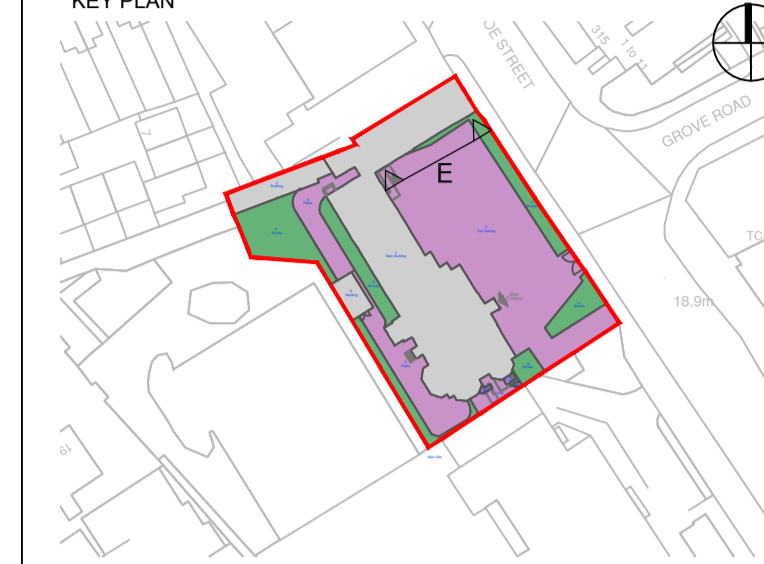
STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by
		Checked by RA	ES

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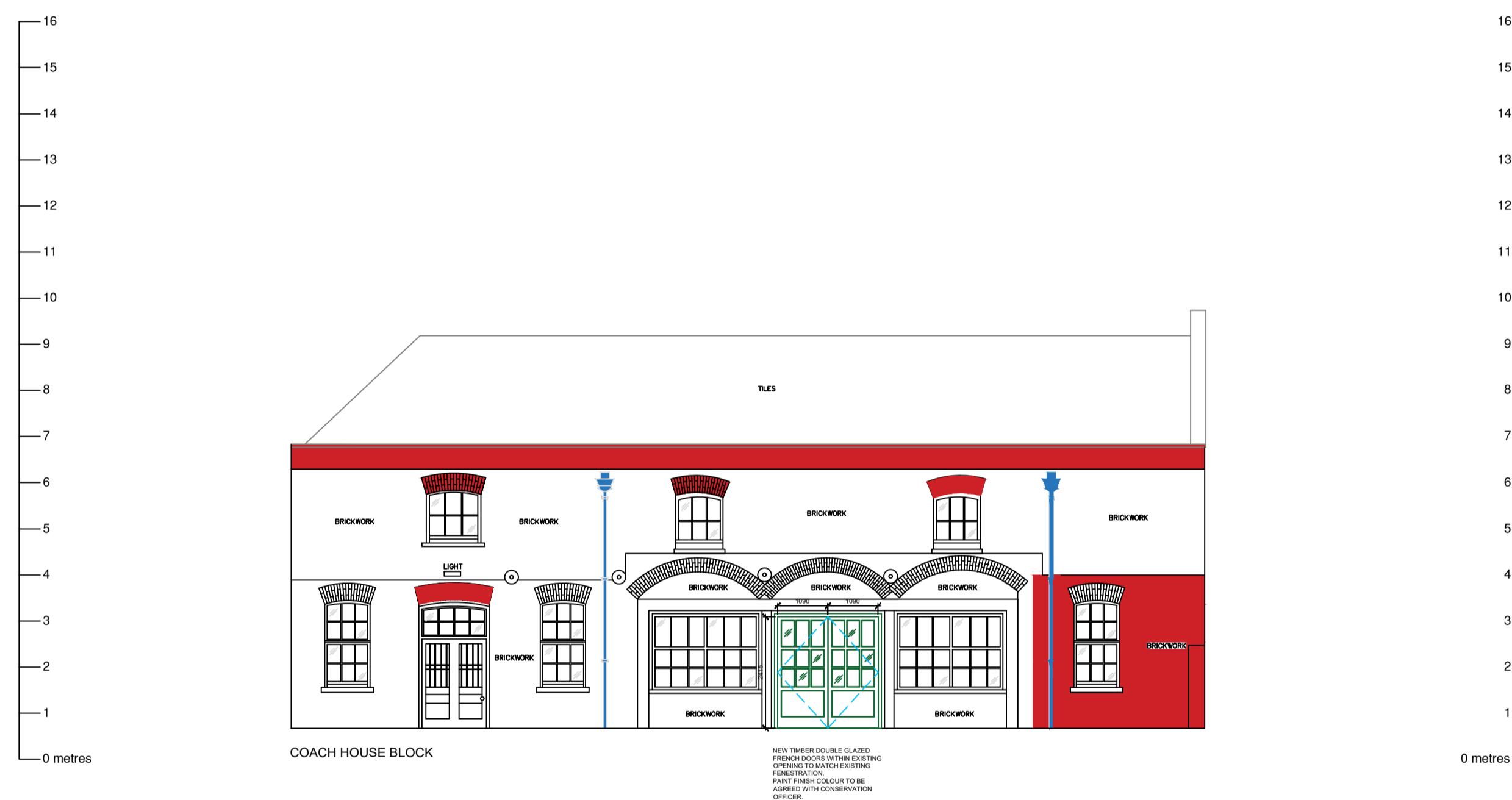
KEY PLAN



