

278-284 Hoe Street, Walthamstow  
Design & Access Statement

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## 1.0 INTRODUCTION

### 1.1 Purpose of Document

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This Design and Access Statement has been prepared by HAL Architects together with Studio HUW Landscape and dp9 Planning Consultancy. The DAS accompanies an application for full planning permission for the site at 278-284 Hoe Street in Walthamstow.

The site occupies a 754m<sup>2</sup> / 0.08 hectares area and sits on Hoe Street, at the junction with Station Approach to the north, and Priory Avenue to the south. Given the proximity to Walthamstow Central interchange the site benefits from excellent transport provision. The site presents the opportunity to provide much needed housing and make a positive contribution to Walthamstow Town Centre.

### 1.2 Overview of the Proposal

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The site is currently occupied by two commercial buildings providing offices for a solicitor, a branch of Barclay's Bank and 3 residential units. These buildings will be demolished to create a site for a new 18 storey building which will provide 66 new homes and associated amenities.

The proposed building sits at the junction of Hoe Street and Station Approach with a new 'pocket park' created to the south onto Priory Avenue, and a new cut through to the west, which picks up on the line of the lane that previously provided service access to the rear of the Hoe Street buildings.

This DAS outlines the evolution of the design process undertaken over a period of some 24 months upto the point of submission.

### 1.3 Project Team

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The project team includes a full range of consultants and specialists:

**Architect**  
HAL Architects

**Landscape**  
Studio Huw

**Planning Consultant**  
dp9

**Townscape**  
Peter Stewart Consultancy

**Verified Views**  
Trooper Hill

**Heritage**  
Heritage Collective

**Transport and Logistics**  
Pulsar

**Sustainability and Energy**  
Twin + Earth

**Structure**  
Elliott Wood

**MEP**  
Robinson Associates

**Fire**  
Hoare Lea

**Surface Water Drainage**  
Elliott Wood

**Daylight Sunlight**  
Waldram

**Community Engagement**  
Development Intelligence

**Biodiversity**  
Watermans

**Noise Impact**  
AQC

**Air Quality**  
AQC

**Affordable Housing**  
DS2



## 2.0 SITE & CONTEXT

### 2.1 Context

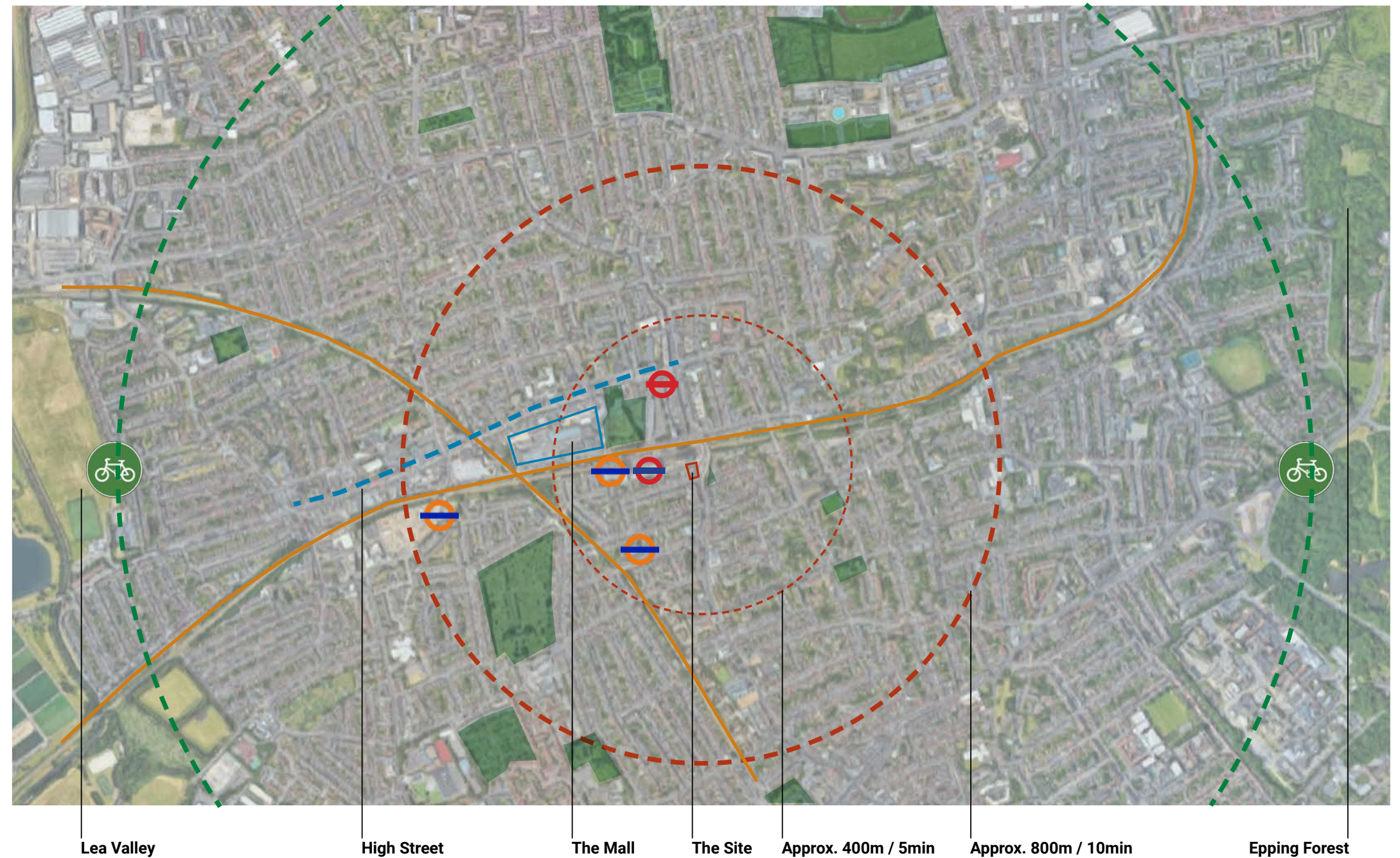
The site is in Walthamstow in the London Borough of Waltham Forest.

Forming part of the town centre and on a significant corner leading to Walthamstow Station the site has an excellent Public Transport Accessibility Level (PTAL) level of 6a.

Walthamstow Central has Victoria line connections into central London as well as overground connections running between Liverpool Street and Chingford. Queens Road station is a short walk and provides overland services running between Gospel Oak and Barking.

Walthamstow Bus Station is located across the railway bridge and provides connections to Stratford, Chingford and Barking amongst a range of destinations. Bus stops are located adjacent to the site on Hoe Street.

The site is between the green open spaces of Epping Forest to east and Lee Valley to the west and both are easily accessible by bicycle or walking. Smaller open spaces are within easier reach and include St Mary's Churchyard to the east.





## 2.2 Site Location

The site is located to the west of Hoe Street with Station Approach to the north and Priory Avenue to the south.

There are a mix of uses nearby including residential, commercial, hotel and retail typical of a town centre. Walthamstow High Street and Market are located to the north with shops running the extent of Hoe Street to the south.

The Hoe Street gyratory has recently been improved with cycle lanes and areas of new planting.

There are a number of passageways that run north-south, parallel to Hoe Street, that serve the rear of the retail premises on Hoe Street. The Cobbled Street is an example that emerges onto Priory Avenue just to the south of the site.

The townscape is mixed with taller buildings including the 13 storey Travelodge to the north, and the arrival of 18 storey Juniper House to the east. The recently consented scheme for The Mall is of 26+34 storey towers and is sited to the North of the railway line. The streets to the west and south are Victorian terraced housing of 2-3 storeys.



View To Site Along Priory Avenue



View Looking North To Site From Hoe Street



View Looking South To Site From Hoe Street



View To Site On Station Approach



### 2.3 Historical Context

There are a number of listed and locally listed buildings within easy reach of the site.

These are shown on the diagram opposite.

