

General Notes

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These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.

The site boundaries and surroundings are based on the following:

• OS Map / Measured survey by XXXXXXX

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Specific Notes

Key

N

1:1250

0

10

20

30

40

50

60m

P1	CM	PLANNING ISSUE			07/08/20
P0	CM	Issued for co-ordination			16/06/20
Rev	Drawn	Notes			Date
X#	XX	##/##/##			
Rev	Checked	Date	Approved		Date

REVISIONS

Client

NPLH Midland Road Limited

	A - APPROVED
	B - APPROVED WITH COMMENTS
	C - DO NOT USE

CLIENT APPROVAL

stephen davy architects

peter smith

Fanshaw House, Fanshaw Street, London N1 6HX
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Project

Midland Road

Leyton

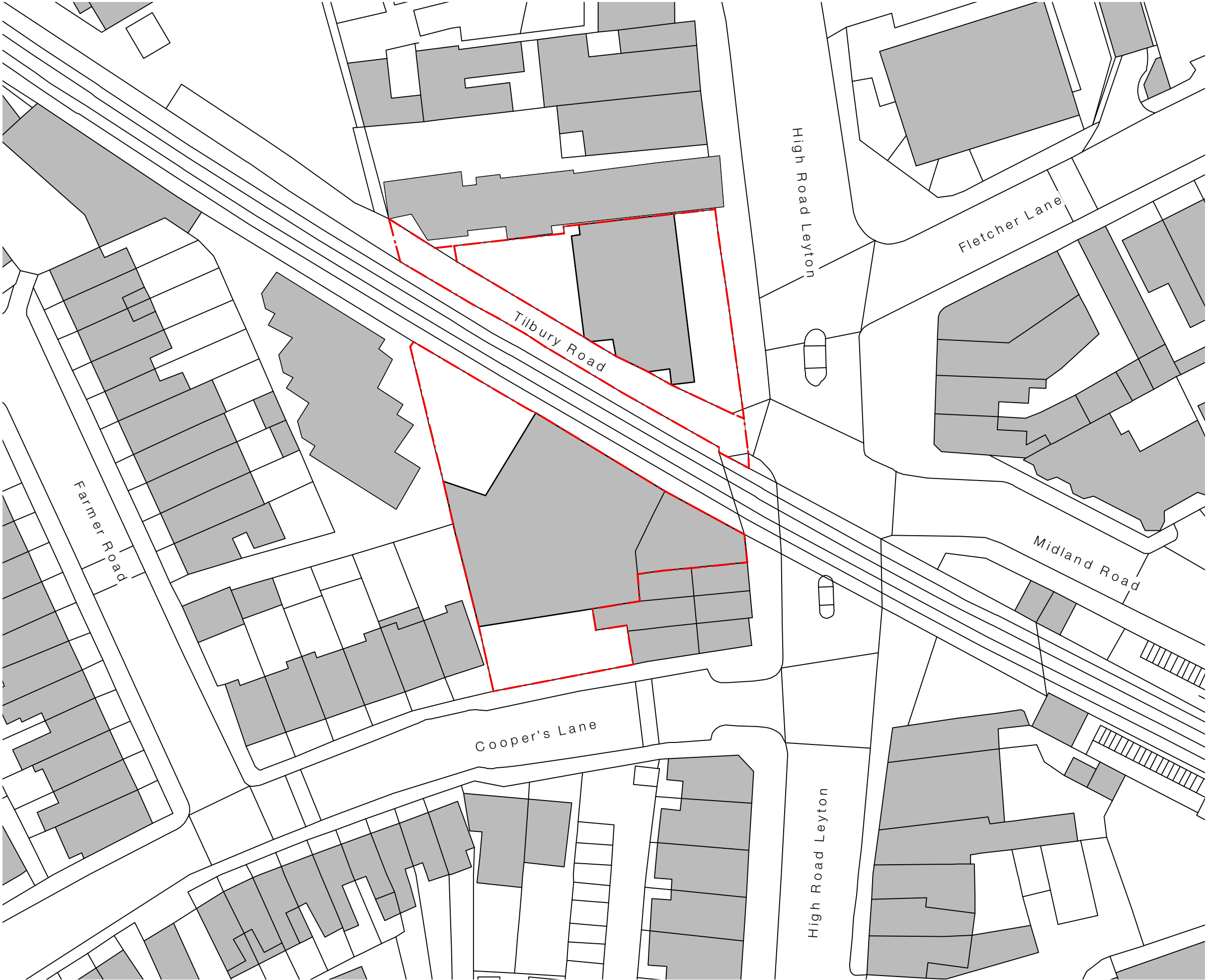
Drawing Ref.	Job No.
1913 - DS - XX - GF - DR - A - P001	1913
Purpose of Issue	Scale
PLANNING	1:1250 @ A3

Drawing Title

Location Plan

Project Ref - Drawing No - Status - Revision

1913 - P001 - S0 - P1



General Notes

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The site boundaries and surroundings are based on the following:

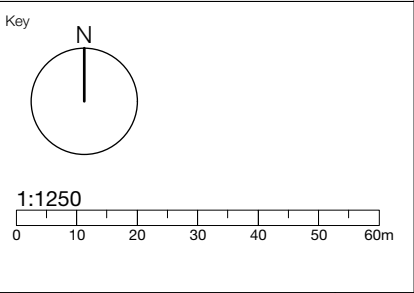
- OS Map / Measured survey by Xxxxxxx

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Specific Notes

— Site Boundary



P1	CM	PLANNING ISSUE			07/08/20
P0	CM	Issued for co-ordination			16/06/20
Rev	Drawn	Notes			Date
X#	XX	##/##/##			
Rev	Checked	Date	Approved		Date

REVISIONS

Client	
NPLH Midland Road Limited	
	A - APPROVED
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Project

Midland Road
Leyton

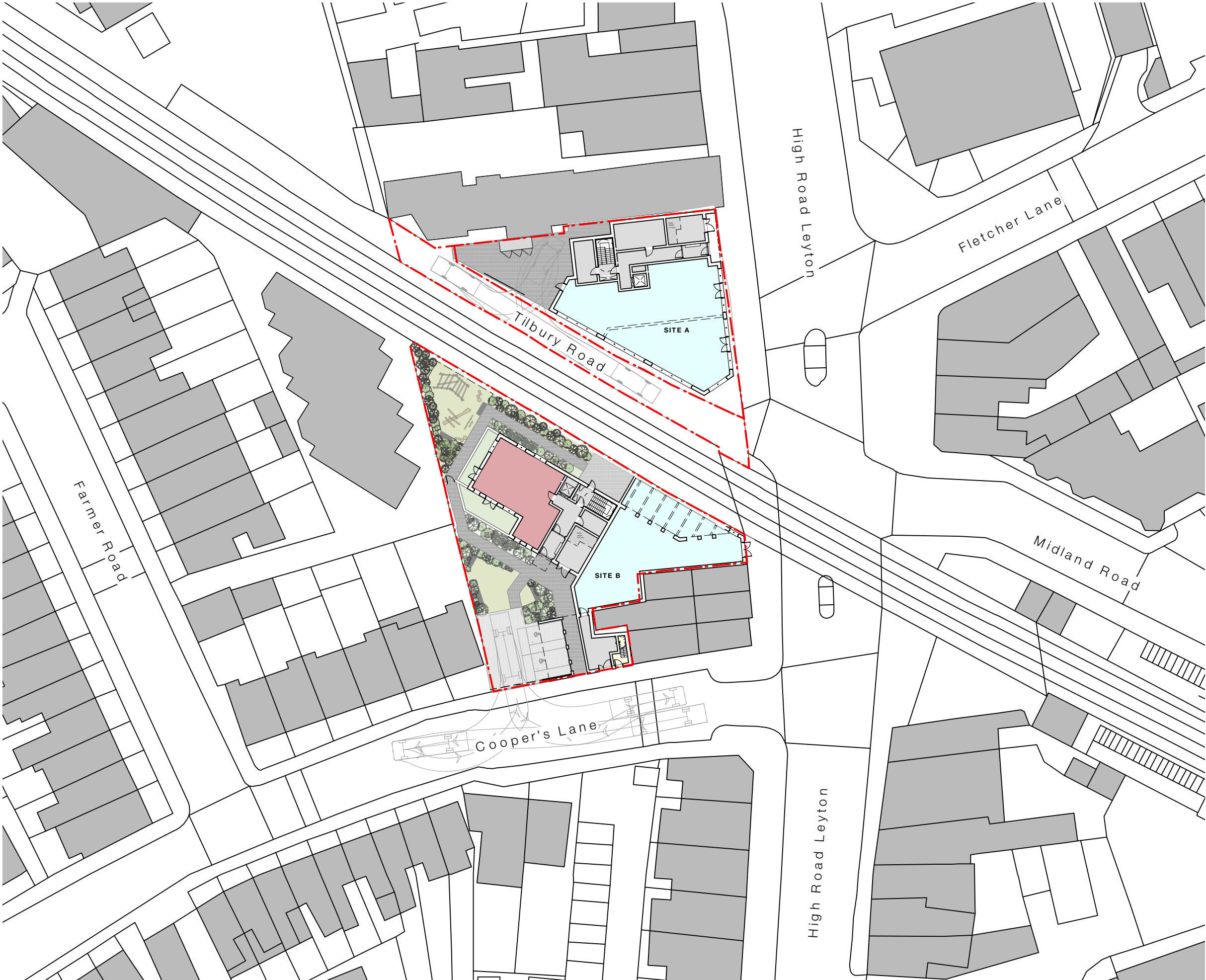
Drawing Ref. 1913 - DS - XX - GF - DR - A - P002	Job No. 1913
Purpose of Issue PLANNING	Scale 1:500 @ A3

Drawing Title

Existing Site Plan

Project Ref - Drawing No - Status - Revision

1913 - P002 - S0 - P1



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Specific Notes

Site Boundary

Balcony/ Terrace

1B 2P

2B 3P

2B 4P

3B 5P

Private amenity

Communal amenity

Commercial (A1, A2, A3, B1, D2)

Key

N

1:500

0

5

10

15

20

25m

P3	CM	Plan updated. Issued for planning	21/05/21
P2	CM	PLANNING ISSUE	07/08/20
P1	CM	Issued for information	05/08/20
P0	CM	Issued for co-ordination	16/06/20

Rev	Drawn	Notes	Date	
X#	XX	##/##/##		
Rev	Checked	Date	Approved	Date

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Project

Midland Road
Leyton

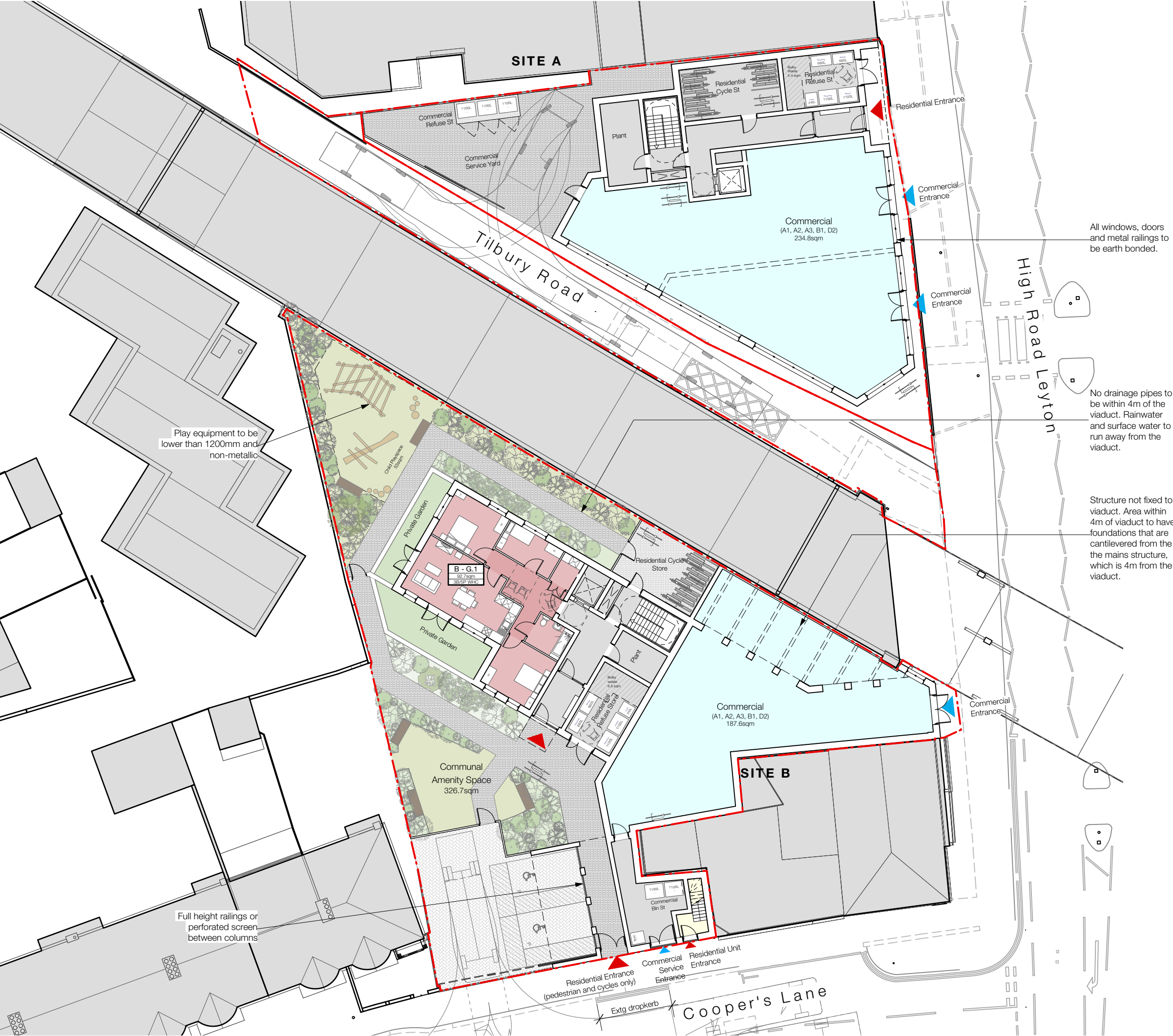
Drawing Ref.	Job No.
1913 - DS - XX - GF - DR - A - P001	1913
Purpose of Issue	Scale
PLANNING	1:1250 @ A3