Notes:

For outline spec refer to document:

Outline Specification for Repairs For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023



PROPOSED NORTH ELEVATION E

Brickwork Repairs
Coach House North Wall: Carry out brickwork repairs and repoint using lime mortar up to 'dado' height (approximately 1200mm). Install a cavity membrane liner to the exterior walls along with drainage gutter/channels set into the floor screed. Connect the channels to a sump pit with submersible pump (location to be agreed). Enclose the cavity membrane by constructing a false plasterboard wall and decorate. Remove from external face of wall up to 1200mm existing masonry paint and, following any repointing in lime mortar, to apply a breathable masonry paint coating.

Rainwater Downpipes: Repairs to upper lead pipes of downpipes on front elevation by either in-situ works re removal and later reinstatement. The lower section of those on the front elevations and remaining rainwater downpipes on the other elevations are cast iron downpipes and will be checked for leaks and repaired. New sections if required will be sand cast iron as will missing elements like brackets and shoes. If necessary, be bespoke manufacture. All pipes to be painted in black.

Double Timber Doorset & frame: New 54mm thick timber double glazed doors, fenestration to match existing windows. Size: Bespoke.
Finish: Factory primed to receive paint finish. Colour: To CO approval.
Push pad fire exit ironmongery to CO approval.
Works: Remove existing window, breakout brickwork below to form opening, make good to receive new level threshold doorset.
Make good surfacing externally and floor finish internally where affected by works to create level threshold.

Bricks to be cleaned and set aside for re-use.

FIRST ISSUE							
REV	DATE	DATE	CHECKED	DATE	APPROVED	DATE	
P1	DA	19.01.24	RA	19.01.24	ES	19.01.24	

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280 Filers Lane, Norwich, NR8 6EQ
Tel: 01603 894100 web: www.norsegroup.co.uk

CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

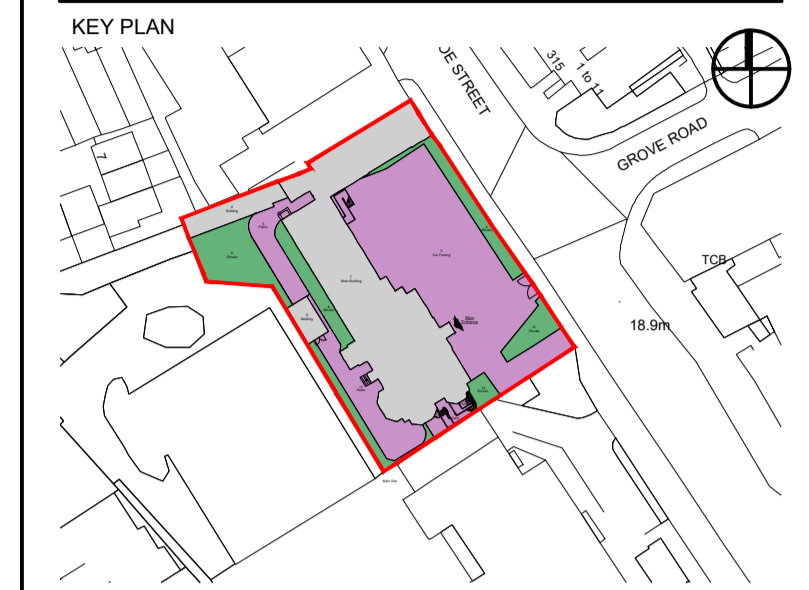
TITLE
Proposed North Elevation E

SCALE 1:100 DISCIPLINE Architect PROJECT NUMBER 114694

DRAWING NUMBER EVO-ZZ-00-D-A-051 REV CODE P2

STATUS CODE S2	PURPOSE OF ISSUE Planning Approval	Drawn by DA	Approved by ES
		Checked by RA	

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Notes:

WG - Windows on Ground floor
DG - Doors on Ground Floor

For Windows and doors condition investigation report, refer to document:

Chestnuts House: Window and door condition investigation
Site note 3 for September 2023, job no. 157-68

For Ceiling and plasterwork conditions, refer to document:

Chestnuts House
Hoe Street
Walthamstow E17
Ceiling Report - October 2023

For outline spec refer to document:

Outline Specification for Repairs
For Pre-application Discussion with Historic England
Project Ref: 09-14-114694
November 2023

Coach House

Isolate radiators affected by works, re-configure heating pipework to run below floor level, install removable cover plate.

Re-install radiator in new location.

Re-test & commission heating.

Refer to Mech Eng spec for detail.

Refer to Structural Engineering drawing for details of vertical columns.