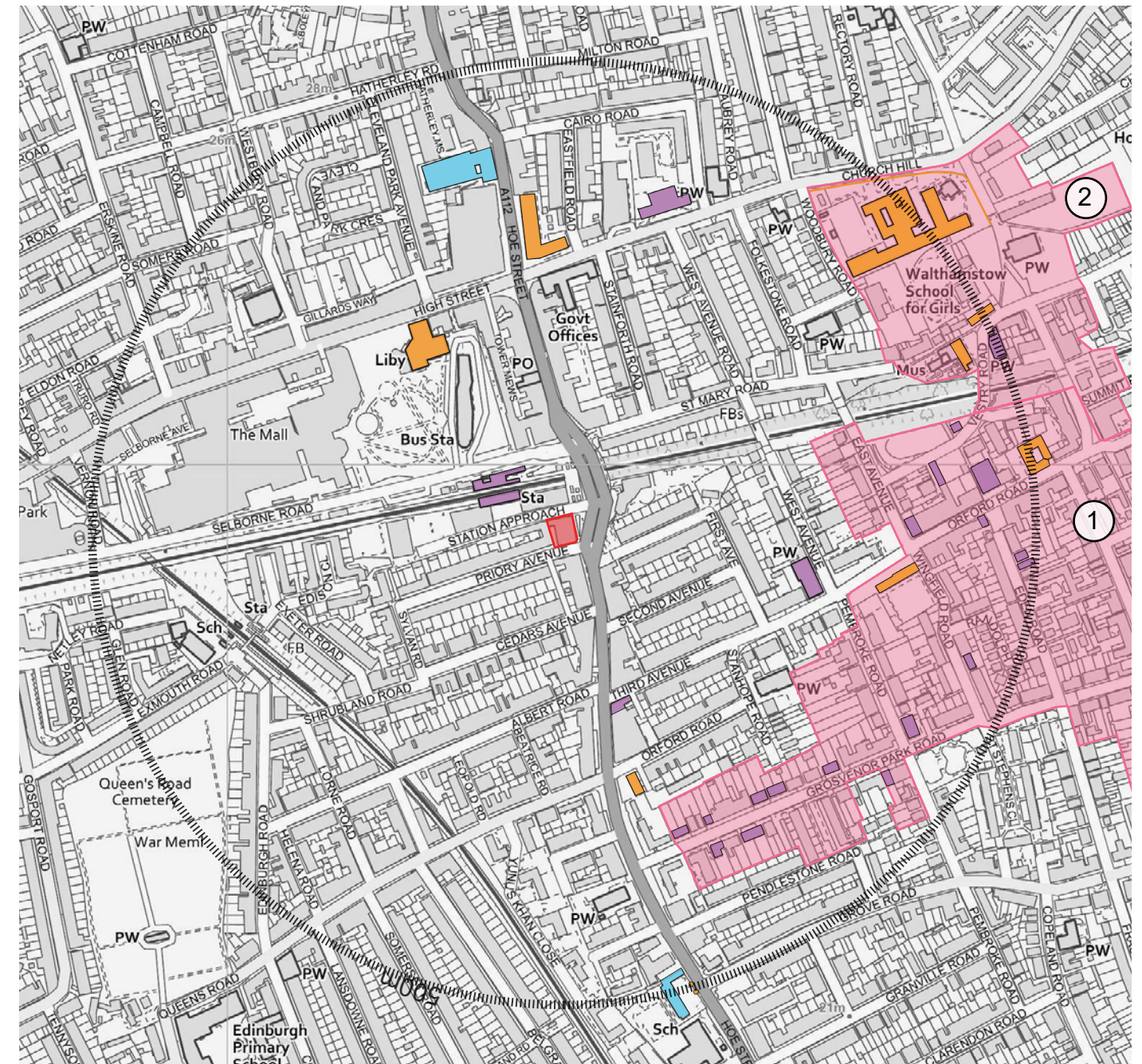
While the proposals do not impact directly on these buildings there has been careful consideration of their locations and associated views. This is detailed further in the Townscape and Visual Impact Assessment prepared by Peter Stewart Consultancy and Trooper Hill.

The Site is not located in a particularly heritage sensitive area. There are two conservation areas within 500m (Walthamstow Village CA and Orford Road CA), though views of the surrounding area from within them are limited due to their tight urban grain. There are some listed and locally listed buildings in the area; the closest listed building is the Walthamstow Central Library, and the closest locally listed building to the Site is the Walthamstow Central Station.

The diagram opposite shows the two CA's and listed and locally listed buildings

Please refer to the Townscape, Visual Impact and Heritage Assessment prepared by Peter Stewart Consultancy in support of this application.

- Listed buildings:
- Grade II\* listed building
  - Grade II listed building
- Conservation areas
- 1 Orford Road Conservation Area
  - 2 Walthamstow Village Conservation Area
- Locally listed building



Approximate Site boundary marked in red for indicative purposes only. An approximate 500m radius is marked on the map. Heritage assets within this radius are identified.

Conservation areas are marked in pink and identified below.



## 2.4 Existing Buildings

The existing buildings on the site date from the 1880's and currently house Barclay's Bank to the north and a solicitors firm to the south and 3 residential apartments.

The buildings are not locally or nationally listed.

The existing buildings are covered in the Heritage Statement prepared by HCUK.



View Looking West Towards Priory Avenue



View From South Of Existing Building



View From West



View From South West



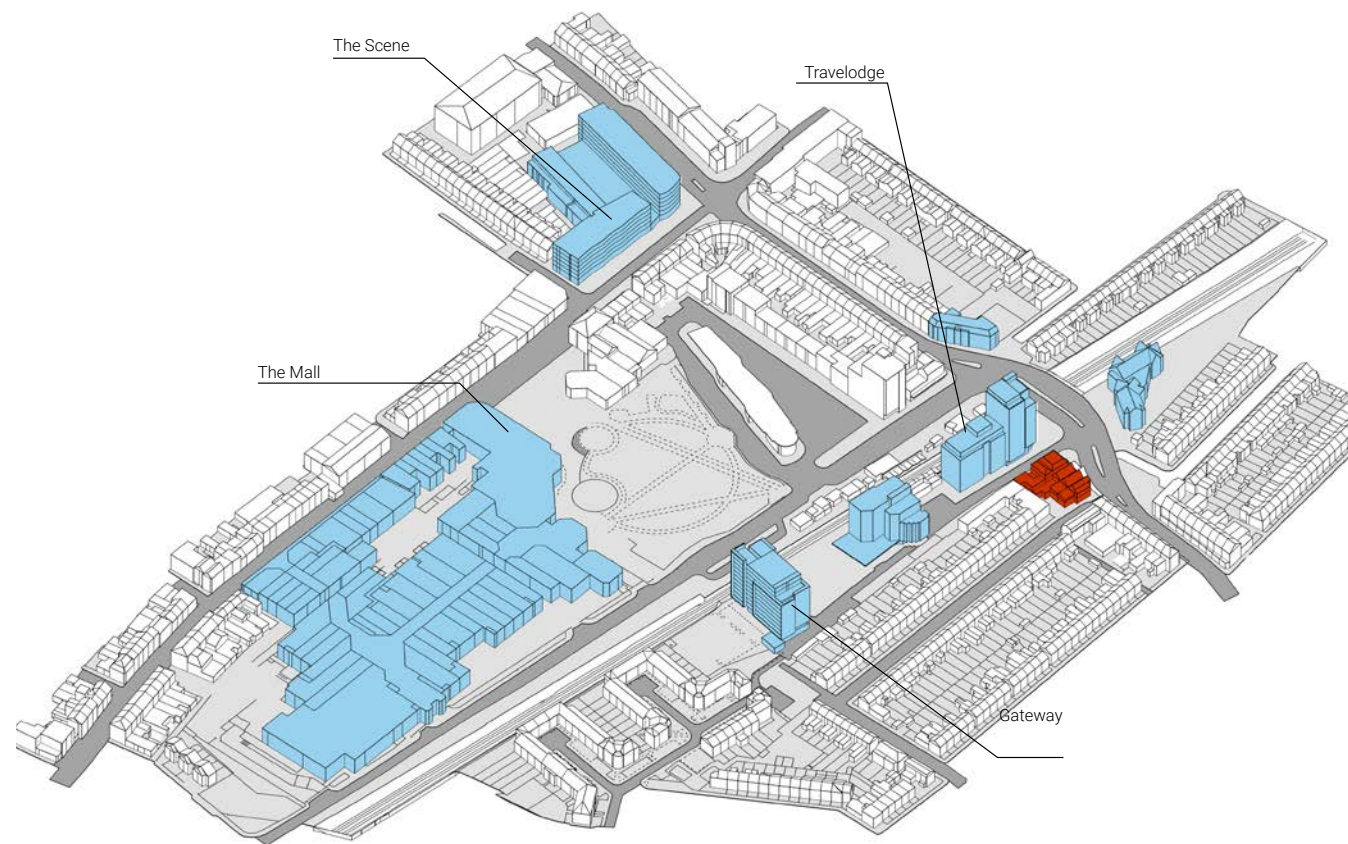
## 2.5 Town Centre Development

The Town Centre has seen considerable growth within recent years. Demand for new homes and workspace remains high and is supported by local and regional policy. In particular, the London Plan focusses on encouraging the provision of new homes adjacent to stations and transport nodes.