Drawing Title

Proposed Site Plan

Project Ref - Drawing No - Status - Revision

1913 - P003 - S0 - P3



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Specific Notes

Site Boundary

Balcony/ Terrace

1B 2P

2B 3P

2B 4P

3B 5P

Private amenity

Communal amenity

Commercial (A1, A2, A3, B1, D2)

Key

N

1:250

0 2 4 6 8 10 12m

P10	CM	Site A refuse & Site B entrances updated. Issued for information	16/03/21	
P9	CM	Parking bays amended	22/12/20	
P8	CM	Service yard added and disabled parking amended.	18/12/20	
P7	CM	Refuse stores updated. Issued for comment.	10/12/20	
Rev	Drawn	Notes	Date	
X#	XX	##/##/##		
Rev	Checked	Date	Approved	Date

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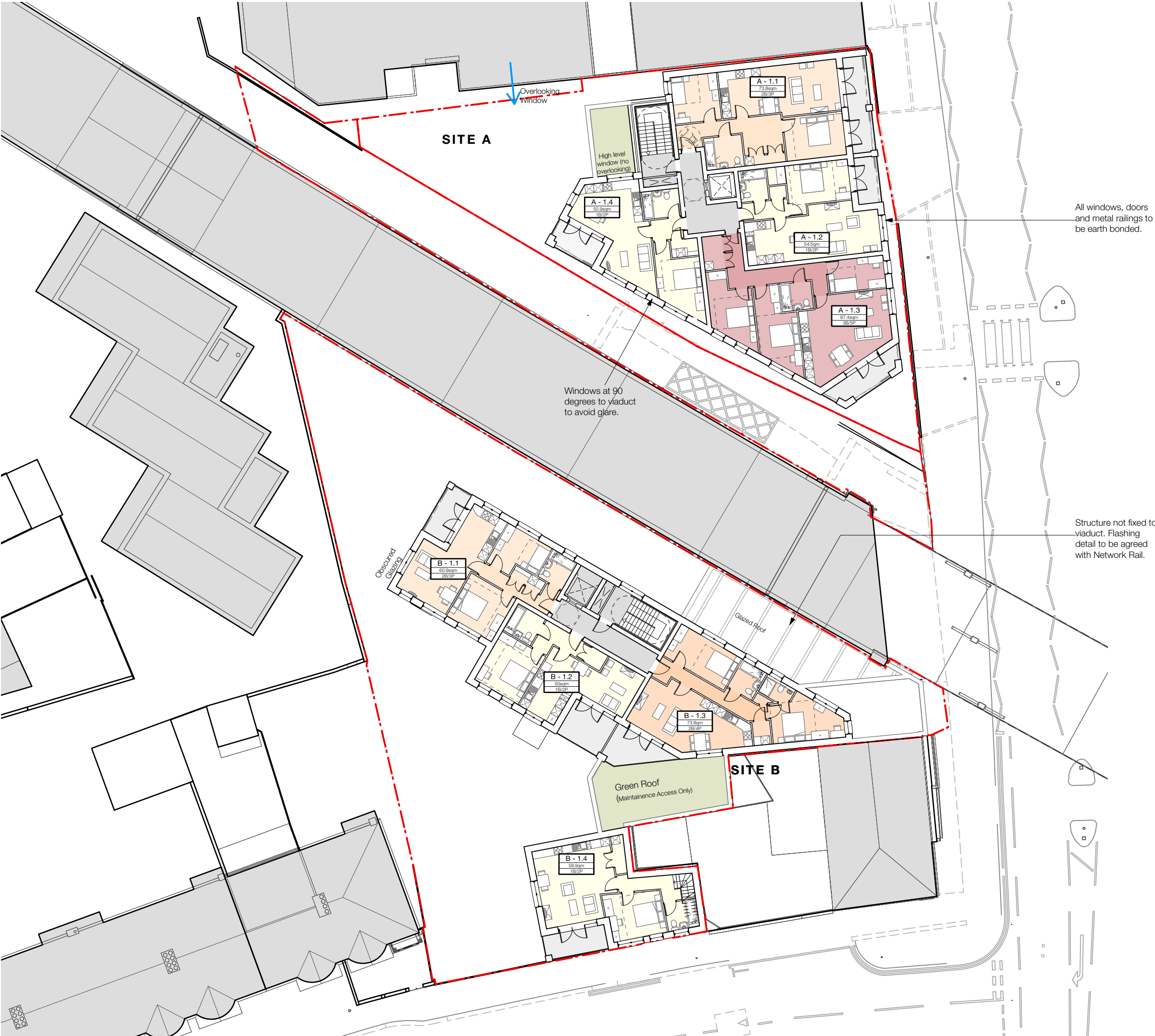
Project

Midland Road
Leyton

Drawing Ref.	Job No.
1913 - DS - XX - GF - DR - A - P100	1913
Purpose of Issue	Scale
PLANNING	1:250 @ A3
Drawing Title	
Proposed Ground Floor Plan	

Project Ref - Drawing No - Status - Revision

1913 - P100 - S0 - P10



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Specific Notes

Site Boundary

1B 2P

2B 3P

2B 4P

3B 5P

Private amenity

Communal amenity

Commercial (A1, A2, A3, B1, D2)

Balcony/
Terrace

Key

N

1:250

0

2

4

6

8

10

12m

P5	CM	Amendments to the rear of Block A	18/12/20	
P4	NBR	Amendments to the rear of Block A following planner's comments	11/11/20	
P3	CM	PLANNING ISSUE	07/08/20	
P2	CM	Issued for information	30/07/20	
Rev	Drawn	Notes	Date	
X#	XX	###/###/###		
Rev	Checked	Date	Approved	Date

REVISIONS

Client

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Project

Midland Road
Leyton

Drawing Ref.

1913 - DS - XX - 01 -DR - A - P101

Job No.

1913

Purpose of Issue

PLANNING

Scale

1:250 @ A3

Drawing Title

Proposed First Floor Plan

Project Ref - Drawing No - Status - Revision

1913 - P101 - S0 - P5



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Specific Notes

Site Boundary

Balcony/Terrace

1B 2P

2B 3P

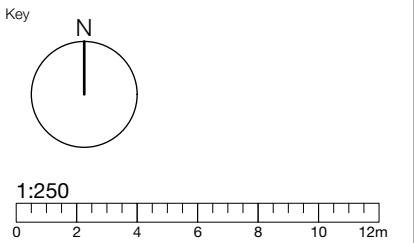
2B 4P

3B 5P

Private amenity

Communal amenity

Commercial (A1, A2, A3, B1, D2)



P5	CM	Amendments to the rear of Block A.	18/12/20
P4	NBR	Amendments to the rear of Block A following planner's comments	11/11/20
P3	CM	PLANNING ISSUE	07/08/20
P2	CM	Issued for information	30/07/20
Rev	Drawn	Notes	Date
X#	XX	##/##/##	
Rev	Checked	Date	Approved Date

REVISIONS

Client

NPLH Midland Road Limited

A - APPROVED
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CLIENT APPROVAL

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Project

Midland Road
Leyton

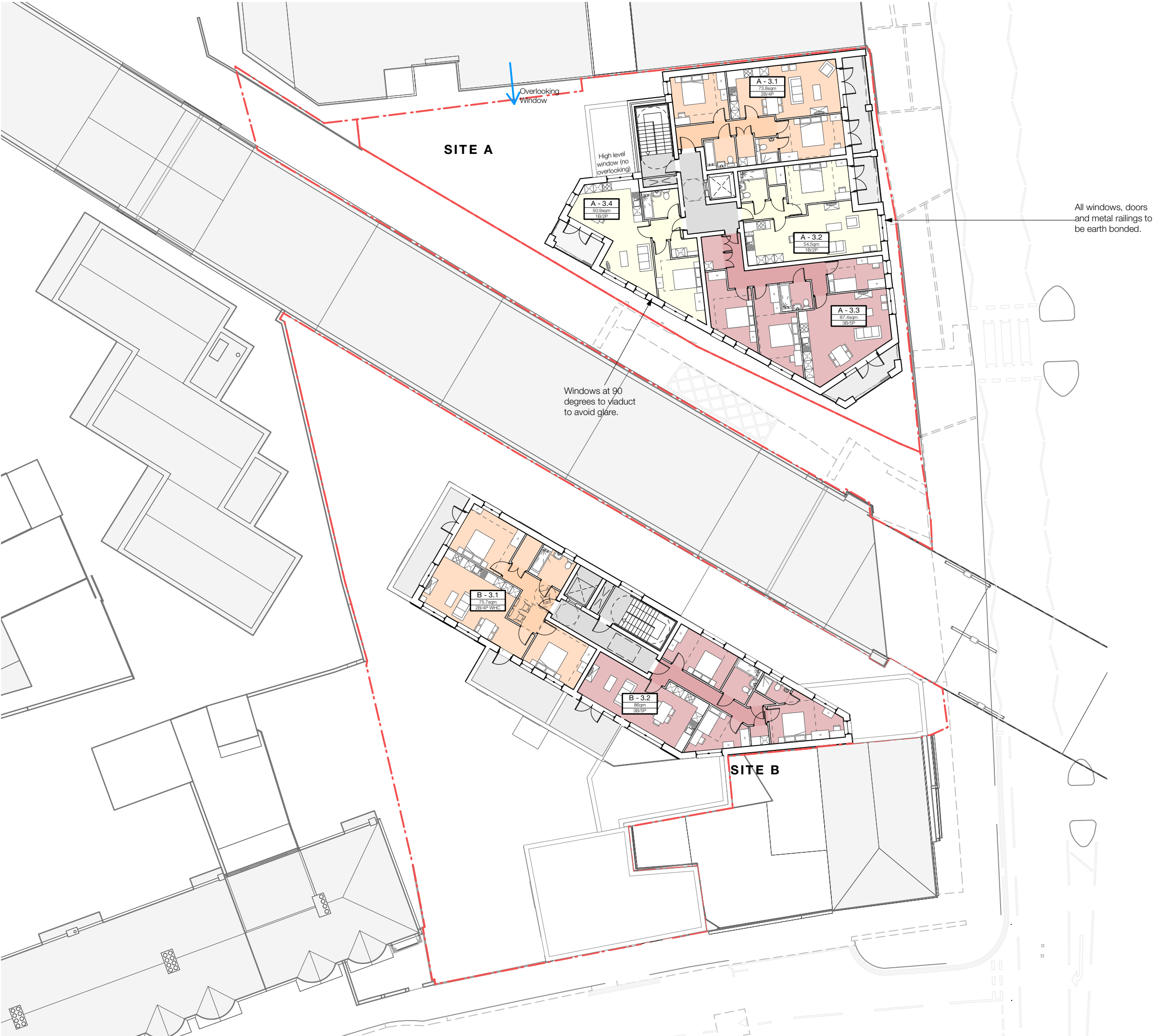
Drawing Ref. 1913 - DS - XX - 02 -DR - A - P102	Job No. 1913
Purpose of Issue PLANNING	Scale 1:250 @ A3

Drawing Title

Proposed Second Floor Plan

Project Ref - Drawing No - Status - Revision

1913 - P102 - S0 - P5



General Notes

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Specific Notes

Site Boundary

Balcony/ Terrace

1B 2P

2B 3P

2B 4P

3B 5P

Private amenity

Communal amenity

Commercial (A1, A2, A3, B1, D2)

Key

N

1:250

0

2

4

6

8

10

12m

P5	CM	Amendments to the rear of Block A	18/12/20
P4	NBR	Amendments to the rear of Block A following planner's comments	11/11/20
P3	CM	PLANNING ISSUE	07/08/20
P2	CM	Issued for information	30/07/20
Rev	Drawn	Notes	Date
X#	XX	##/##/##	
Rev	Checked	Date	Approved

REVISIONS

Client

NPLH Midland Road Limited

A - APPROVED

B - APPROVED WITH COMMENTS

C - DO NOT USE

CLIENT APPROVAL

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Project

Midland Road

Leyton

Drawing Ref.