GENERALLY INCLUDING COACH HOUSE

Repairs to External Windows and Doors

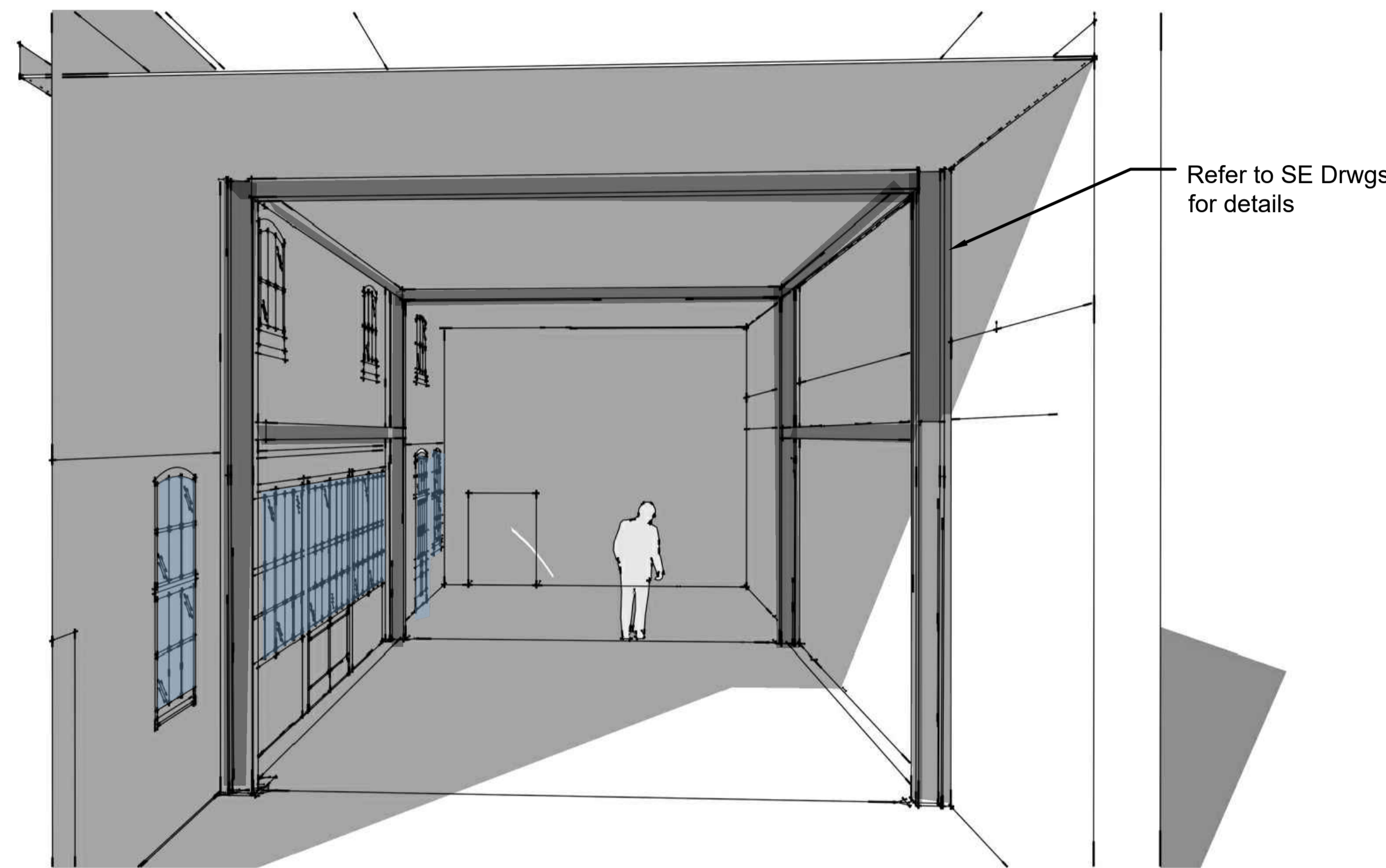
Timber Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include splicing in new timber found to be decayed and resin type system for minor repairs. Balancing mechanisms to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out where is considered inappropriate like 'Georgian Wired'. Redecorate using a breathable external eggshell paint system in an agreed off white.

Metal Windows: Windows are to be stripped of paint back to substrate and repaired in situ where possible, include welding in new metal found to be corroded and for minor repairs, the use of resin type repair system. Ease and adjust casements. Casement hinges to be overhauled and restrictors installed for security. Ironmongery to be overhauled and where missing matching items to be sourced. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