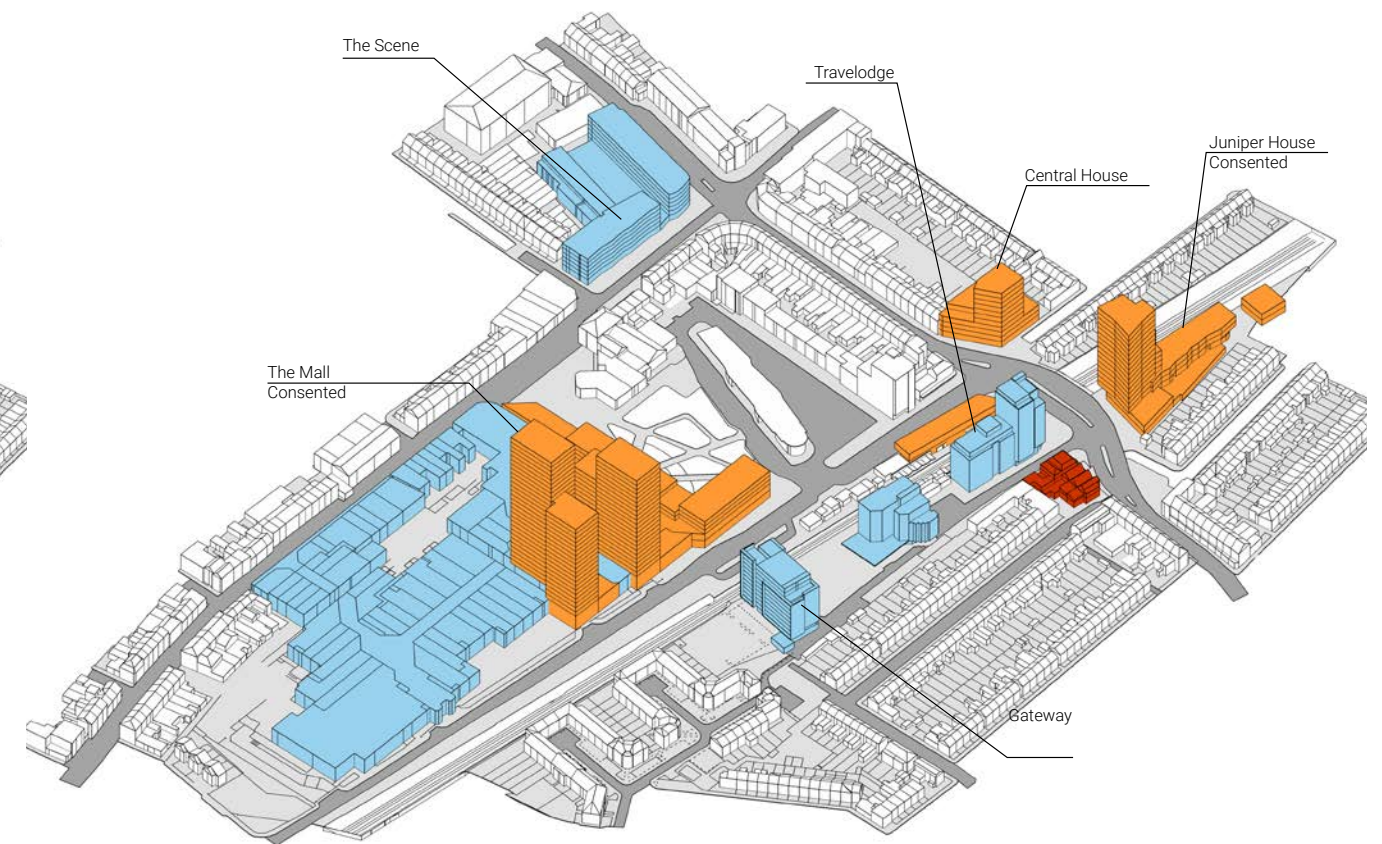
The illustrations opposite show a number of significant developments either under construction, with planning consented or in pre application.

Juniper House, opposite the site to the east, is currently under construction.

- Existing Developments
- Future Developments
- Existing 278-284 Building



Existing Developments



Future Developments

## 2.6 Constraints & Opportunities

The site is ideally located for access to Walthamstow Central and within easy walking distance of the Town Centre and Walthamstow Village to the south east. As such it represents an excellent opportunity to provide a sustainable residentially led development. There are a number of challenges that need careful consideration.

The Hoe Street Gyratory has undergone extensive works which has provided significant improvements for pedestrians and cyclists. Hoe Street remains a busy vehicular route and air quality, noise and vibrations need to be taken into account when planning new homes in this location.

To the west the terrace houses and gardens along Priory Avenue require careful attention in respect of separation distances and daylight sunlight. The apartments to the west of Travelodge will also need consideration in respect of these key aspects.

The ground floor offers an opportunity to provide amenities and facilities to help meet the needs of both residents and the wider community. There is the potential to create new areas of public realm and urban greening.

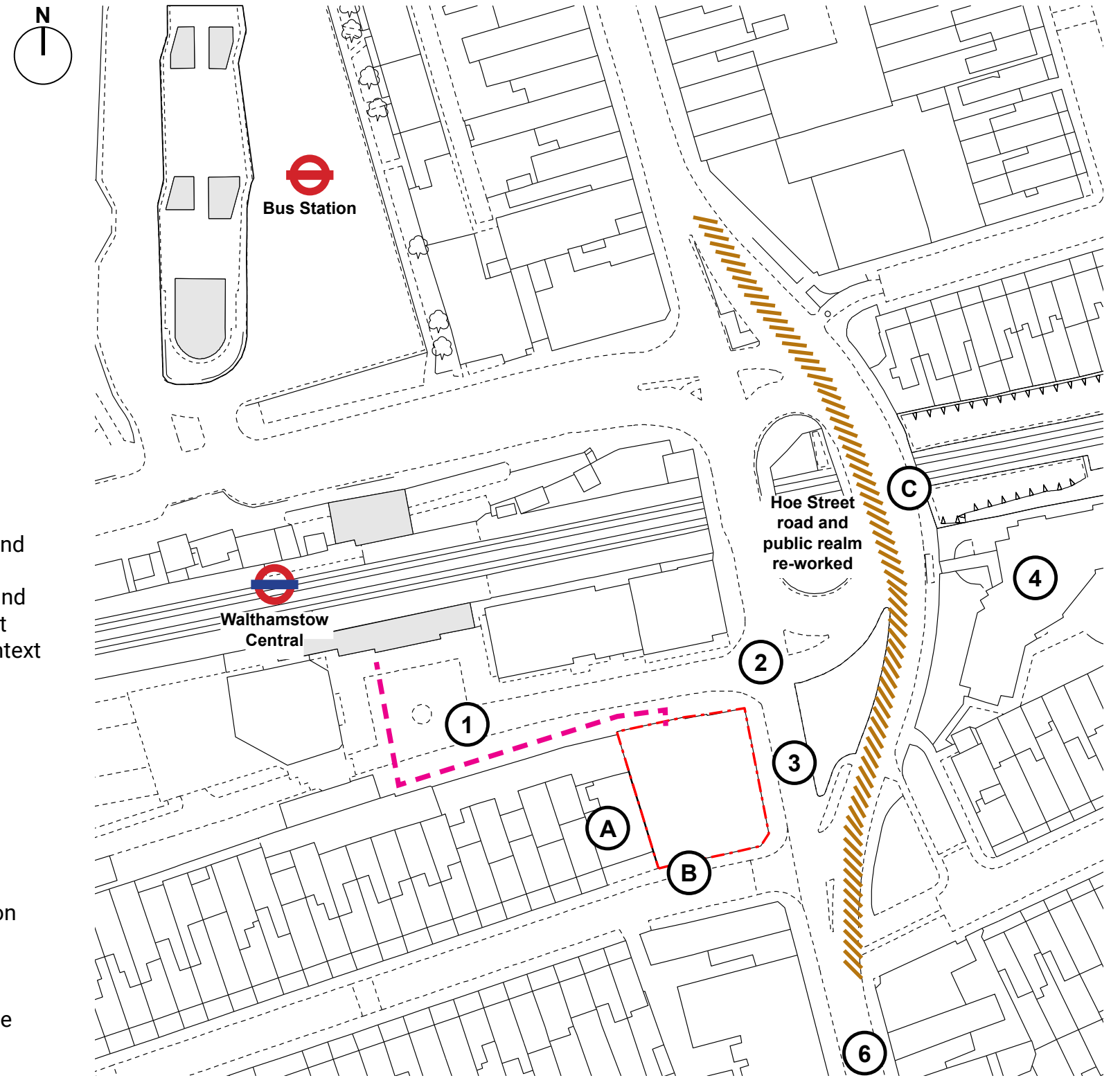
Given the tight footprint of the site the vehicular provision, access and servicing will require thorough planning. The levels of the site drop significantly from the north and the east which will result in necessary assessment of internal floor levels and entrances.

### Opportunities

1. 3min. walk to the Underground
2. Gateway' potential
3. Positive contribution at ground floor to re-worked Hoe Street
4. Responding to changing context
5. Contributing to housing
6. Range of views
7. Employment / Workspace / Coworking
8. Retail / Commercial

### Constraints

- A. Relationship to neighbours on Priory Avenue
- B. Servicing and back of house limitations
- C. Noise and pollution from Hoe Street traffic





## 3.0 DESIGN EVOLUTION

### 3.1 Development of the Brief

The brief set out the client's aspiration to create a sustainable residentially focussed scheme for a key corner site in Walthamstow.

The client has placed particular focus on the quality of living and bedroom spaces as well as appropriate amenity.

Key elements included:

#### Connectivity

Exploration of how people approach the site, entrances and natural wayfinding

#### Presence

The site offers the potential to provide a building of scale and to add positively at both street level and in the wider townscape context

#### Homes

Well designed homes that both respond to current guidance and also take into account changing trends including working from home and access to outside space

#### Sustainability

Consider proposal from a Whole Lifecycle Carbon and Circular Economy perspective identifying solutions for reducing resource use, designing out waste and enabling end-of-life material recovery.

#### Longevity

Careful selection of materials and detailing that stand the test of time, seeking to create architecture that endures and enlivens.

#### Public Realm

Ensuring that the site contributes positively in respect of useable and maintainable public realm.





### 3.2 The Three Sided Plot

Preliminary studies explored a range of massing options.

Initially the approach was to build up to the existing footprints – exploring the placing of a taller building to be placed in the NE corner of the site.