1913 - DS - XX - 03 -DR - A - P103

Job No.

1913

Purpose of Issue

PLANNING

Scale

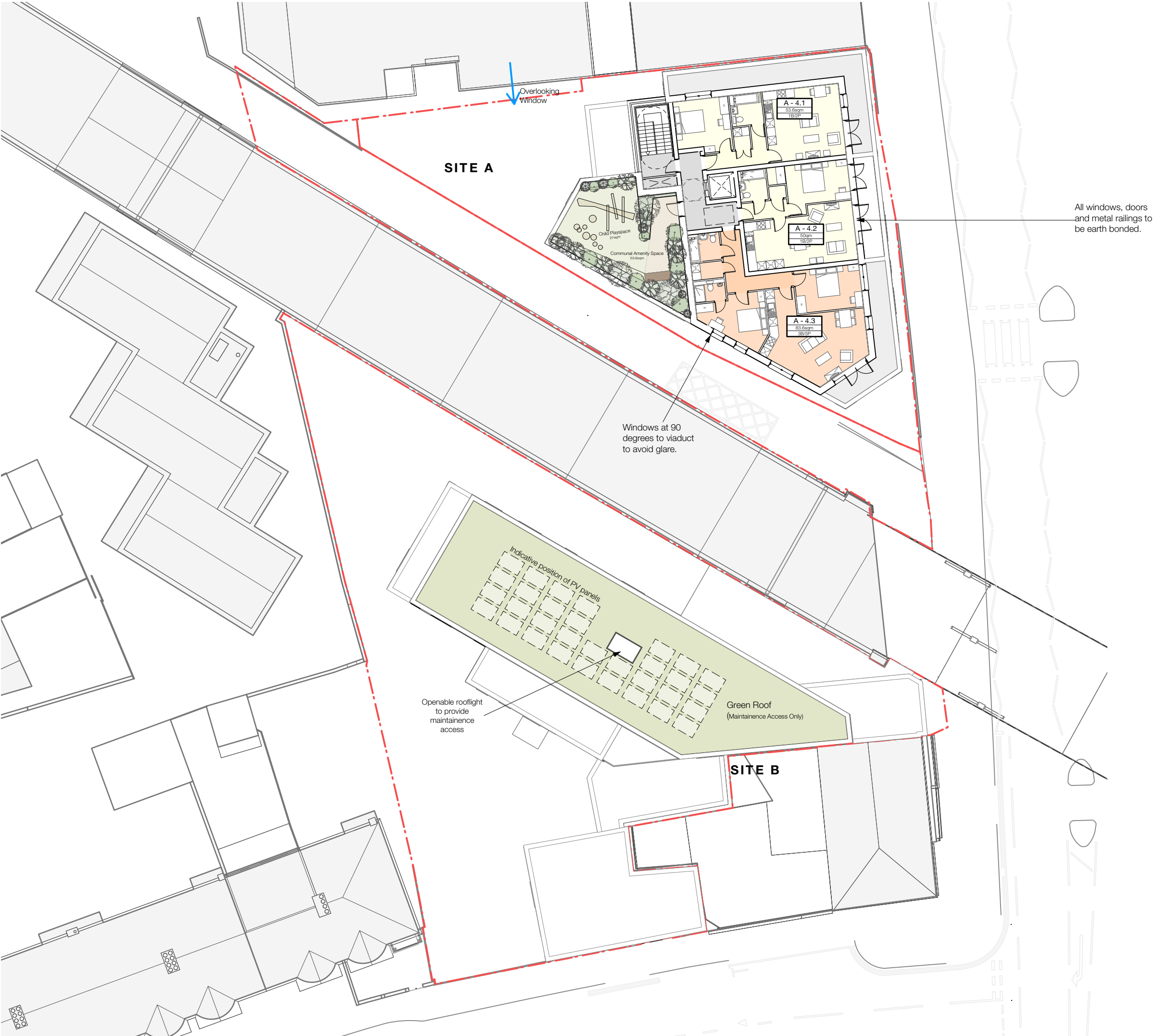
1:250 @ A3

Drawing Title

Proposed Third Floor Plan

Project Ref - Drawing No - Status - Revision

1913 - P103 - S0 - P5



General Notes

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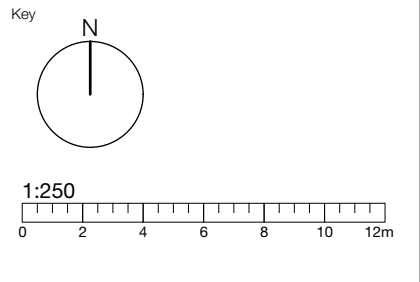
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- Specific Notes
- Site Boundary
 - Balcony/ Terrace
 - 1B 2P
 - 2B 3P
 - 2B 4P
 - 3B 5P
 - Private amenity
 - Communal amenity
 - Commercial (A1, A2, A3, B1, D2)



P7	CM	Amendments to the rear of Block A	18/12/20
P6	CM	Site A window amended.	07/12/20
P5	NBR	Amendments to the rear of Block A following planner's comments	11/11/20
P4	CM	PLANNING ISSUE	07/08/20
Rev	Drawn	Notes	Date
X#	XX	##/##/##	
Rev	Checked	Date	Approved

REVISIONS	
Client	
NPLH Midland Road Limited	
	A - APPROVED
	B - APPROVED WITH COMMENTS
	C - DO NOT USE
CLIENT APPROVAL	

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Project
Midland Road
Leyton

Drawing Ref. 1913 - DS - XX - 04 - DR - A - P104	Job No. 1913
Purpose of Issue PLANNING	Scale 1:250 @ A3

Drawing Title
Proposed Fourth Floor Plan

Project Ref - Drawing No - Status - Revision
1 9 1 3 - P 1 0 4 - S 0 - P 7



General Notes

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Specific Notes

Site Boundary

1B 2P

2B 3P

2B 4P

3B 5P

Private amenity

Communal amenity

Commercial (A1, A2, A3, B1, D2)

Balcony/
Terrace

Key

N

1:250

0

2

4

6

8

10

12m

P5	CM	Amendments to the rear of Block A	18/12/20	
P4	NBR	Amendments to the rear of Block A following planner's comments	11/11/20	
P3	CM	PLANNING ISSUE	07/08/20	
P2	CM	Issued for information	30/07/20	
Rev	Drawn	Notes	Date	
X#	XX	##/##/##		
Rev	Checked	Date	Approved	Date

REVISIONS

Client

NPLH Midland Road Limited

A - APPROVED

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C - DO NOT USE

CLIENT APPROVAL

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Project

Midland Road
Leyton

Drawing Ref.
1913 - DS - XX - RF -DR - A - P105

Job No.
1913

Purpose of Issue
PLANNING

Scale
1:100 @ A3

Drawing Title

Proposed Roof Plan

Project Ref - Drawing No - Status - Revision

1 9 1 3 - P 1 0 5 - S 0 - P 5

- 1

Brickwork: Vanderden Berit waterstruck brick with light grey mortar, in stretcher bond
- 2

Brickwork: Vanderden Berit waterstruck brick with dark grey mortar, in stretcher bond
- 3

Stone: White reconstituted smooth finish stone banding, colour Portland.
- 4

Windows and Doors: Composite aluminium/timber frames. Colour: RAL 1019. Windows fully reversible for cleaning from within. Secured By Design approved (PAS 24).
- 5

Shop Front Glazing: RAL colour to match windows & doors.
- 6

Service Doors: Steel louvred door, RAL colour 1019. Secured By Design approved (PAS 24).
- 7

Balcony Railings: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with matching handrail. Colour: RAL 1019. Anodised aluminium cladding to underside and face of balconies. Colour: RAL 1019.
- 8

Winter Gardens: Frameless clear glass sliding doors with aluminium track.
- 9

Gate: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019 .
- 10

Recessed Brickwork
- 11

Fence: High spec painted galvanized steel flat railings with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019
- 12

Landscaping: To landscaping design outlined in design access statement.
- 13

Low brick garden wall: 0.9m high brickwork wall. Brickwork to be as per note 2.
- 14

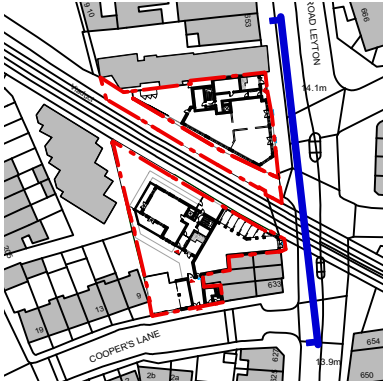
Lightweight Roof Structure: Lightweight roof structure with glazed panels.
- 15

Existing Wall: Existing boundary wall to be retained
- 16

High brick garden wall: 2.1m high brickwork wall. Brickwork to be as per note 2.
- 17

Garden Gate: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep). Colour: RAL 1019 .
- 18

Reglit Glass



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			<div>P5CM</div> <div>PLANNING ISSUE</div> <div>07/08/20</div>			<div>Purpose of Issue</div> <div>PLANNING</div> <div>Scale</div> <div>1:250 @ A3</div>
			<div>P4CM</div> <div>Issued for information</div> <div>30/07/20</div>			<div>Drawing Title</div> <div>Proposed High Road Leyton Elevation</div>
			<div>P3CM</div> <div>Materials amended and brick specification added. Issued for information.</div> <div>17/07/20</div>			
			<div>Rev</div> <div>Drawn</div> <div>Notes</div> <div>Date</div> <div>A - APPROVED</div>			
			<div>P6</div> <div>CM</div> <div>11/11/20</div> <div>B - APPROVED WITH COMMENTS</div>	<div>Project Ref - Drawing No - Status - Revision</div> <div>1913 - P200 - S0 - P6</div>		
			<div>Rev</div> <div>Checked</div> <div>Date</div> <div>Approved</div> <div>Date</div> <div>C - DO NOT USE</div>			
			REVISIONS		CLIENT APPROVAL	

- 1

Brickwork: Vanderden Berit waterstruck brick with light grey mortar, in stretcher bond
- 2

Brickwork: Vanderden Berit waterstruck brick with dark grey mortar, in stretcher bond
- 3

Stone: White reconstituted smooth finish stone banding, colour Portland.
- 4

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- 7

Balcony Railings: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with matching handrail. Colour: RAL 1019. Anodised aluminium cladding to underside and face of balconies. Colour: RAL 1019.
- 8

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- 9

Gate: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019 .
- 10

Recessed Brickwork
- 11

Fence: High spec painted galvanized steel flat railings with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019
- 12

Landscaping: To landscaping design outlined in design access statement.
- 13

Low brick garden wall: 0.9m high brickwork wall. Brickwork to be as per note 2.
- 14

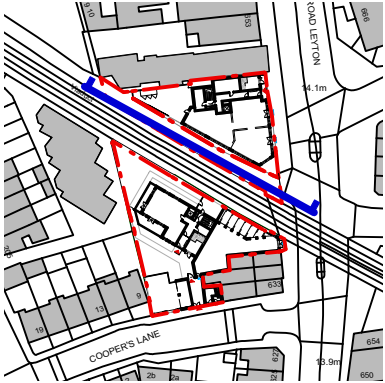
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- 15

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- 18

Reglit Glass



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			<div><div>Purpose of Issue</div><div>PLANNING</div></div> <div><div>Scale</div><div>1:250 @ A3</div></div>		
			<div><div>Drawing Title</div><div>Proposed Tibury Road Elevation</div></div>		
			<div><div>Project Ref - Drawing No - Status - Revision</div><div>1 9 1 3 - P 2 0 1 - S 0 - P 8</div></div>		

- 1

Brickwork: Vanderden Berit waterstruck brick with light grey mortar, in stretcher bond
- 2

Brickwork: Vanderden Berit waterstruck brick with dark grey mortar, in stretcher bond
- 3

Stone: White reconstituted smooth finish stone banding, colour Portland.
- 4

Windows and Doors: Composite aluminium/timber frames. Colour: RAL 1019. Windows fully reversible for cleaning from within. Secured By Design approved (PAS 24).
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Shop Front Glazing: RAL colour to match windows & doors.
- 6

Service Doors: Steel louvred door, RAL colour 1019. Secured By Design approved (PAS 24).
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Balcony Railings: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with matching handrail. Colour: RAL 1019. Anodised aluminium cladding to underside and face of balconies. Colour: RAL 1019.
- 8

Winter Gardens: Frameless clear glass sliding doors with aluminium track.