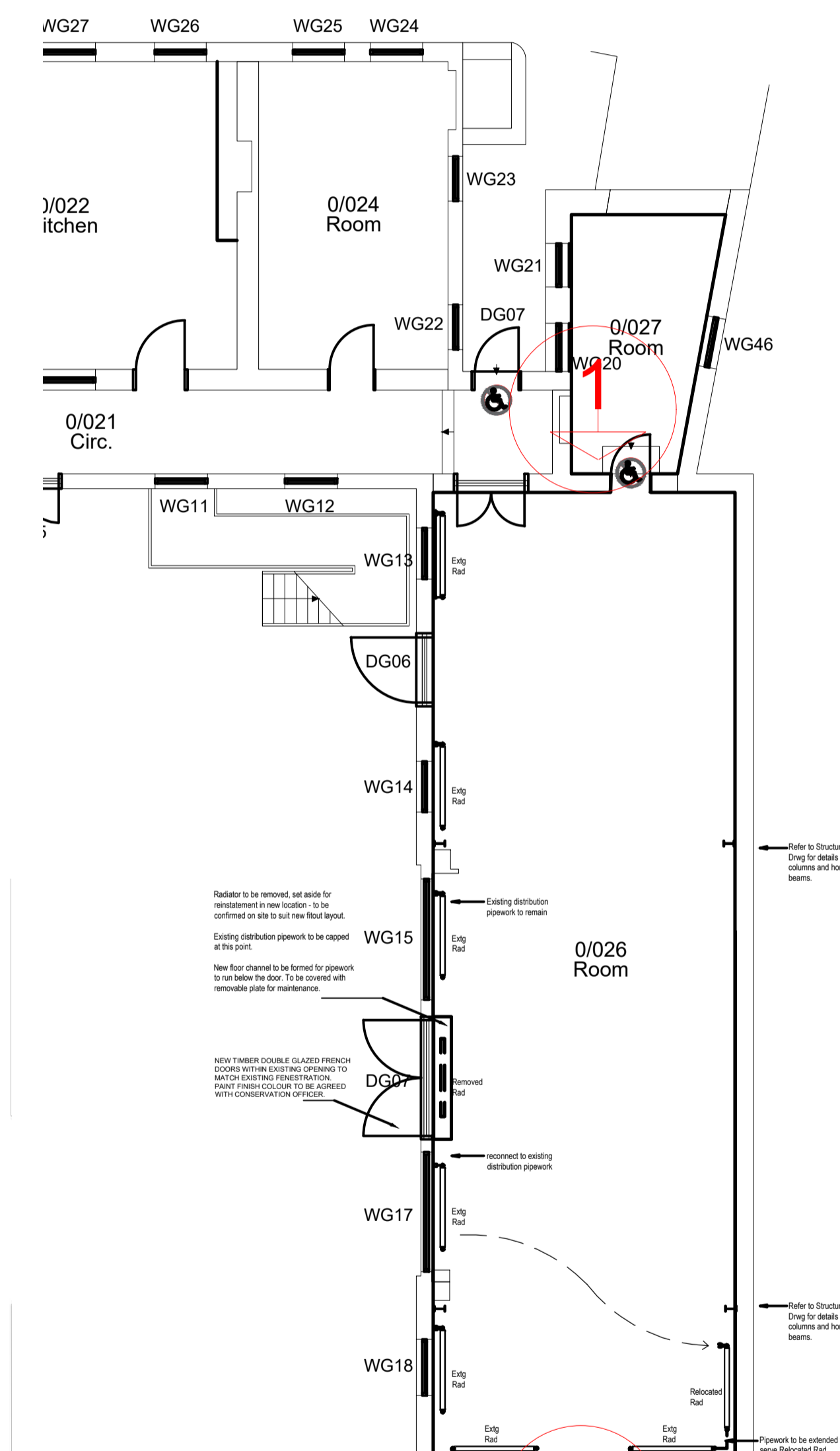
Exterior Doors: Doors are to be stripped of paint back to substrate and repaired in situ where possible, including splicing in new timber found to be decayed and resin type repair system for minor repairs. Ironmongery to be overhauled and where missing matching items to be sourced and installed. Glazing to be replaced where damaged or swapped out with that which is considered inappropriate such as 'Georgian Wired' glass. Redecorate using a breathable external eggshell paint system in an agreed off white.

Interior Ceilings and Plasterwork

Various Repairs to Ceilings: Repairs to supporting structure to be undertaken as specified by Structural Engineer. Cracks raked out and refilled using lime plaster. Unstable ceilings either partially or completely replaster using lime plaster. Where plaster ribs have failed, reinforcing of the ceiling plaster and laths using recessed penny washers and screws along with similar traditional techniques for cornices and other features. Redecorate ceilings with white emulsion on completion.