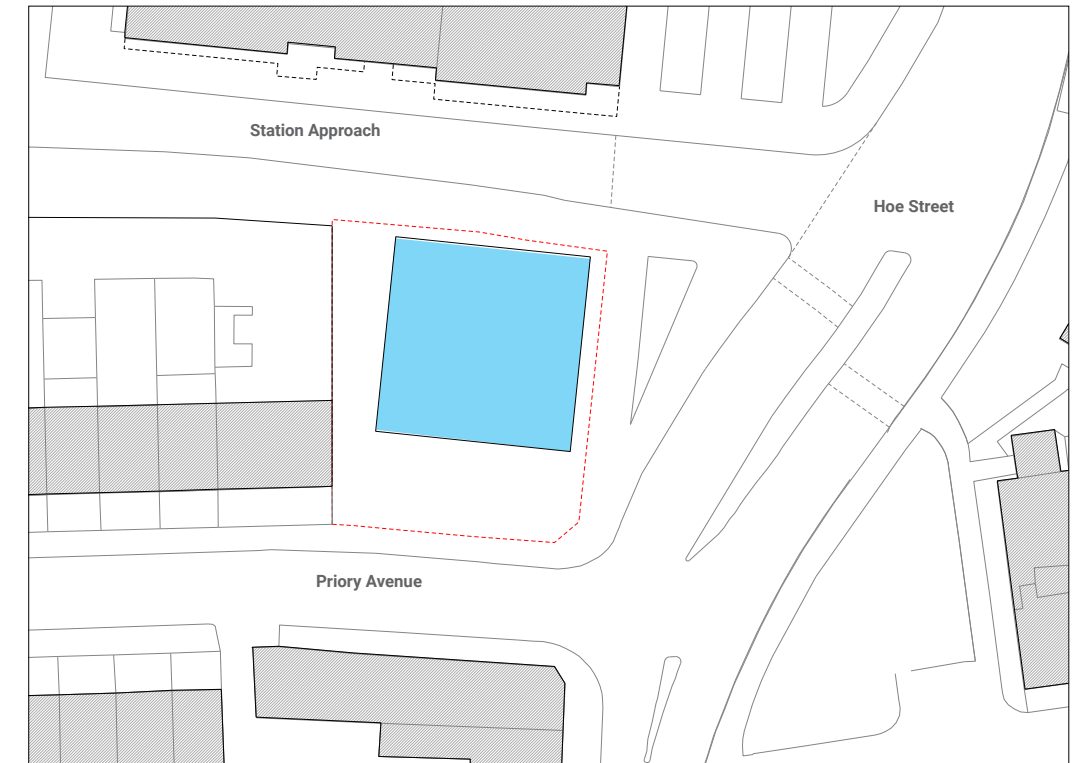
Given the site's location and proximity to a transport hub the team were keen to explore a taller building form. The taller building evolved with two 'stepping' or 'shoulder' buildings to the west and the south, which sought to transition between the scale of Hoe Street to the taller buildings – Travelodge and Juniper House to the east (currently on site).

The plan form of the tower evolved accommodating either 4 or 5 apartments to a floor. The provision of a large number of dual aspect dwellings was considered to be a positive move and a range of balcony options were considered.

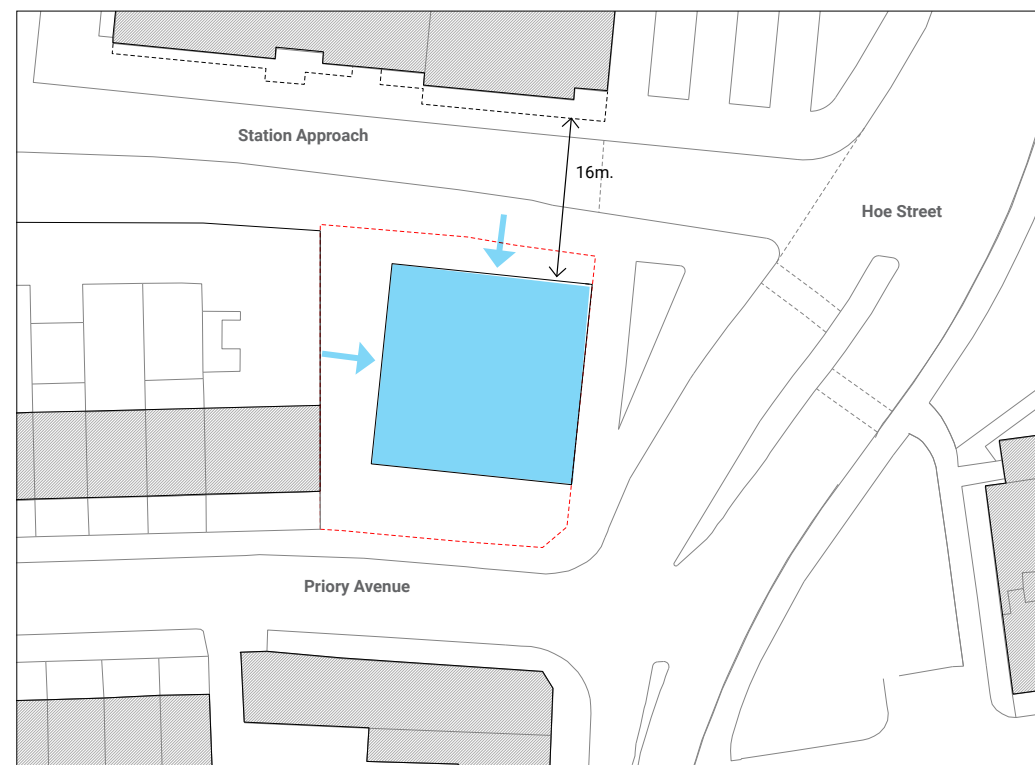
The first of two Design Review Panels held with the Design Council (10 June 2020) provided useful comment and direction (the key comments and responses are shown on the attached summary). In particular we were encouraged to look carefully at the existing context and consider a passageway to the west, as well as the potential removal of the 'shoulders'.



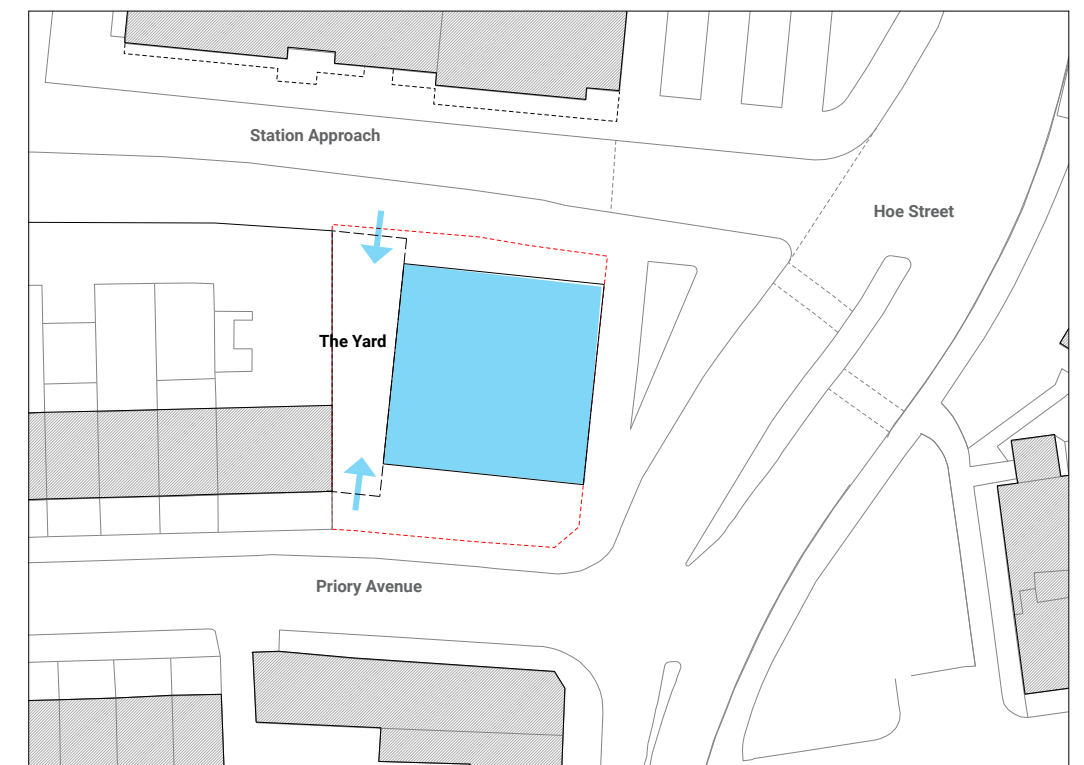
01 - Design Council Massing: 15-Storey & 2 4-Storey Shoulder Blocks



02 - Remove Shoulders



03 - Push Building South and maintain frontage



04 - Develop Area To The West





### 3.3 The Yard

A further site visit unearthed the secondary service routes to the rear of the Hoe Street commercial and retail units, running north south and perpendicular to the side streets. Still in use today, the Cobbled Path to the south of site off Priory Grove is an interesting example.

The existing service road to the rear of 278-284 Hoe Street has been closed for many years and now sits within the ownership boundary.

By removing the 'shoulders' and opening up the site to west the building has a new setting.

The Yard is open to all during the day and a useful cut through to the station while providing animation to the ground floor of the proposed building.