- 9

Gate: High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019 .
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Recessed Brickwork
- 11

Fence: High spec painted galvanized steel flat railings with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019
- 12

Landscaping: To landscaping design outlined in design access statement.
- 13

Low brick garden wall: 0.9m high brickwork wall. Brickwork to be as per note 2.
- 14

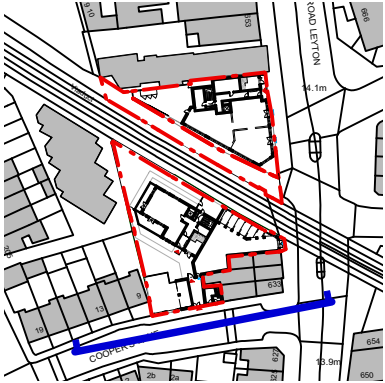
Lightweight Roof Structure: Lightweight roof structure with glazed panels.
- 15

Existing Wall: Existing boundary wall to be retained
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High brick garden wall: 2.1m high brickwork wall. Brickwork to be as per note 2.
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Reglit Glass



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			<div>P7</div> <div>CM</div> <div>Window on Site A updated</div> <div>07/12/20</div>			<div>Purpose of Issue</div> <div>PLANNING</div>	<div>Scale</div> <div>1:250 @ A3</div>		
			<div>P6</div> <div>NBR</div> <div>Amendments to the rear of Block A following planner's comments</div> <div>11/11/20</div>			<div>Drawing Title</div> <div>Proposed Cooper's Lane Elevation</div>			
			<div>P5</div> <div>CM</div> <div>PLANNING ISSUE</div> <div>07/08/20</div>						
			<div>Rev</div> <div>Drawn</div> <div>Notes</div> <div>Date</div> <div>A - APPROVED</div>			<div>Project</div> <div>Midland Road Leyton</div>			
			<div>P6</div> <div>CM</div> <div>11/11/20</div> <div></div> <div></div> <div>B - APPROVED WITH COMMENTS</div>						
			<div>Rev</div> <div>Checked</div> <div>Date</div> <div>Approved</div> <div>Date</div> <div>C - DO NOT USE</div>			<div>Project Ref - Drawing No - Status - Revision</div> <div>1 9 1 3 - P 2 0 2 - S 0 - P 8</div>			
			<div>REVISIONS</div>					<div>CLIENT APPROVAL</div>	

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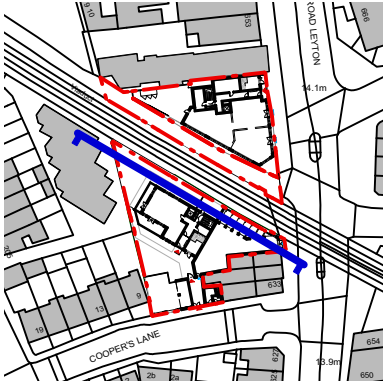
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Reglit Glass



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			<div>P3</div> <div>CM</div> <div>Materials amended and brick specification added. Issued for information.</div> <div>17/07/20</div>		<div>Drawing Title</div> <div>Proposed Railway Elevation Site B</div>				
			<div>P2</div> <div>CM</div> <div>Issued for information</div> <div>14/07/20</div>						
			<div>Rev</div> <div>Drawn</div> <div>Notes</div> <div>Date</div> <div></div> <div>A - APPROVED</div>		<div>Project</div> <div>Midland Road</div> <div>Leyton</div>				
			<div>X#</div> <div>XX</div> <div>##/##/##</div> <div></div> <div></div> <div>B - APPROVED WITH COMMENTS</div>						
			<div>Rev</div> <div>Checked</div> <div>Date</div> <div>Approved</div> <div>Date</div> <div></div> <div>C - DO NOT USE</div>						
			<div>REVISIONS</div>			<div>CLIENT APPROVAL</div>			
									<div>Project Ref - Drawing No - Status - Revision</div> <div>1 9 1 3 - P 2 0 3 - S 0 - P 5</div>

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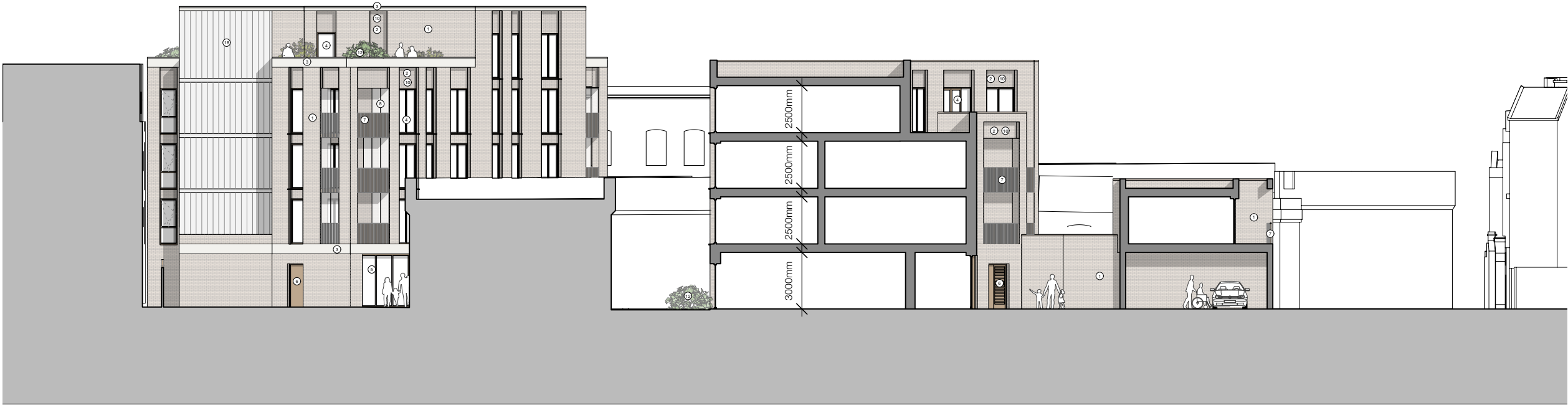
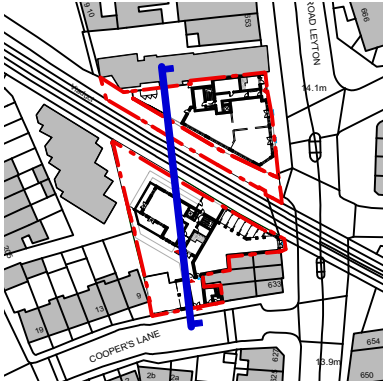
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Reglit Glass

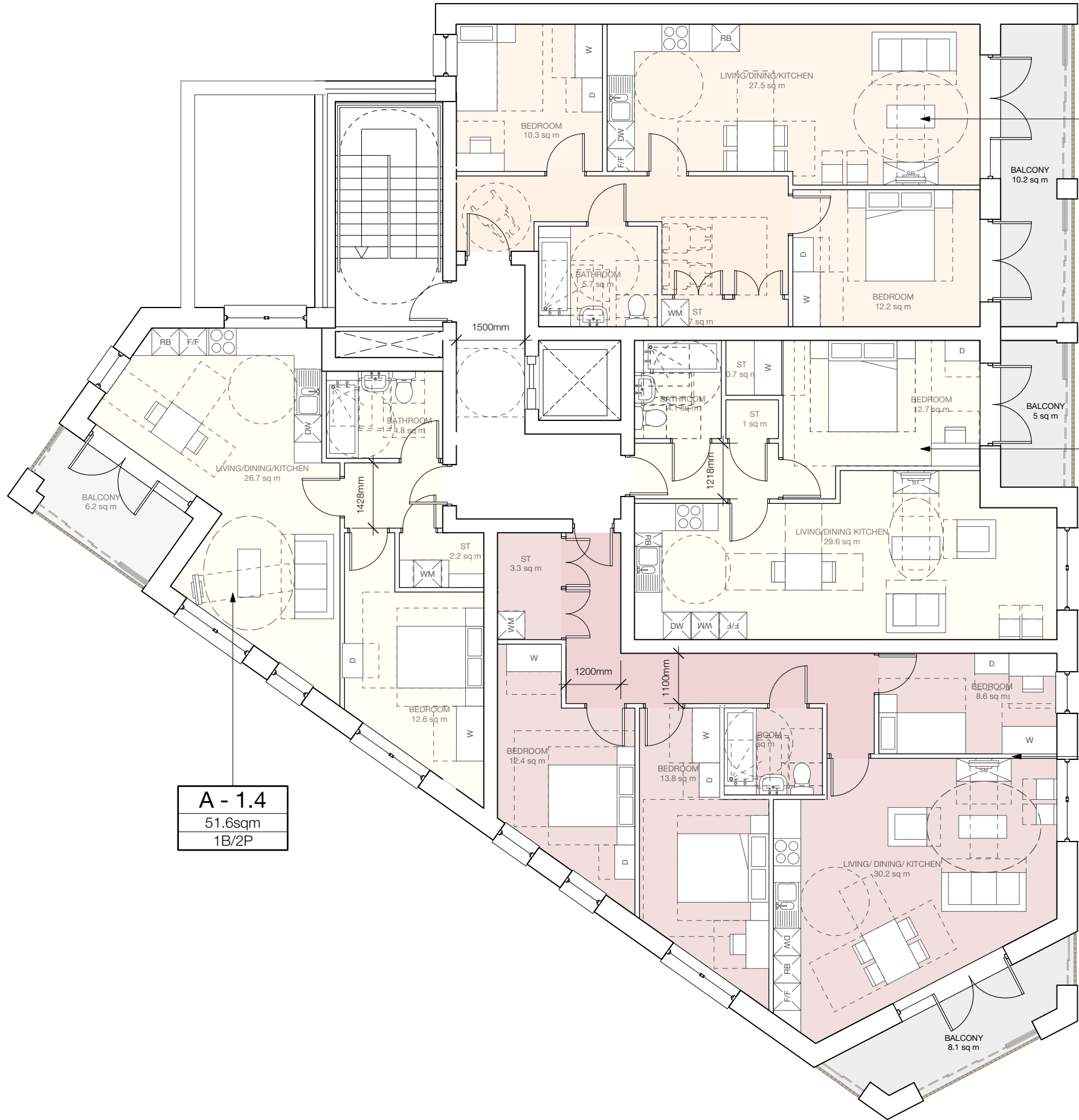


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			<div>P7</div> <div>CM</div> <div>Window on Site A amended.</div> <div>07/12/20</div>			<div>Purpose of Issue</div> <div>PLANNING</div>	<div>Scale</div> <div>1:250 @ A3</div>
			<div>P6</div> <div>CM</div> <div>Amendments to the rear of Block A following planner's comments</div> <div>11/11/20</div>			<div>Drawing Title</div> <div>Proposed Section BB</div>	
			<div>P5</div> <div>CM</div> <div>PLANNING ISSUE</div> <div>07/08/20</div>				
			<div>Rev</div> <div>Drawn</div> <div>Notes</div> <div>Date</div>				
<div>P6</div> <div>CM</div> <div>11/11/20</div> <div></div> <div></div>	<div>A - APPROVED</div>	<div>Project</div> <div>Midland Road</div> <div>Leyton</div>					
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<div>Project Ref - Drawing No - Status - Revision</div> <div>1 9 1 3 - P 3 0 1 - S 0 - P 8</div>							

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P8	CM	Amendment to Site A	21/12/20	Client NPLH Midland Road Limited																																																	
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A - 1.1
73.8sqm
2B/3P WHC

A - 1.2
54.5qm
1B/2P

A - 1.3
97sqm
3B/5P

A - 1.4
51.6sqm
1B/2P

General Notes

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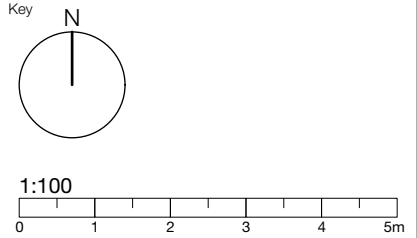
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- OS Map / Measured survey by XXXXXXX

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- Specific Notes
- Site Boundary
 - Balcony/ Terrace
 - 1B 2P
 - 2B 3P
 - 2B 4P
 - 3B 5P
 - Private amenity
 - Communal amenity
 - Commercial (A1, A2, A3, B1, D2)



P3	CM	Scale bar updated	09/04/21
P2	CM	Amendments to rear of Site A following planner's comments	11/11/20
P1	CM	PLANNING ISSUE	07/08/20
P0	CM	Issued for information	30/07/20
Rev	Drawn	Notes	Date
X#	XX	##/##/##	
Rev	Checked	Date	Approved Date

REVISIONS	
Client	
NPLH Midland Road Limited	
	A - APPROVED
	B - APPROVED WITH COMMENTS
	C - DO NOT USE