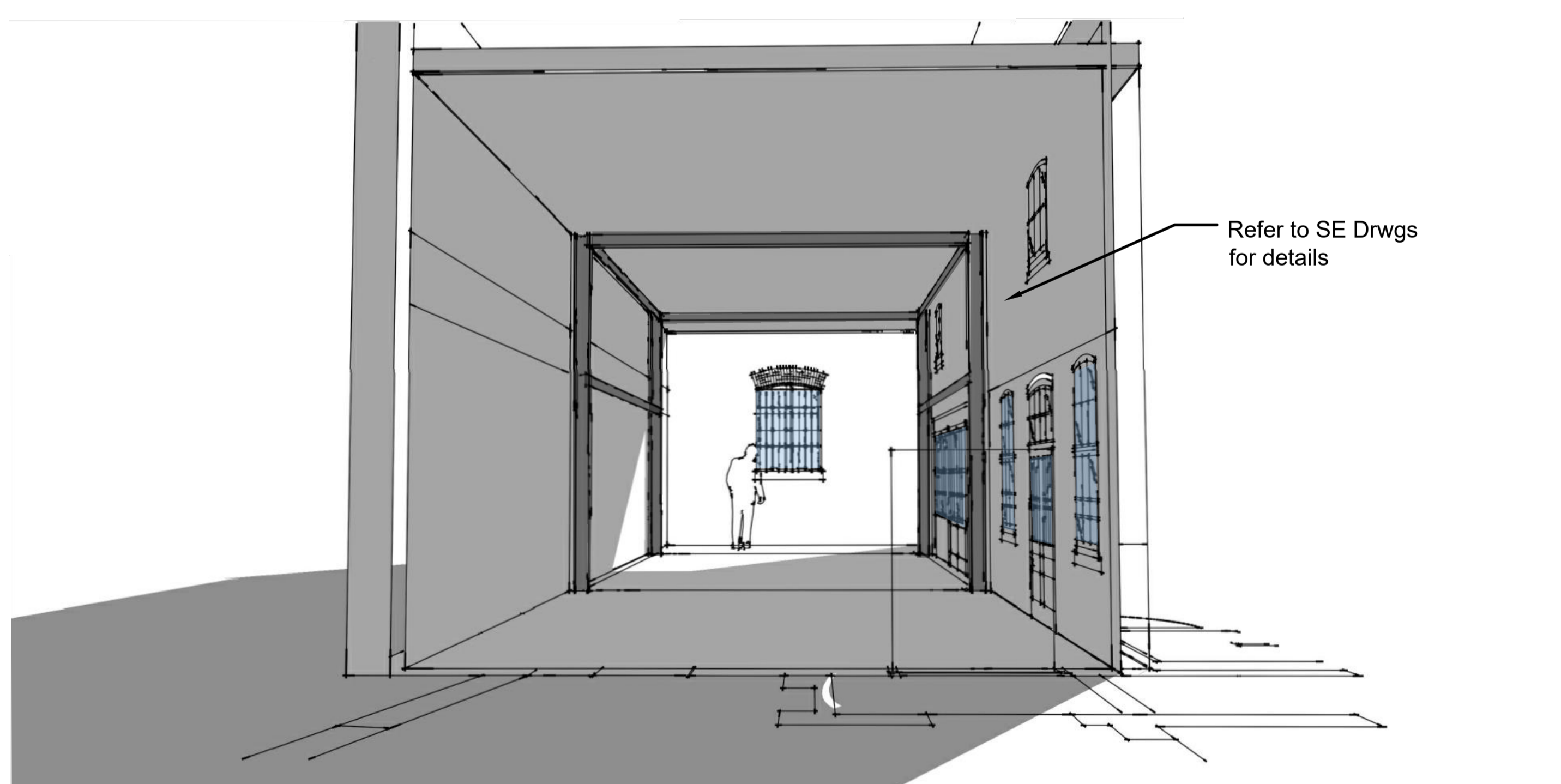
View 2



Coach House

FMSE/EVO/CHH/0198

Site Area:
Gross External Area:
Gross Internal Area: 130m²
Total Room Area:
Net Internal Area:



View 1

FIRST ISSUE					
REV	DA	18.01.24	RA	19.01.24	ES
REV	DRAWN	DATE	CHECKED	DATE	APPROVED
P1	DA	18.01.24	RA	19.01.24	ES



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CLIENT
London Borough of Waltham Forest

PROJECT
Chestnuts House Refurbishment

TITLE
Proposed Ground Floor Plan - Coach House
Sketch views of structural framing

SCALE	DISCIPLINE	PROJECT NUMBER
1:100	Architect	114694

DRAWING NUMBER	REV CODE
EVO-ZZ-00-D-A-060	P1

STATUS CODE	PURPOSE OF ISSUE	Drawn by	Approved by
S2	Planning Approval	DA	ES
		Checked by	RA

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