Cobbled Path Opposite to Site



Initial Yard Study



Diagram Showing Secondary Service Routes Running Parallel To Hoe Street

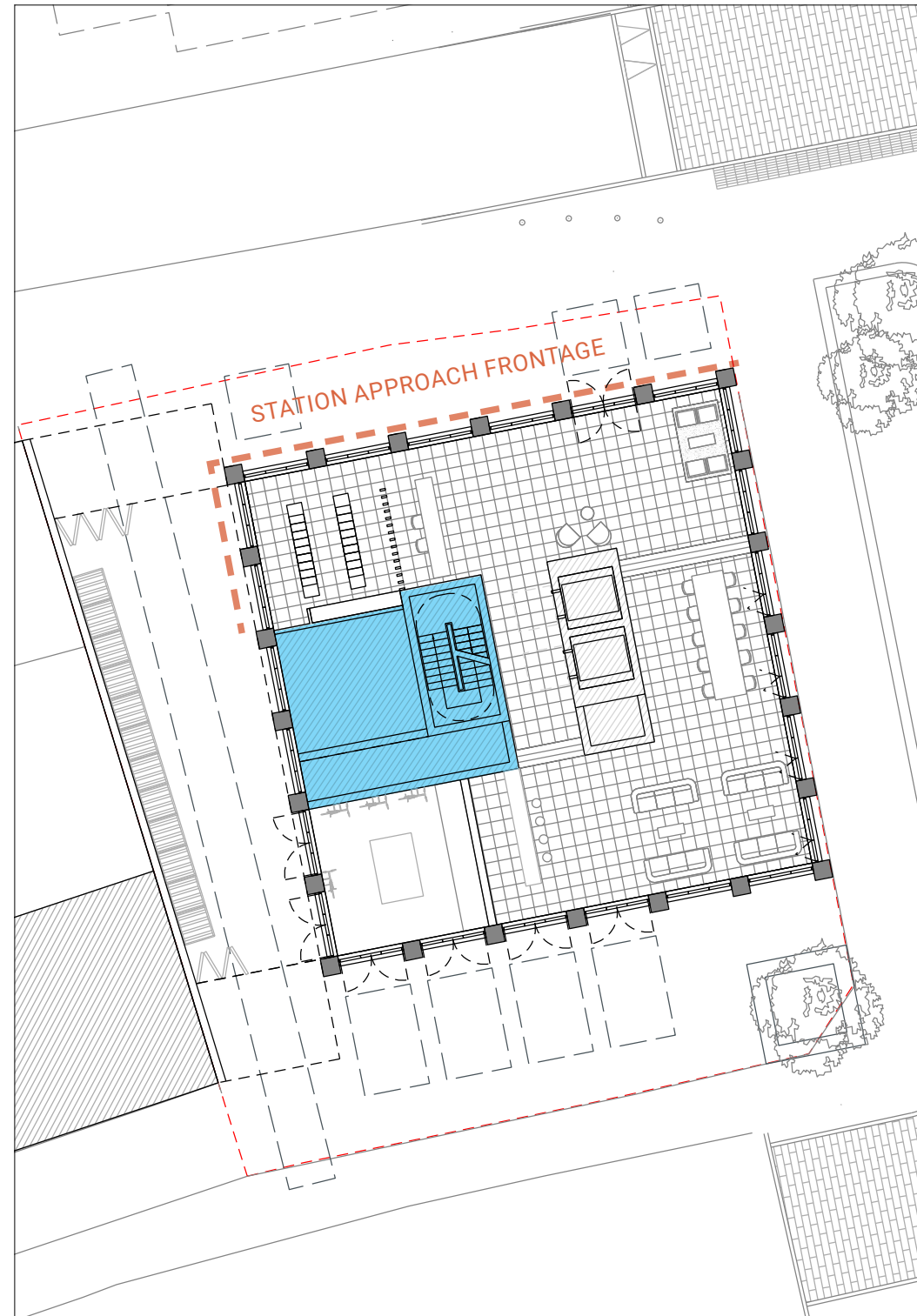




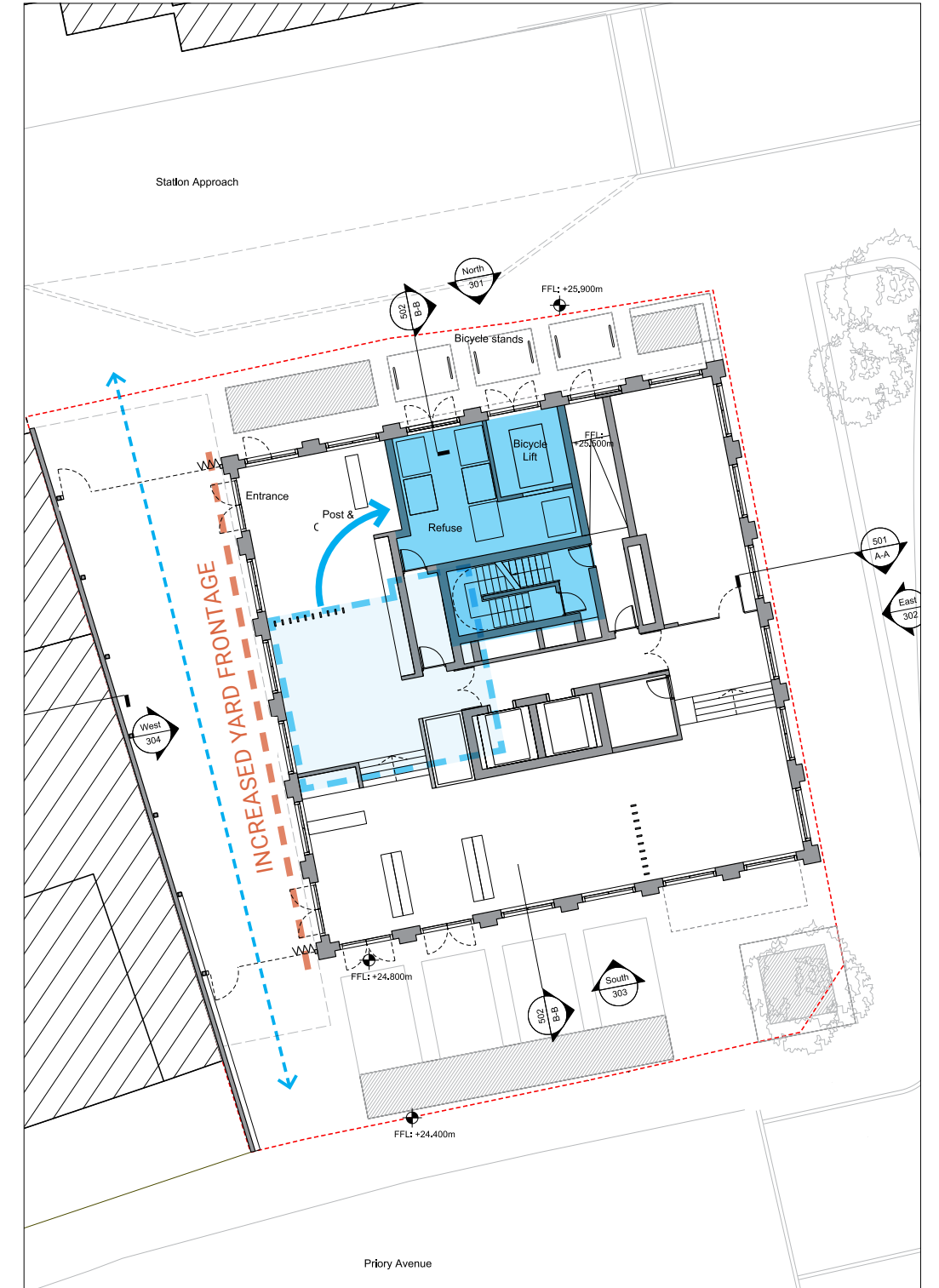
### 3.4 Active Frontage

During the second Design Review Panel (2 December 2020) the design team was challenged to look at a reorganisation of the ground floor servicing elements such as refuse store, cycle lift and escape route.

By moving these elements from west to north, the potential for activation and engagement with the Yard is enhanced.



Initial Services Area Layout Before December 2020 DRP



Changes Made Following December 2020 DRP



### 3.5 Design Review Panel (DRP)

The design team met with the Design Council Design Review Panel (DRP) and members of the Waltham Forest Planning Team on two occasions

- Wednesday 10 June 2020
- Wednesday 2 December 2020

Key comments from the DRP, and design team responses, are outlined below.

#### 3.5.1 DRP 10 June 2020

Comments and Responses from Design Council DRP held on 10 June 2020

#### Achieving Balance

*We suggest developing options and testing them in tandem with testing the height....we advise that the height has to work holistically with the design and site's immediate and wider environment.*

Following the DRP, particular attention has been paid to the ground floor which has given the taller form 'room to breathe'.

#### Heritage and Character

*The current building lines to Hoe Street and Priory Avenue work well and we question why they are not being followed. Similarly, there is a squareness and symmetry to the proposed building form particularly in the way it deals with its shoulders, that we do not find convincing.*

The siting of the building has responded to these comments, bringing the building line to Hoe Street and exploring the removal of the shoulder elements.

#### Shoulder Elements

*we suggest a better understanding of the...site's immediate context....could inform the developing options. A passageway between the existing housing and the site was also suggested*

The design team have embraced the suggestion of a passageway creating a clear gap between the housing on Priory Avenue to the west and the new building. This is partly informed by the service or side roads running parallel to Hoe Street and serving the rear of the commercial properties. The 'Cobbled Path' to the south is a particularly good example.

#### Overlooking and Privacy

*we strongly recommend that this is increased to the recommended 18 metre distance between two buildings, unless the design actively addresses this, and can therefore robustly justify, a narrower distance.*

The distance has been tested and has been increased to 16 metres, partly justified by the fact that around half of the facing elevation of Travelodge is blank and fenestration to the remainder is hotel bedrooms. The apartments will have their primary aspects facing east and west, rather than north.

#### Human scale impact

*It is crucial that the proposals can be understood from a human scale to gauge their impact people and consequently, their success.*

A number of studies have been undertaken from the perspective of the user or passer by which have helped to inform the approach. The change in levels from north to the south, and to the east present a particular challenge.