CLIENT APPROVAL

stephen davy architects
peter smith

Fanshaw House, Fanshaw Street, London N1 6HX
Tel: 020 7739 2020 Fax: 020 7739 2021
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Project

Midland Road
Leyton

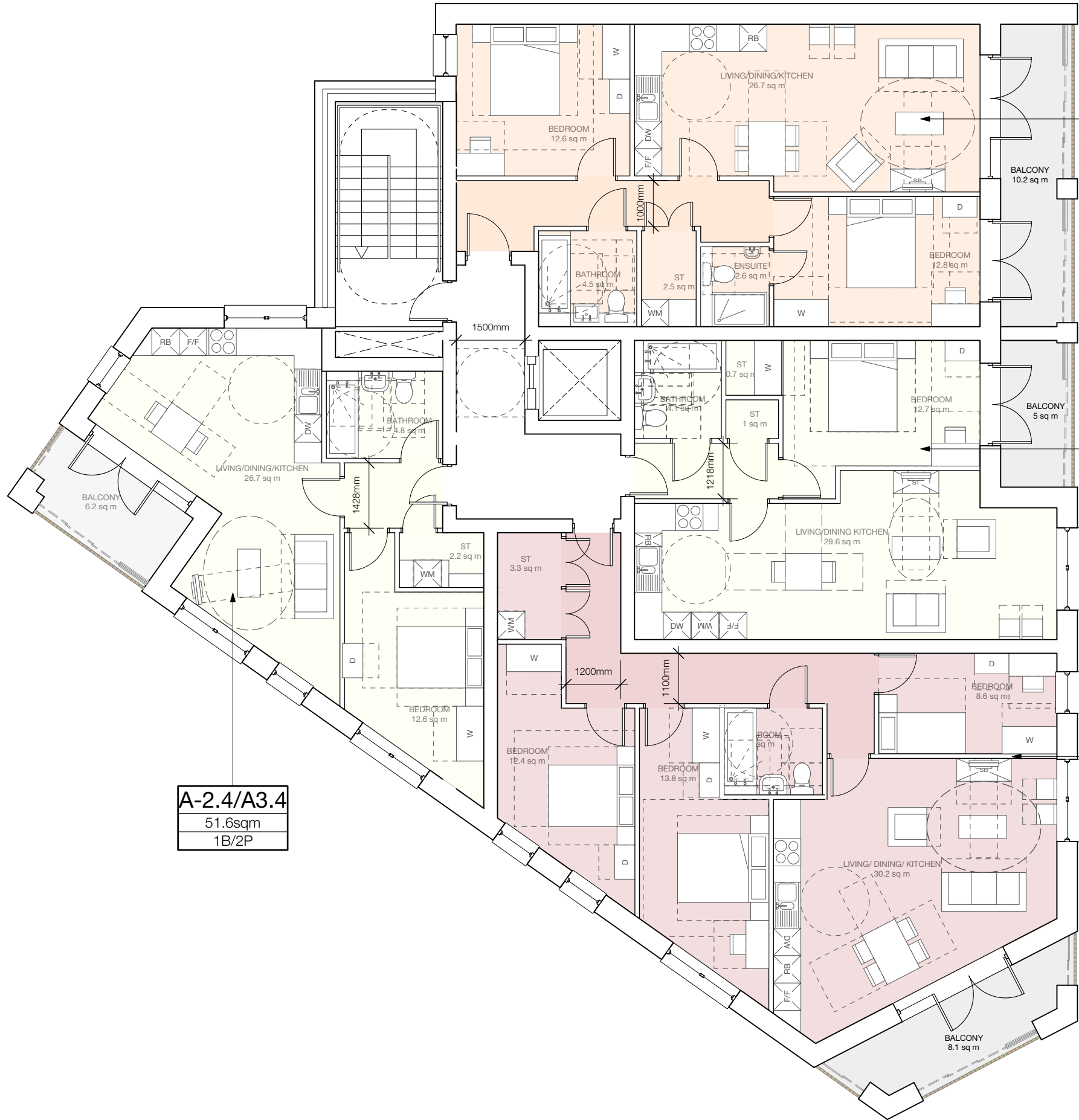
Drawing Ref. 1913 - DS - XX - GF - DR - A - P400	Job No. 1913
Purpose of Issue PLANNING	Scale 1:100 @ A3

Drawing Title

Proposed Unit Layouts
Site A First Floor Plans

Project Ref - Drawing No - Status - Revision

1913 - P400 - S0 - P3



A-2.4/A3.4
51.6sqm
1B/2P

A-2.1/A3.1
73.8sqm
2B/3P

A-2.2/A3.2
54.5qm
1B/2P

A-2.3/A3.3
97sqm
3B/5P

General Notes

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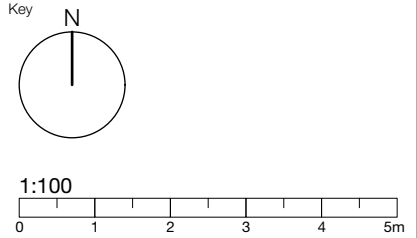
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P3	CM	Scale bar updated	09/04/21
P2	CM	Amendments to rear of Site A following planner's comments	11/11/20
P1	CM	PLANNING ISSUE	07/08/20
P0	CM	Issued for information	30/07/20
Rev	Drawn	Notes	Date
X#	XX	##/##/##	
Rev	Checked	Date	Approved Date

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Client	
NPLH Midland Road Limited	
	A - APPROVED
	B - APPROVED WITH COMMENTS
	C - DO NOT USE

CLIENT APPROVAL

stephen davy architects
peter smith

Fanshaw House, Fanshaw Street, London N1 6HX
Tel: 020 7739 2020 Fax: 020 7739 2021
E-mail: sdpsa@davysmitharchitects.co.uk
Website: www.davysmitharchitects.co.uk

Project

Midland Road
Leyton

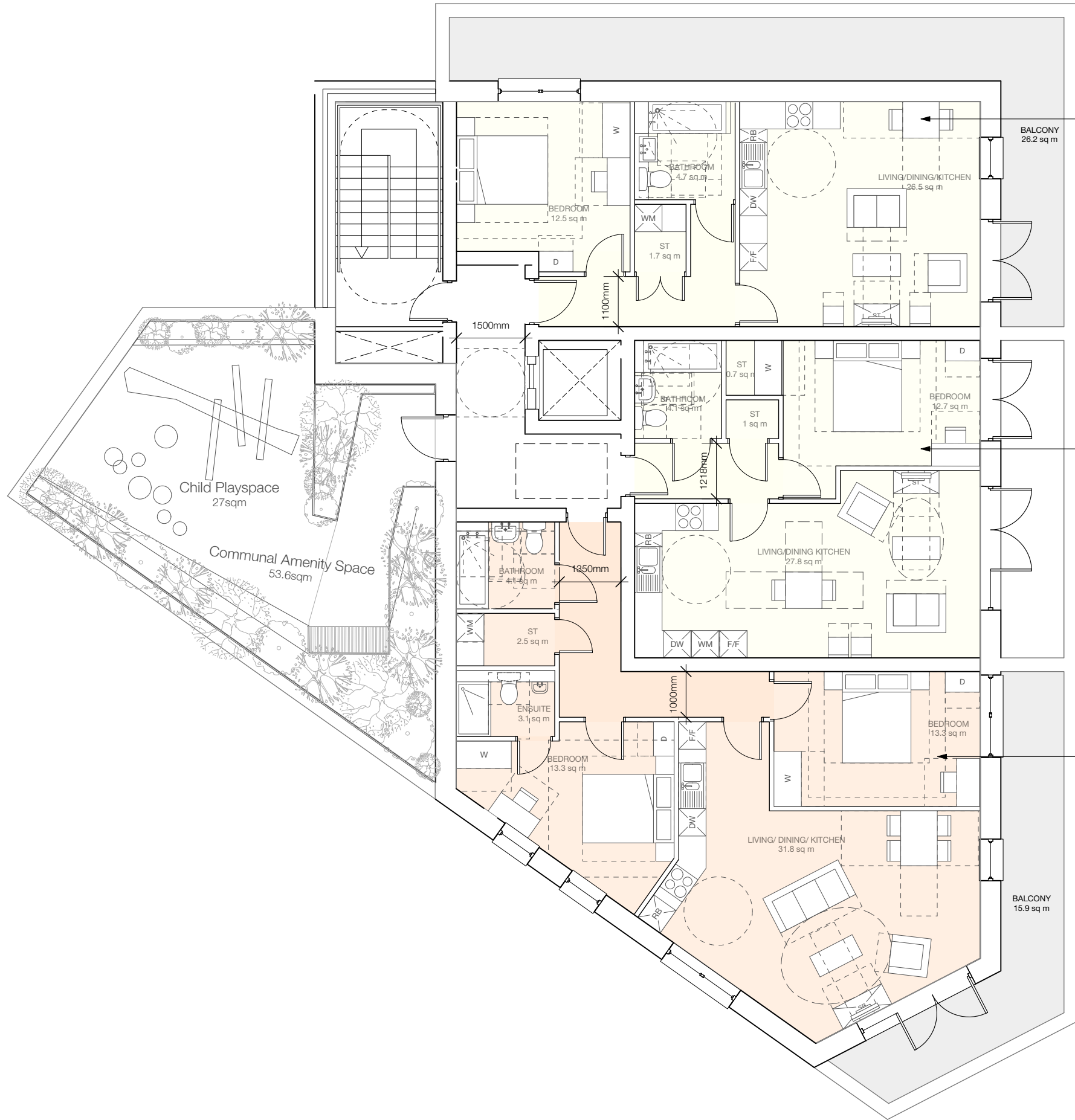
Drawing Ref. 1913 - DS - XX - GF - DR - A - P401	Job No. 1913
Purpose of Issue PLANNING	Scale 1:100 @ A3

Drawing Title

Proposed Unit Layouts
Site A Second and Third Floor Plans

Project Ref - Drawing No - Status - Revision

1 9 1 3 - P 4 0 1 - S 0 - P 3



A - 4.1
73.8sqm
2B/3P

A - 4.2
54.5sqm
1B/2P

A - 4.3
97sqm
3B/5P

General Notes

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These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.

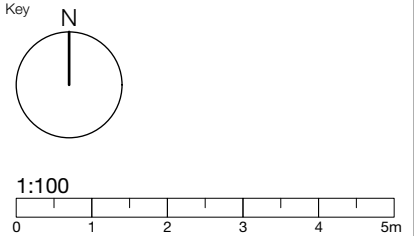
The site boundaries and surroundings are based on the following:

- OS Map / Measured survey by XXXXXXX

The site boundaries are those described by the client.

These drawings are to be read in conjunction with all other relevant documentation produced by Stephen Davy Peter Smith Architects and other consultants employed by the client.

- Specific Notes
- Site Boundary
 - Balcony/ Terrace
 - 1B 2P
 - 2B 3P
 - 2B 4P
 - 3B 5P
 - Private amenity
 - Communal amenity
 - Commercial (A1, A2, A3, B1, D2)



P3	CM	Scale bar updated	09/04/21
P2	CM	Amendments to the rear of Site A following planner's comments	11/11/20
P1	CM	PLANNING ISSUE	07/08/20
P0	CM	Issued for information	30/07/20
Rev	Drawn	Notes	Date
X#	XX	###/###/##	
Rev	Checked	Date	Approved Date

REVISIONS	
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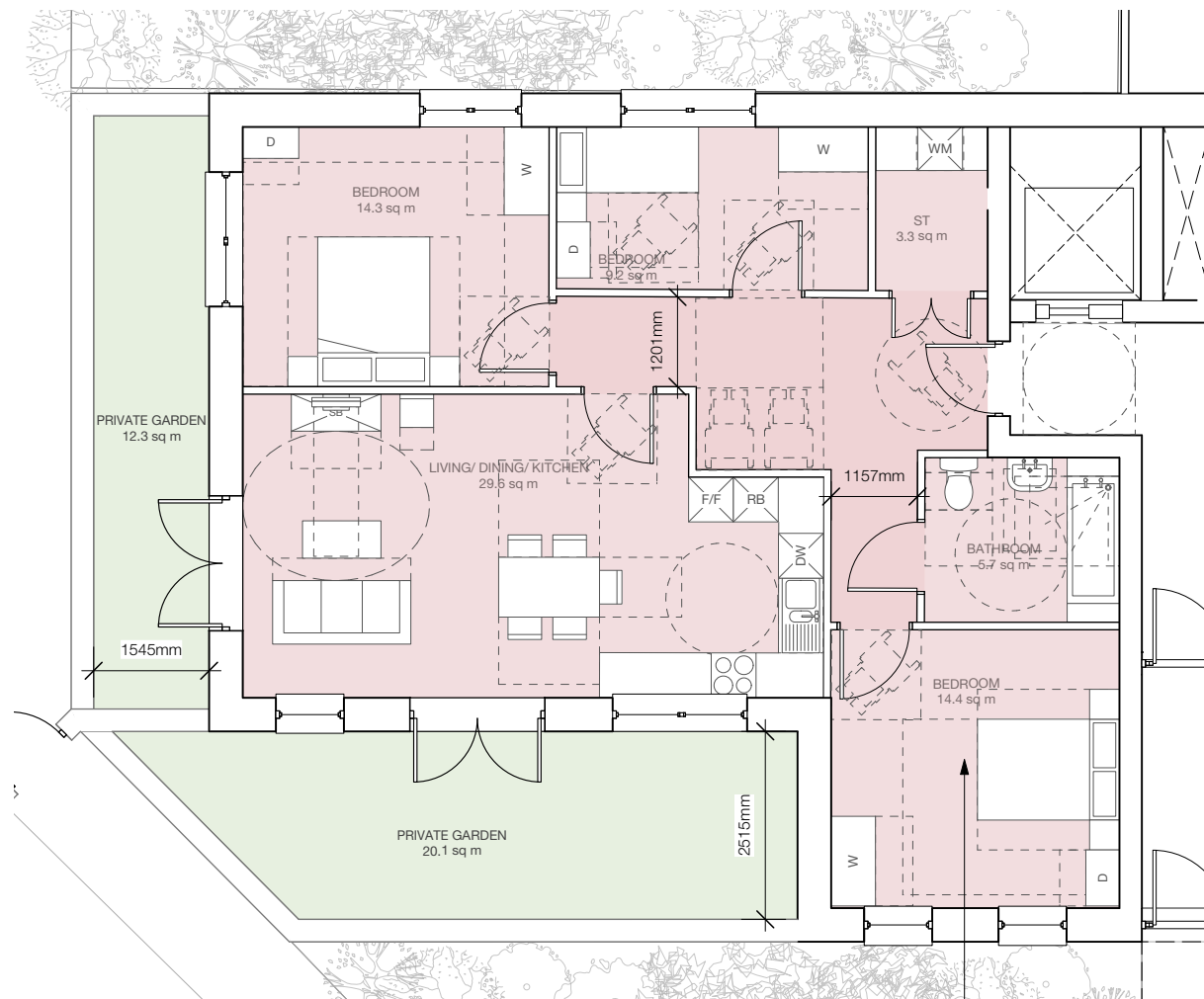
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Project
Midland Road
Leyton

Drawing Ref. 1913 - DS - XX - GF - DR - A - P402	Job No. 1913
Purpose of Issue PLANNING	Scale 1:100 @ A3

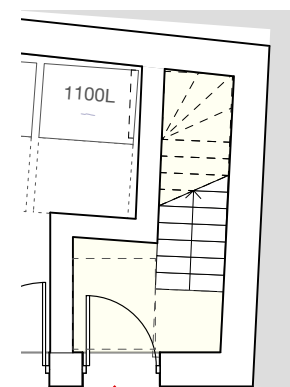
Drawing Title
**Proposed Unit Layouts
Site A Fourth Floor Plan**

Project Ref - Drawing No - Status - Revision
1 9 1 3 - P 4 0 2 - S 0 - P 3



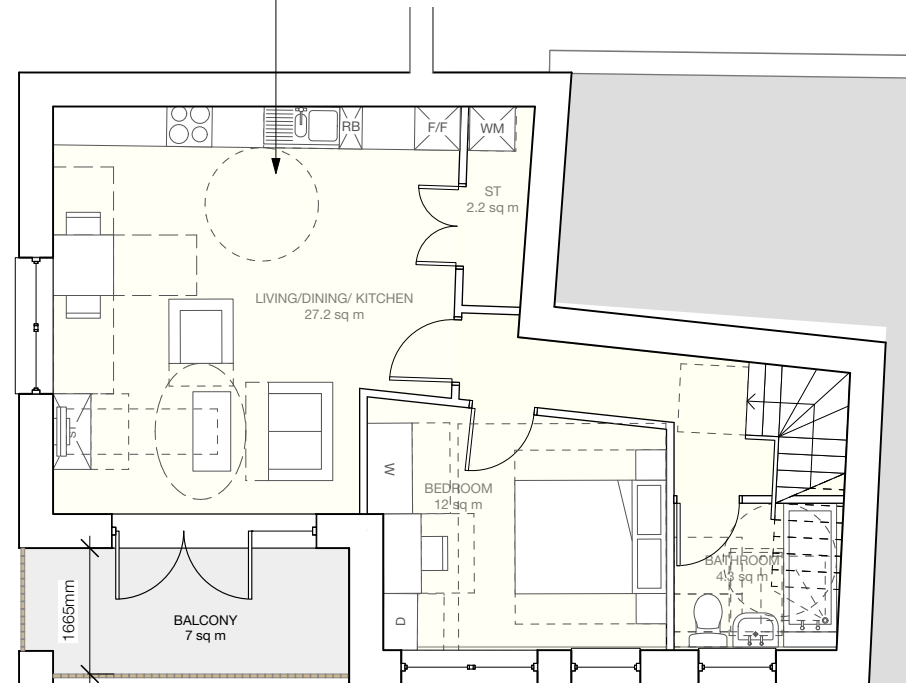
Proposed Ground Floor Plan

B - G.1
92.7sqm
3B/5P WHC



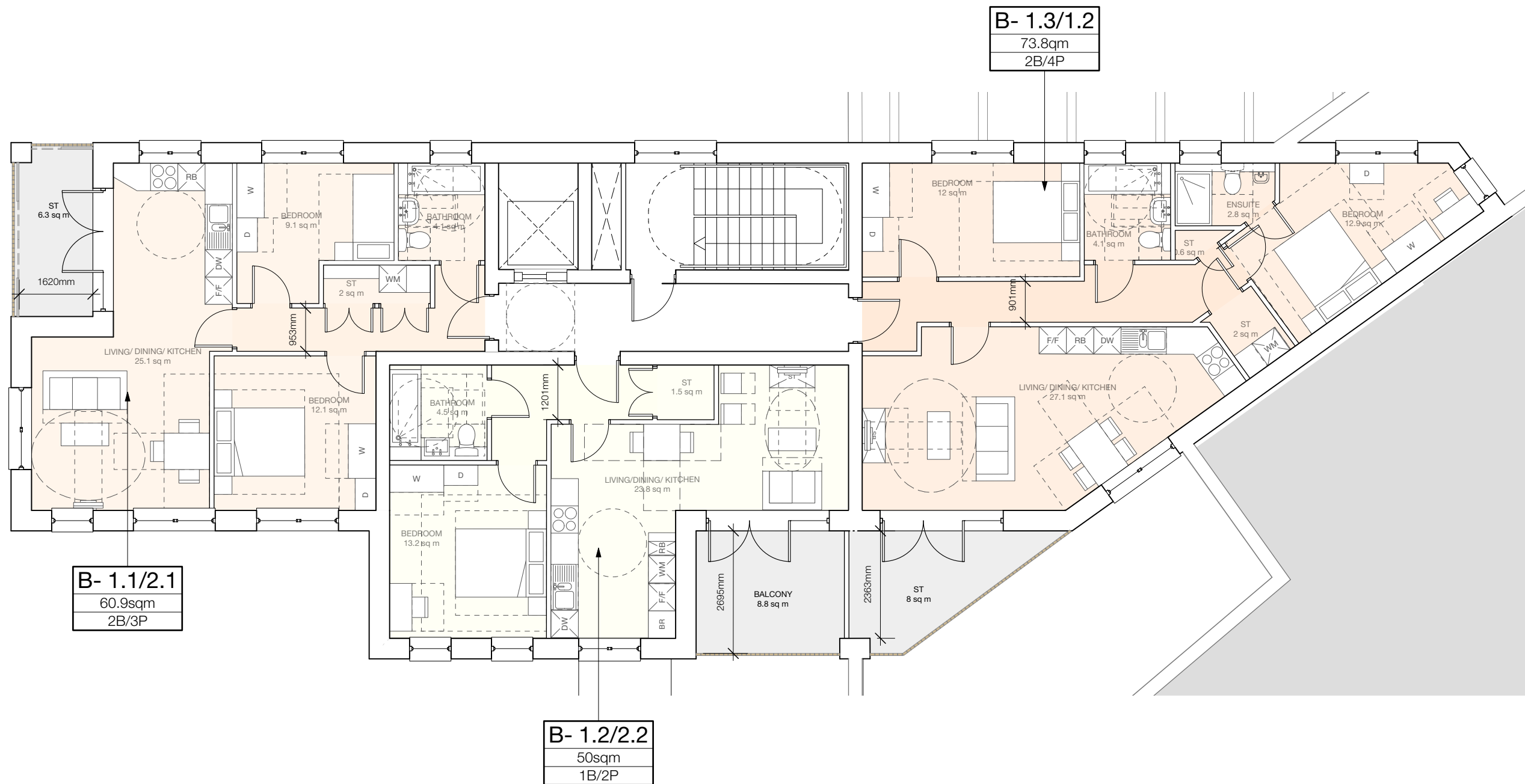
Proposed Ground Floor Plan

B - 1.4
58.9qm
1B/2P

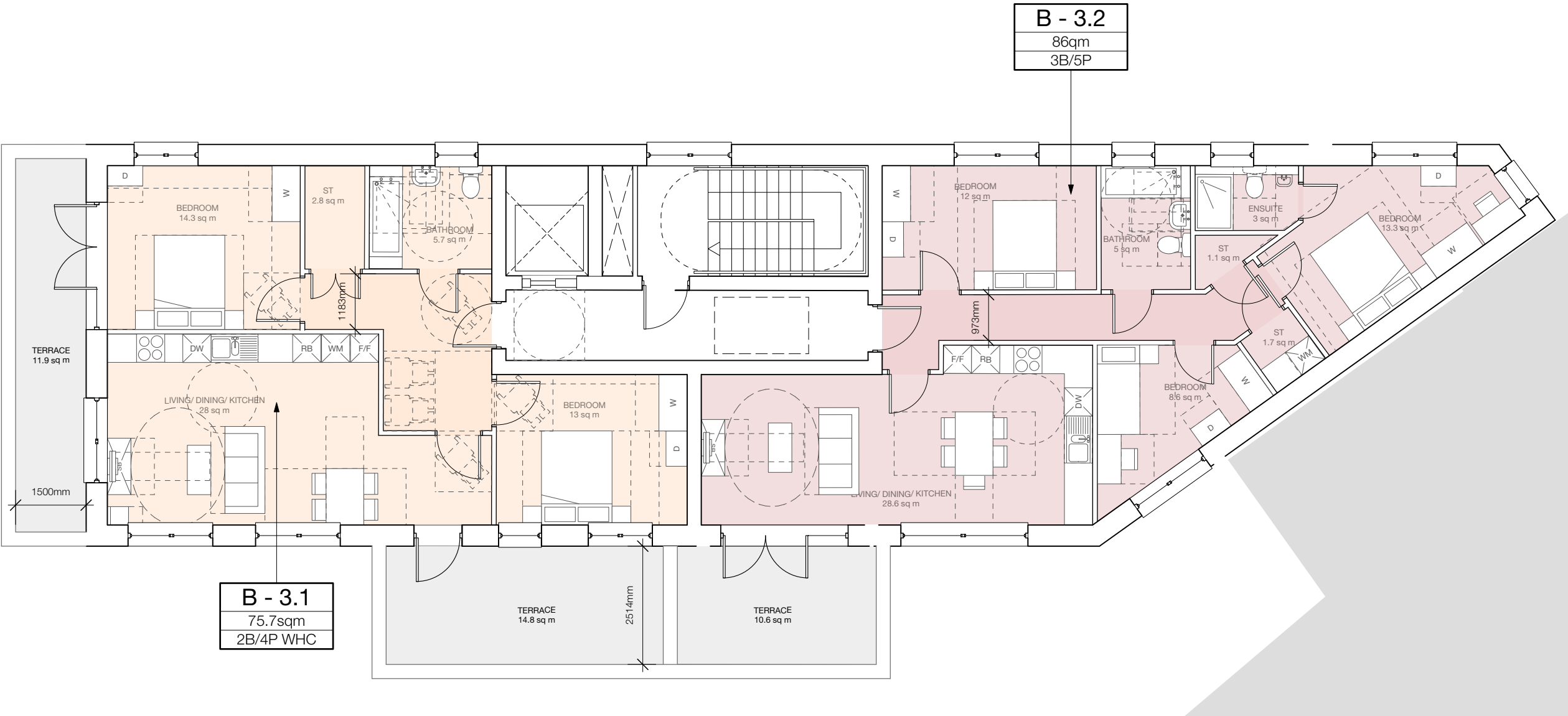


Proposed First Floor Plan

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			<div>P1</div> <div>CM</div> <div>PLANNING ISSUE</div> <div>07/08/20</div>			<div>Purpose of Issue</div> <div>PLANNING</div> <div>Scale</div> <div>1:100 @ A3</div>
			<div>P0</div> <div>CM</div> <div>Issued for information</div> <div>30/07/20</div>			<div>Drawing Title</div> <div>Proposed Unit Layouts</div> <div>Site B Ground & First Floor Duplex Plans</div>
			<div>Rev</div> <div>Drawn</div> <div>Notes</div> <div>Date</div>			
			<div>X#</div> <div>XX</div> <div>##/##/##</div> <div></div>			
<div>Rev</div> <div>Checked</div> <div>Date</div> <div>Approved</div> <div>Date</div>						