#### Arrival experience and Ground floor circulation

*We think that the proposals lack a sense of arrival...we also recommend working out a cyclist's journey into the building.*

The design of the ground floor has been significantly changed with the removal of the shoulder elements with a clear front door signalled from The Yard. A separate cyclist entrance to a dedicated cycle store is located to North, off Station Approach.

#### Green amenity space and ground level amenity

*We recommend that the design team develop a green space strategy that provides a combination of spaces that have a coherent character and function*

We have worked with a landscape architect to address these issues and with the removal of the shoulder elements there is now the potential for an active 'pocket park' to the south. The inclusion of the 'yard' to the west also offers the potential for rainy day outside activity.

#### Facades, detailing and windows

*We suggest continuing to explore how to attain the quality and sense of destination that the team aspires to... we advise that (the tall windows) should be customised on each side.*

Further work has been undertaken to respond to these comments with the north and east sides representing a 'civic' face with the south and west responding to the opportunities of long views and private amenity.

#### Sustainability

*We advise that developing the social and environmental sustainability strategies at this stage will mean they are inherent in the design*

We have engaged a sustainability consultant to advise on these aspects are exploring a number of issues in respect of building performance, use and reuse.



### 3.5.2 DRP 2 December 2020

Comments and Responses from Design Council  
DRP held on 2 December 2020

#### **Sustainability**

*A rigorous approach to sustainability are welcome, but we advise that this should guide the entire design, including the proposed materials, to ensure a genuinely sustainable scheme.*

Working with the sustainability consultant through regular review the design has evolved to take account of policy, guidance and regulations. Modern methods of construction have been further explored with the structural engineer and have a particular relevance given the restrictions of a tight site.

#### **Contextual analysis and holistic approach**

*A lack of contextual analysis and detailed information (and we) recommend that this work is carried out and provided in robust detail*

While not presented at the DRP, this work has been ongoing and we are working with a townscape consultant and visualisers to better understand the building's impact.

#### **Viability**

*We are still concerned that the proposals will incur a considerable cost and will have impacts on delivery and provision of affordable units.*

The team are working both with a cost consultant and viability specialist in this regard. The extent of amenity has been reduced and consolidated on the ground and first floor. We believe this has the added benefit of providing ongoing activity at the ground floor.

#### **Yard**

*We are concerned that different uses proposed, including the refuse collection, bicycle storage and entrance to the gym will cause tension...*

We agree with these comments and have moved the 'service' elements onto Station Approach to allow the Yard to act as a communal space.

We have explored the rotating the roof but have reverted to the original geometry as this provides a simplicity in approach. The bicycle storage provision at mezzanine level provides ample and secure parking.

#### **Landscape**

*We still think that there are opportunities... and we recommend being thorough in taking advantage of every option available to create a scheme that enhances biodiversity, manages water sustainably, improves air quality... and has a greener character overall.*

Together with Studio Huw we have explored the greening the yards, the sizes of private and communal amenity, permeable surfaces and sedum roofs where appropriate.

#### **Architecture**

*We think that a more integrated response is required for the balconies, windows and brick columns is required...the number of balconies may also obscure the brickwork*

Further work has been undertaken in particular to simplify the approach to balconies – these are now limited to living areas and shown to the west and south (an inset balcony is shown to the north east at the busy junction of Hoe Street and Station Approach).

The layouts have been further developed while maintaining dual aspect where possible and full height windows. Apartments are tightly grouped around the core keeping corridors to a minimum.



### 3.6 Public Consultation

The consultation was led by Development Intelligence whose Statement of Community Consultation has been submitted in support of this application.

Given national restrictions the consultation was held virtually with a community newsletter being distributed followed by the launch of a website, [www.eastridgewalthamstow.co.uk](http://www.eastridgewalthamstow.co.uk).

An online consultation event was held on 10th December 2020.

Key points covered including:

- Siting, height and massing
- Landscape proposals
- Ground floor uses
- Transport and access

Comments received have helped to inform the design, which is covered in the later stages of this DAS.

# EAST RIDGE

278-284 HOE STREET | WALTHAMSTOW



**We are consulting Walthamstow residents and businesses on a proposed residential building in the heart of Walthamstow.**

Providence Capital Securities is a locally-based residential developer with over 20 years of experience in Walthamstow.

We will be consulting on this application throughout December. To find out more about these proposals, and to share your views on the project, please visit our consultation website at: [www.eastridgewalthamstow.co.uk](http://www.eastridgewalthamstow.co.uk)

There will also be a virtual presentation hosted on the website at 6pm, on **Wednesday 2 December** where you will have the opportunity to hear from and ask questions of the project team.

**WHAT IS BEING PROPOSED**

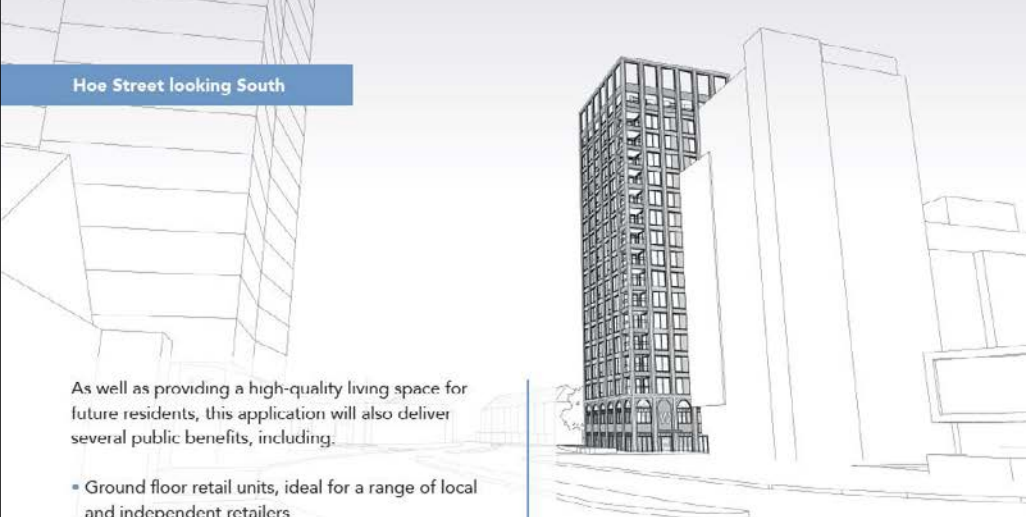
The proposals are for an 18-storey building, providing 61 new homes close to the centre of Walthamstow.

The project team have worked closely with Waltham Forest Council to design a building that is suitable for this location in the town centre, and which relates well to the Travelodge and Juniper House development.



[www.eastridgewalthamstow.co.uk](http://www.eastridgewalthamstow.co.uk)

Hoe Street looking South



As well as providing a high-quality living space for future residents, this application will also deliver several public benefits, including:

- Ground floor retail units, ideal for a range of local and independent retailers
- A target of 35% affordable housing
- Access through the site to Station Approach, via newly accessible all-year-round public space
- Public realm improvements, including an upgrade to the junction of Priory Avenue and Hoe Street
- Proposals for a new community gym
- Active frontages to create an interesting and improved street scene

**THE NEW PUBLIC SPACE**

The new public space will be incorporated to the west of the site, providing a pedestrian link from Priory Avenue to Station Approach. This will be an extension of the cobble path, provide protection from the weather and be actively managed by the building owner.


**NEXT STEPS**

We are encouraging residents to take part in the consultation and share their views on the proposals. The best way to take part in the consultation is to visit our website: [www.eastridgewalthamstow.co.uk](http://www.eastridgewalthamstow.co.uk)

Alternatively, you can get in contact with us in a number of ways:

Email: [contact@eastridgewalthamstow.co.uk](mailto:contact@eastridgewalthamstow.co.uk)  
Phone: 07788 464147

The design team will consider this feedback and updated proposals will be submitted as a planning application to Waltham Forest Council.