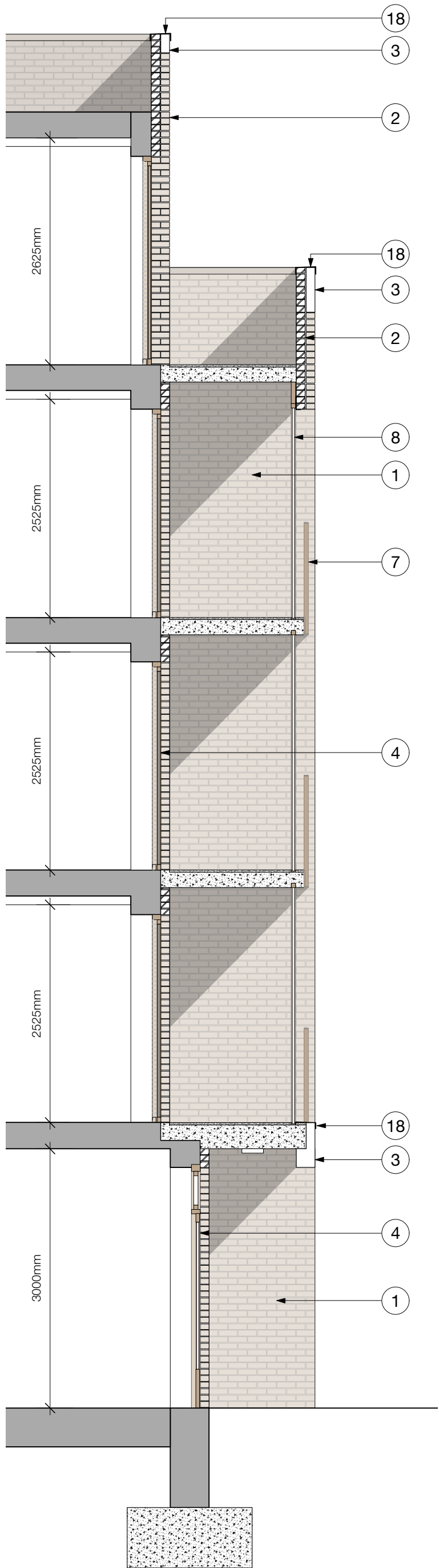


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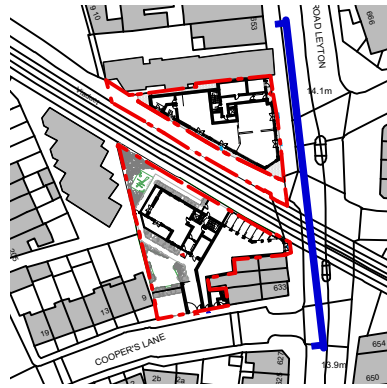
Section X-X



High Road Leyton Elevation



- 1 **Brickwork:** Vanderden Berit waterstruck brick with light grey mortar, in stretcher bond
- 2 **Brickwork:** Vanderden Berit waterstruck brick with dark grey mortar, in stretcher bond
- 3 **Stone:** White reconstituted smooth finish stone banding, colour Portland.
- 4 **Windows and Doors:** Composite aluminium/timber frames. Colour: RAL 1019. Windows fully reversible for cleaning from within. Secured By Design approved (PAS 24).
- 5 **Shop Front Glazing:** RAL colour to match windows & doors.
- 6 **Service Doors:** Steel louvred door, RAL colour 1019. Secured By Design approved (PAS 24).
- 7 **Balcony Railings:** High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with matching handrail. Colour: RAL 1019. Anodised aluminium cladding to underside and face of balconies. Colour: RAL 1019.
- 8 **Winter Gardens:** Frameless clear glass sliding doors with aluminium track.
- 9 **Gate:** High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019 .
- 10 **Recessed Brickwork**
- 11 **Fence:** High spec painted galvanized steel flat railings with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019
- 12 **Landscaping:** To landscaping design outlined in design access statement.
- 13 **Low brick garden wall:** 0.9m high brickwork wall. Brickwork to be as per note 2.
- 14 **Lightweight Roof Structure:** Lightweight roof structure with glazed panels.
- 15 **Garden Fence:** 2.1m high timber fence to be painted to match windows.
- 16 **High brick garden wall:** 2.1m high brickwork wall. Brickwork to be as per note 2.
- 17 **Garden Gate:** High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep). Colour: RAL 1019 .
- 18 **Aluminium Capping:** Capping to top of parapet wall and inset balcony opening to be powder coated RAL 1019 to match windows, doors and railings.
- 19 **Canopy:** Canopy above communal entrance door. To be minimum 1500x 1200mm. Finished in aluminium powder coated to match door.
- 20 **Balcony Screen:** Painted galvanized steel flat frame with corrugated perforated metal mesh screen fixed to outer faces. Colour: RAL 1019



General Notes

© Copyright Stephen Davy Peter Smith Architects 2020

These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.

The site boundaries and surroundings are based on the following:

- OS Map / Measured survey by xxxxxxxx

The site boundaries are those described by the client.

These drawings are to be read in conjunction with all other relevant documentation produced by Stephen Davy Peter Smith Architects and other consultants employed by the client.

Specific Notes

Legend

Key

1:50

0 0.5 1 1.5 2 2.5m

P1	CM	PLANNING ISSUE	07/08/20
P0	CM	Issued for information	30/07/20
Rev	Drawn	Notes	Date
X#	XX	##/##/##	
Rev	Checked	Date	Approved

REVISIONS

Client

NPLH Midland Road Limited

A - APPROVED
B - APPROVED WITH COMMENTS
C - DO NOT USE

CLIENT APPROVAL

stephen davy
peter smith | architects

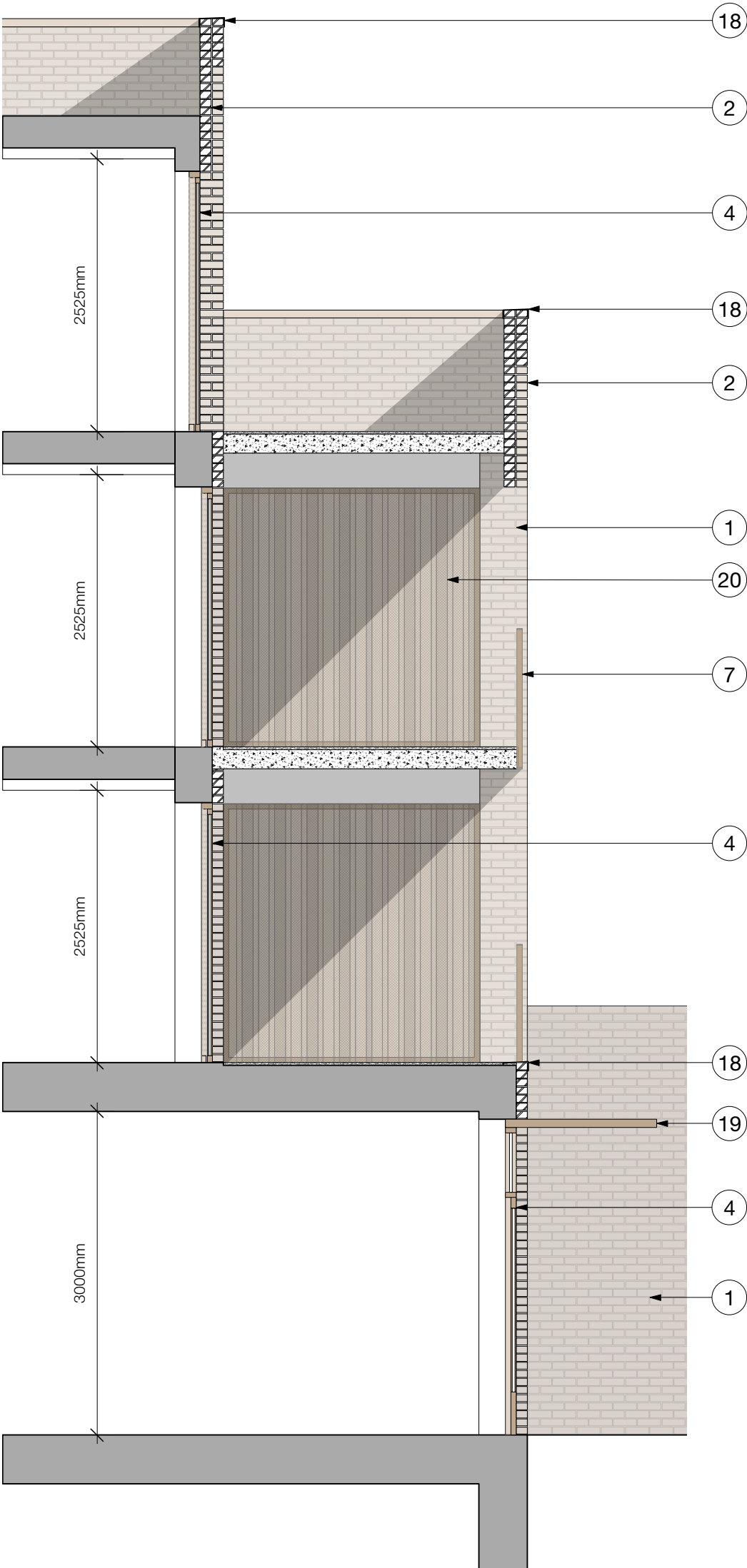
Fanshawe House, Fanshawe Street, London N1 6HX
Tel: 020 7739 2020 Fax: 020 7739 2021
E-mail: sdpsa@stephendavyarchitects.co.uk
Website: www.davysmitharchitects.co.uk

Project
Midland Road
Leyton

Drawing Ref. 1913 - DS - XX - ZZ - DR - A - P200	Job No. 1913
Purpose of Issue PLANNING	Scale 1:250 @ A3

Drawing Title
Proposed Bay Study Site A

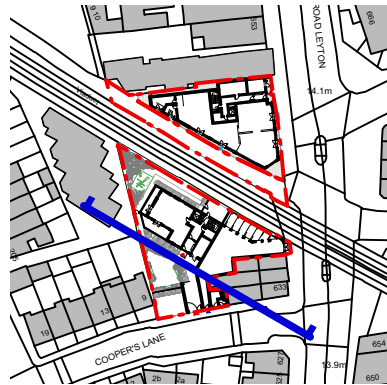
Project Ref - Drawing No - Status - Revision
1913 - P500 - S0 - P1



Section Y-Y



Section CC



- Brickwork:** Vanderden Berit waterstruck brick with light grey mortar, in stretcher bond
- Brickwork:** Vanderden Berit waterstruck brick with dark grey mortar, in stretcher bond
- Stone:** White reconstituted smooth finish stone banding, colour Portland.
- Windows and Doors:** Composite aluminium/timber frames. Colour: RAL 1019. Windows fully reversible for cleaning from within. Secured By Design approved (PAS 24).
- Shop Front Glazing:** RAL colour to match windows & doors.
- Service Doors:** Steel louvred door, RAL colour 1019. Secured By Design approved (PAS 24).
- Balcony Railings:** High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with matching handrail. Colour: RAL 1019. Anodised aluminium cladding to underside and face of balconies. Colour: RAL 1019.
- Winter Gardens:** Frameless clear glass sliding doors with aluminium track.
- Gate:** High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep) with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019 .
- Recessed Brickwork**
- Fence:** High spec painted galvanized steel flat railings with corrugated perforated metal mesh screen fixed to outer face. Colour: RAL 1019
- Landscaping:** To landscaping design outlined in design access statement.
- Low brick garden wall:** 0.9m high brickwork wall. Brickwork to be as per note 2.
- Lightweight Roof Structure:** Lightweight roof structure with glazed panels.
- Garden Fence:** 2.1m high timber fence to be painted to match windows.
- High brick garden wall:** 2.1m high brickwork wall. Brickwork to be as per note 2.
- Garden Gate:** High spec painted galvanized steel flat railings (approx 20mm thick & 50mm deep). Colour: RAL 1019 .
- Aluminium Capping:** Capping to top of parapet wall and inset balcony opening to be powder coated RAL 1019 to match windows, doors and railings.
- Canopy:** Canopy above communal entrance door. To be minimum 1500x 1200mm. Finished in aluminium powder coated to match door.
- Balcony Screen:** Painted galvanized steel flat frame with corrugated perforated metal mesh screen fixed to outer faces. Colour: RAL 1019

General Notes

© Copyright Stephen Davy Peter Smith Architects 2020

These proposals are subject to the approval of all Statutory Building Control requirements and the requirements of all Statutory Authorities and Service Providers.

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- OS Map / Measured survey by xxxxxxxx

The site boundaries are those described by the client.

These drawings are to be read in conjunction with all other relevant documentation produced by Stephen Davy Peter Smith Architects and other consultants employed by the client.

Specific Notes

Legend

Key

1:50

0

0.5

1

1.5

2

2.5m

P1	CM	PLANNING ISSUE	07/08/20	
P0	CM	Issued for information	30/07/20	
Rev	Drawn	Notes	Date	
XX	XX	##/##/##		
Rev	Checked	Date	Approved	Date

REVISIONS

Client

NPLH Midland Road Limited

A - APPROVED
B - APPROVED WITH COMMENTS
C - DO NOT USE

CLIENT APPROVAL

stephen davy
peter smith

Farshaw House, Farshaw Street, London N1 6HX
Tel: 020 7739 2020 Fax: 020 7739 2021
E-mail: sdpsa@stephendavyarchitects.co.uk
Website: www.davysmitharchitects.co.uk

Project

Midland Road
Leyton

Drawing Ref. 1913 - DS -XX- ZZ -DR- A - P200	Job No. 1913
Purpose of Issue PLANNING	Scale 1:250 @ A3

Drawing Title

Proposed Bay Study Site B

Project Ref - Drawing No - Status - Revision

1913 - P 501 - S 0 - P 1

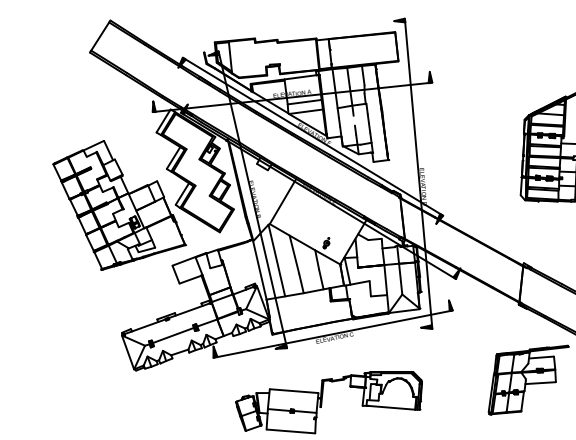
This survey has been produced under strict quality control and follows the accuracy requirements with the indicated scale and should only be used for its original intended purpose. Any scaling should only be undertaken using a stable matrix print produced using the original data. This printed scale may only offer a presentation purpose for the survey data.

It is for the use only of the party to whom it was issued and no responsibility is accepted by us third party for the disclosure or part of the survey data. The survey data is provided on the basis of the accuracy and facts, which may affect the survey, have been disclosed to the survey data by the parties concerned and no liability, nor responsibility can be accepted, unless full disclosure has been made.

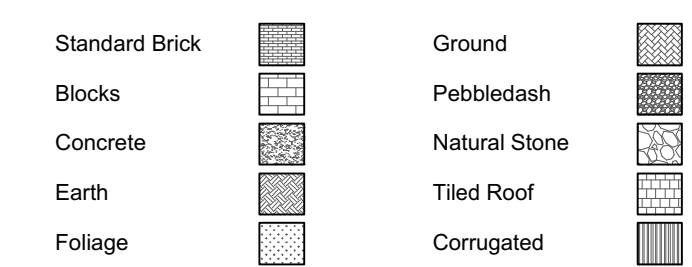
All ground truths that were viable at the time of the survey have been located, however there may have been items discarded. The sizes are approximate and may vary slightly from the actual sizes. The survey data is provided on the basis of the accuracy and facts, which may affect the survey, have been disclosed to the survey data by the parties concerned and no liability, nor responsibility can be accepted, unless full disclosure has been made.

All data remains in the ownership of Formby Surveys Ltd and any discrepancies between this survey and any other information should be reported to Formby Surveys Ltd.

(not to scale)



(Where applicable)



Summary: Gold.

Survey Datum: ☐ Local Datum ☒ Nat. Grid (1985) ☐ Nat. Grid (1990) ☐ Nat. Grid (2011) ☐ O.S.M.

The survey grid & level datum relate to the Ordnance Survey active GPS network (OSGM15) established via Leica SmartNET, plotted with no scale factor applied.

The current survey has been merged with existing survey data, from either a previous project or from a third party. This data may not truly represent current features due to site changes and may have been produced at a different scale to the most recent information.

This survey is produced using a combination of Ordnance Survey (OS) digital data and topographical digital surveying. Care should be taken when measuring from one system to another as the two datasets have been produced using different techniques. The OS information is provided for guidance only.



Rev	Date	Description	CA

Rev	Date	Description	CA
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Client	
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Stephen Davy Peter Smith Architects Ltd

measure* manage* deliver*

measure manage deliver

FormbySurveys

Professional Measurement Surveyors

Elevation

639, 643-649, High Road Leyton,
E10 6RE

Plotted Scale: A0@1:100 0.0 2.0 4.0 6.0

Supervisor: SER	CAD: DW/RJ	Checker: MJS	Rev:
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Date of Issue:	March 2020	FSL Ref No: 10825_E:100:1
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All data remains in the ownership of Formby Surveys Ltd and any discrepancies between this survey and any other information should be reported to Formby Surveys Ltd.

Key-1-11a1
(not to scale)



(Where applicable)

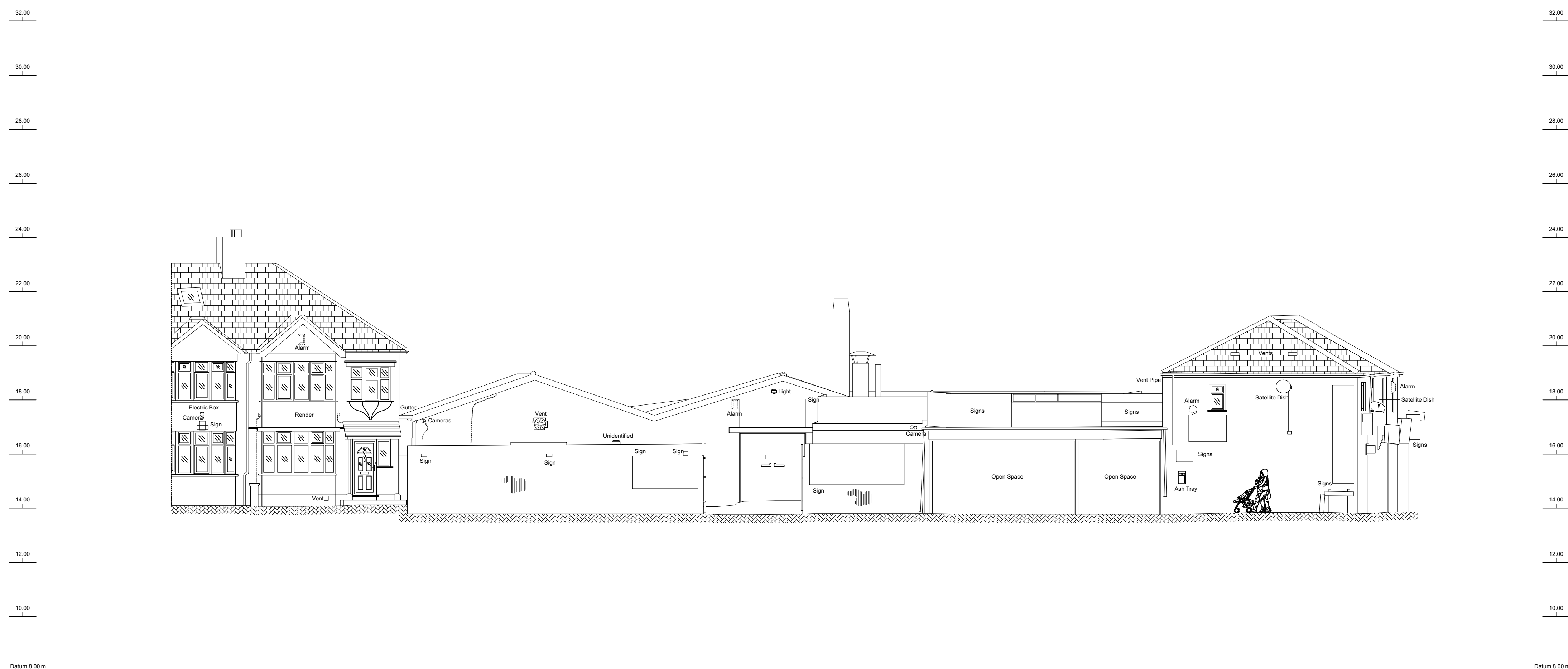
Standard Brick		Ground
Blocks		Pebbledash
Concrete		Natural Stone
Earth		Tiled Roof
Foliage		Corrugated

Survey Grid: Local Grid ☐ Nat. Grid (NAD83) ☒ Nat. Grid (NAD83) ☐ Existing Grid ☐
Survey Datum: Local Datum ☐ Nat. Grid (NAD83) ☒ Nat. Grid (NAD83) ☐ O.S.B.M. ☐

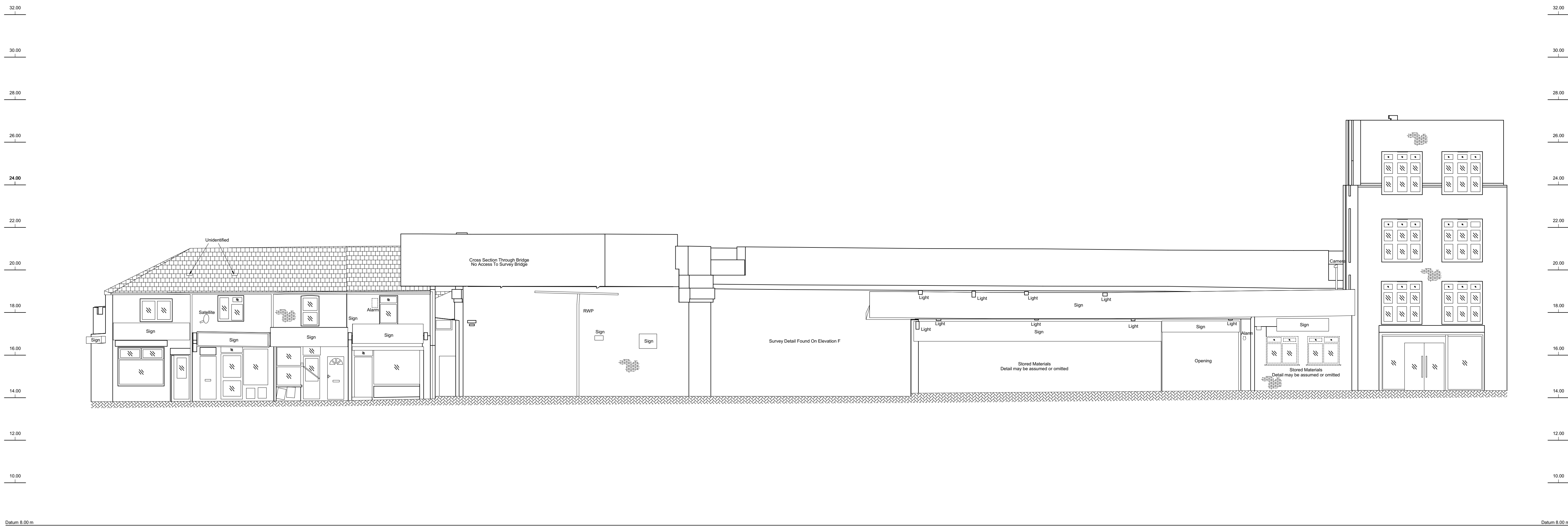
The survey grid & level datum relate to the Ordnance Survey active GPS network (OSGM15) established via Leica SmartNET, plotted with no scale factor applied.

The current survey has been merged with existing survey data, from either a previous project or from a third party. This data may not truly represent current features due to site changes and may have been produced at a different scale to the most recent information.

This survey is produced using a combination of Ordnance Survey (OS) digital data and topographical digital surveying. Care should be taken when measuring from one system to another as the two datasets have been produced using different techniques. The OS information is provided for guidance only.



Elevation C



Elevation D

Rev	Date	Description	CAD
Client			

Stephen Davy Peter Smith Architects Ltd

measure* manage* deliver*

FormbySurveys

Professional Measurement Surveyors

Elevation

639, 643-649, High Road Leyton,
E10 6RE



Surveyor: SFR	CAD: DW/RJ	Checker: MLS	Rev:
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Date of Issue: March 2020 | FSL Ref No: 10825_E:100:2:3



Key Point:
(not to scale)



(Where applicable)