Community Newsletter



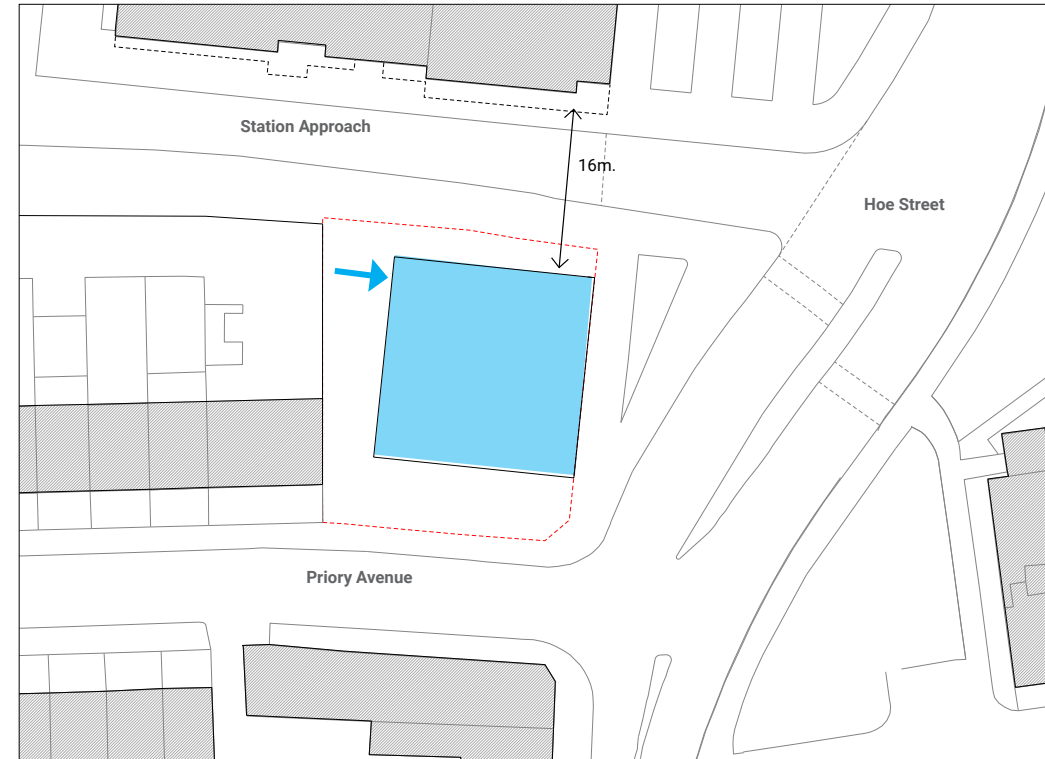
## 4.0 DESIGN PROPOSAL

### 4.1 First Moves

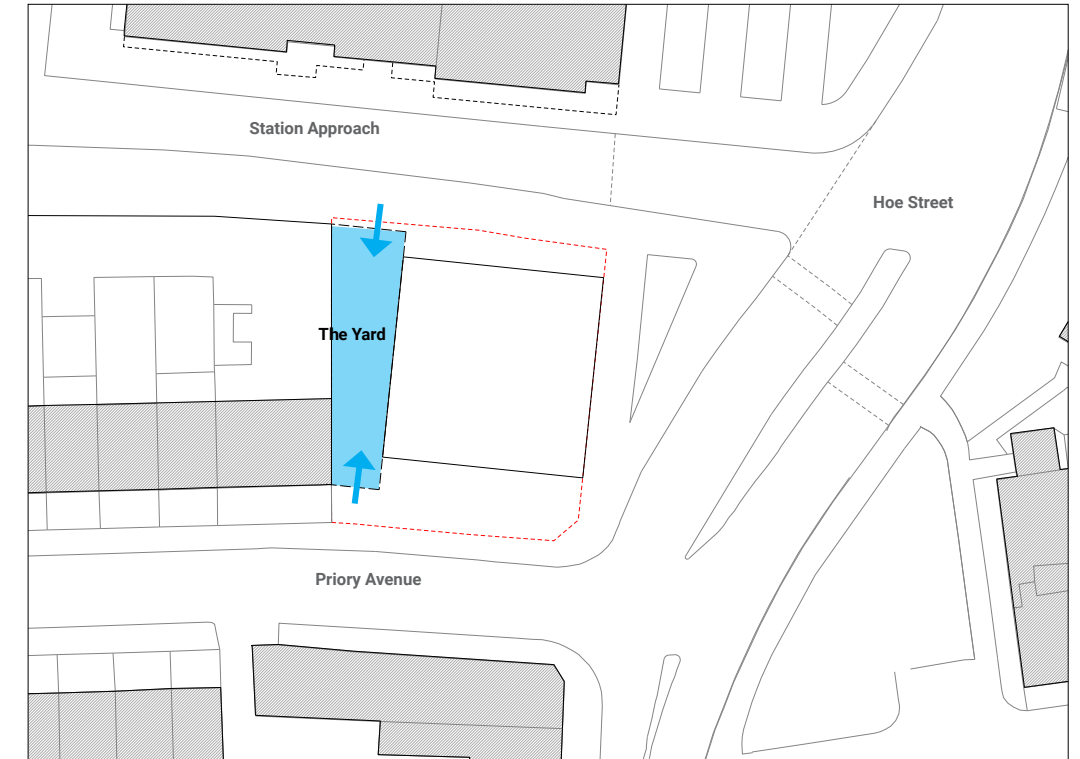
The building line to the east is as the existing buildings. To the north the building is set 16 metres to the south of Travelodge (part of the hotel façade is blank). This allows for a new 'pocket park' to the south of the site.

By maintaining an open gap or passageway to the west a new cut through or side street is created (this will be managed in respect of restricted access during night hours).

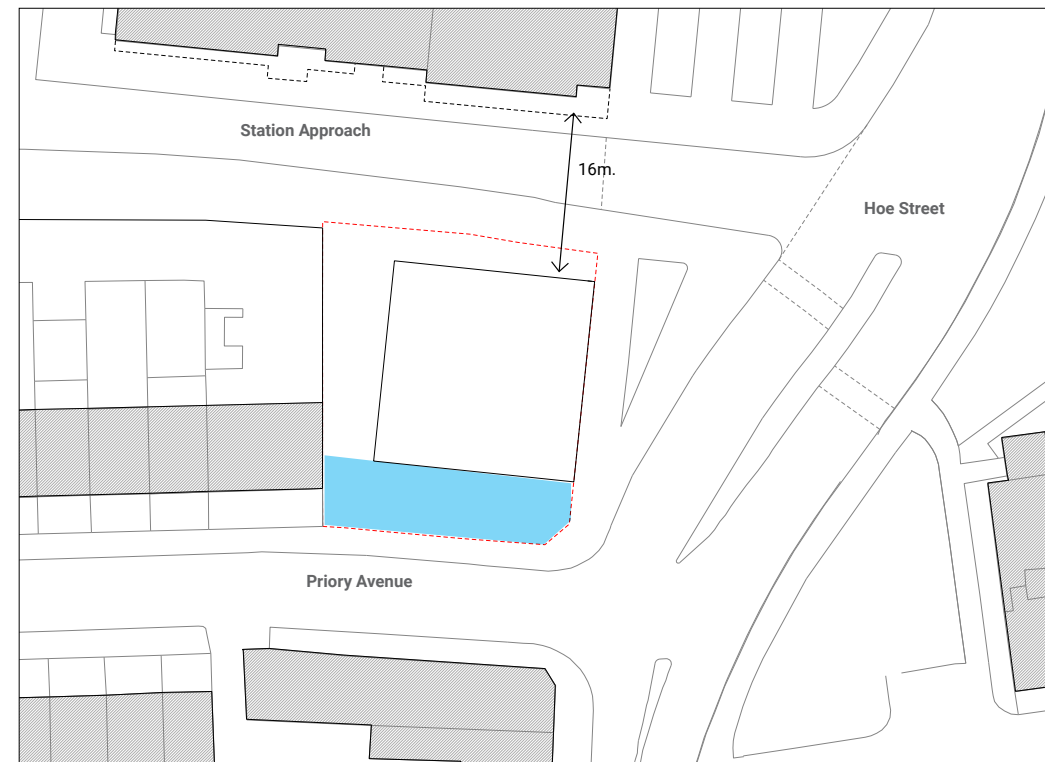
The 'Yard' will be overlooked by the concierge and provides a covered way between Priory Avenue and Station Approach.



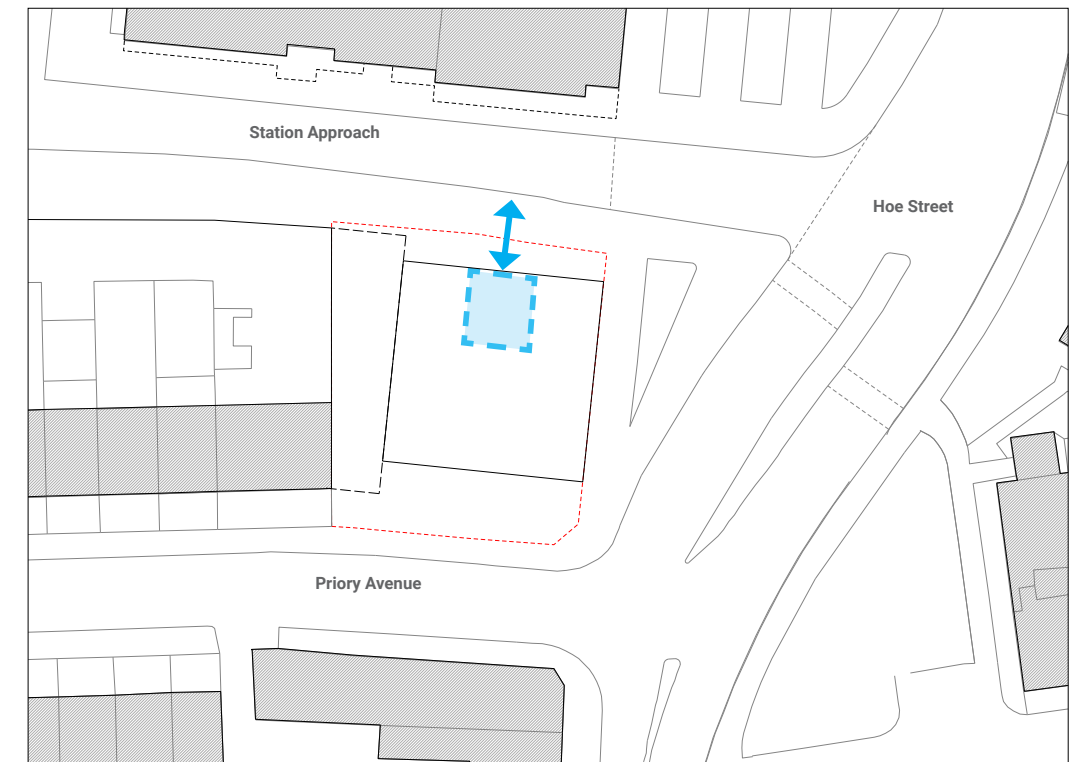
03 - Push Building South



04 - Develop Area To The West



03 - Pocket Park To South of Site



04 - Services Area Located To The North



## 4.2. Ground Floor

The change in level, dropping from north to south, and east to west is reflected in a change in level to the ground floor. The southern section of the ground floor is at a lower level to the entrance to the north.

We have sought to minimise inactive frontage to the ground floor. The refuse store and bike lift are located to the north which allows for the 'Yard' to be activated and a potential stopping off point at times of poor weather.

The ground floor will be managed by the building's concierge and offers residents space for sitting as well as working.

The concierge provides a first point of security and resident's services including parcel and post pick up.

A small scale coffee or delicatessen is envisaged to the south east corner which could provide a public offer.

The southern section of the ground floor opens onto a 'pocket park'. Café tables and chairs would be available on better weather days with the 'Yard' providing covered space for residents and customers.

While there are no access points along Hoe Street, full height glazing will provide an animated edge for pedestrians making their way to or from the station and town centre.



Bicycle Workshop



Cafe



BringMe Parcel System



Ground Floor Plan Highlighting Entrance & Concierge



#### 4.2.2 The Yard

The Yard will be open to the public between 8am and 8pm and will be managed by the concierge.

Gates are provided to the north and south allowing resident access out of hours.

The Yard will act as a natural extension to resident's amenities at ground level.



Design Study of Yard



Ground Floor Plan Highlighting The Yard



### 4.3 First Floor

#### 4.3.1 Gym

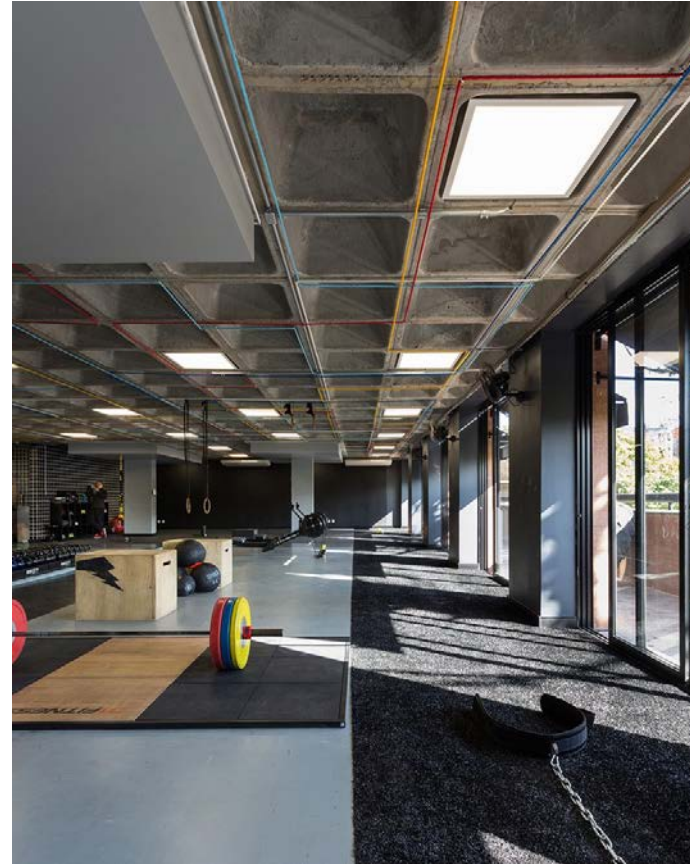
A fitness gym is located to the first floor which will be available for the use of building residents and be available on a membership basis to local residents. External gym members will check in at the concierge at ground floor and be given stair and lift access to the first floor.

#### 4.3.2 Bicycle Deck

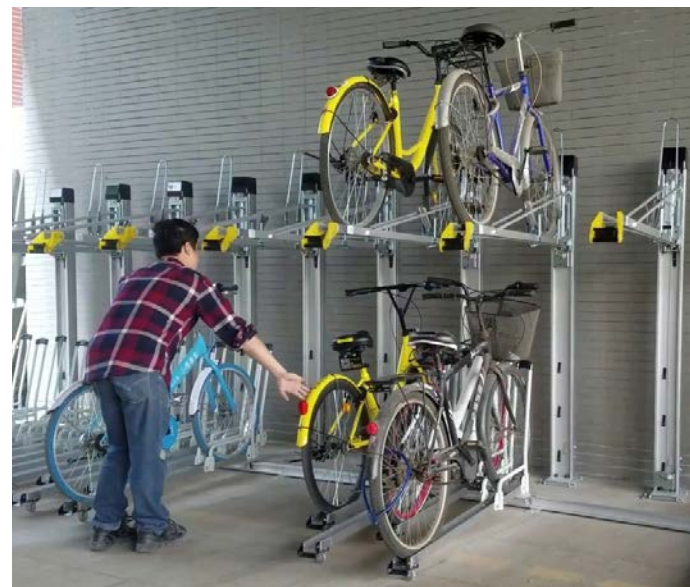
A platform lift provides access from ground floor – adjacent to Station Approach – to the first floor and cycle storage. At first floor there is a range of cycle storage including racks and individual stands.

Further details on the servicing and technical aspects are covered by Pulsar Consulting in their Delivery & Servicing Plan.

It is intended that residents moving in or out of the building will use the bicycle lift with an area set aside at first floor for furniture and possessions. In this way the ground floor entrance can be maintained without the need for domestic removals to interrupt the day to day operation.



Daylit Gym



Bike Storage



First Floor Plan With Bicycle Area Highlighted (Light Blue) and Gym (Dark Blue)



#### 4.4 Upper Floors

Above the two storey podium are single storey residential apartments are organised around a central core.

The apartments have an internal ceiling height of 2.6m and have full height glazed doors to the perimeter.

The majority of apartments (94%) enjoy dual aspect views and all apartments have a well sized balcony that will comfortably accommodate a table and chairs.

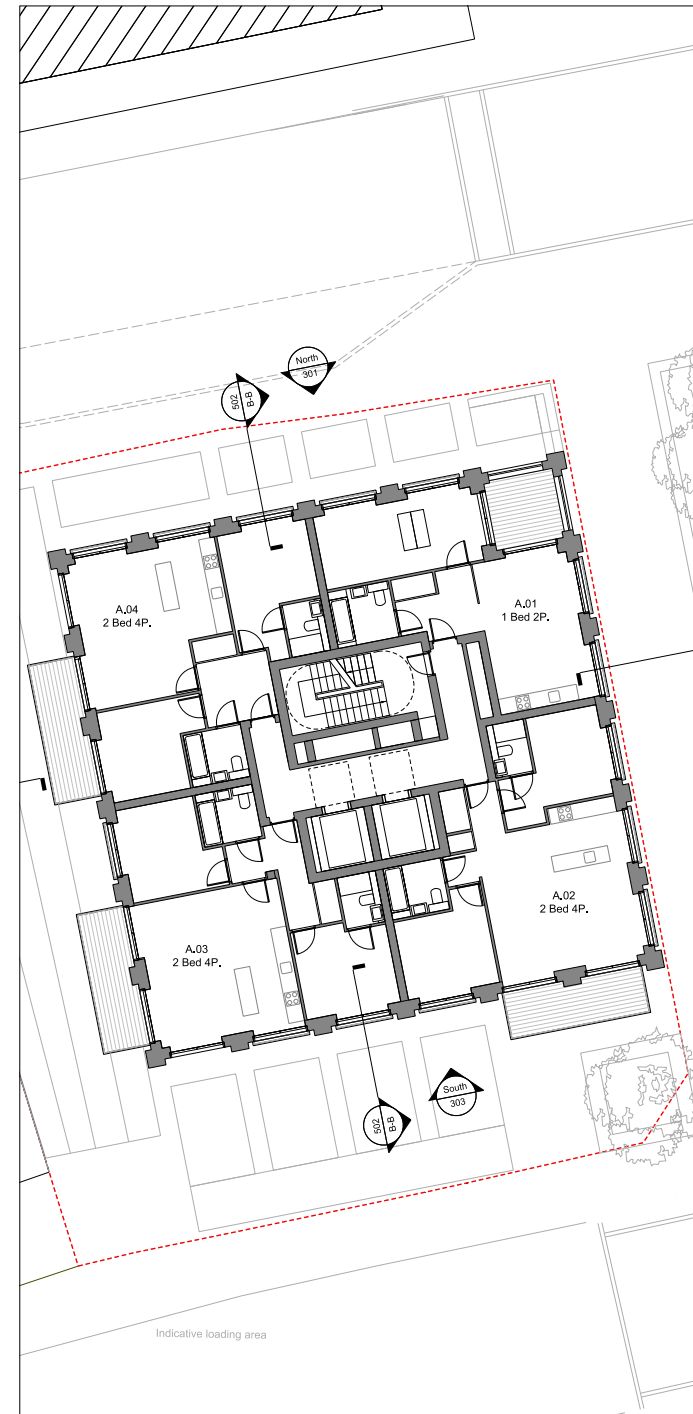
Levels 02-05	Five apartments to a floor
Levels 06-15	Four apartments to a floor
Levels 16-17	Three apartments to a floor

The apartments are designed to meet the London Plan. 90% of new homes are designed to comply with Approved Document Part M Cat 2 (Adaptable and Accessible Buildings) with the remaining 10% in compliance with Cat 3 (Wheelchair User Dwellings).

Accessibility is covered in more detail in the later stages of this statement.



Levels 02 - 05



Levels 06 - 15



Levels 16 - 17



#### 4.5 Roof Terrace

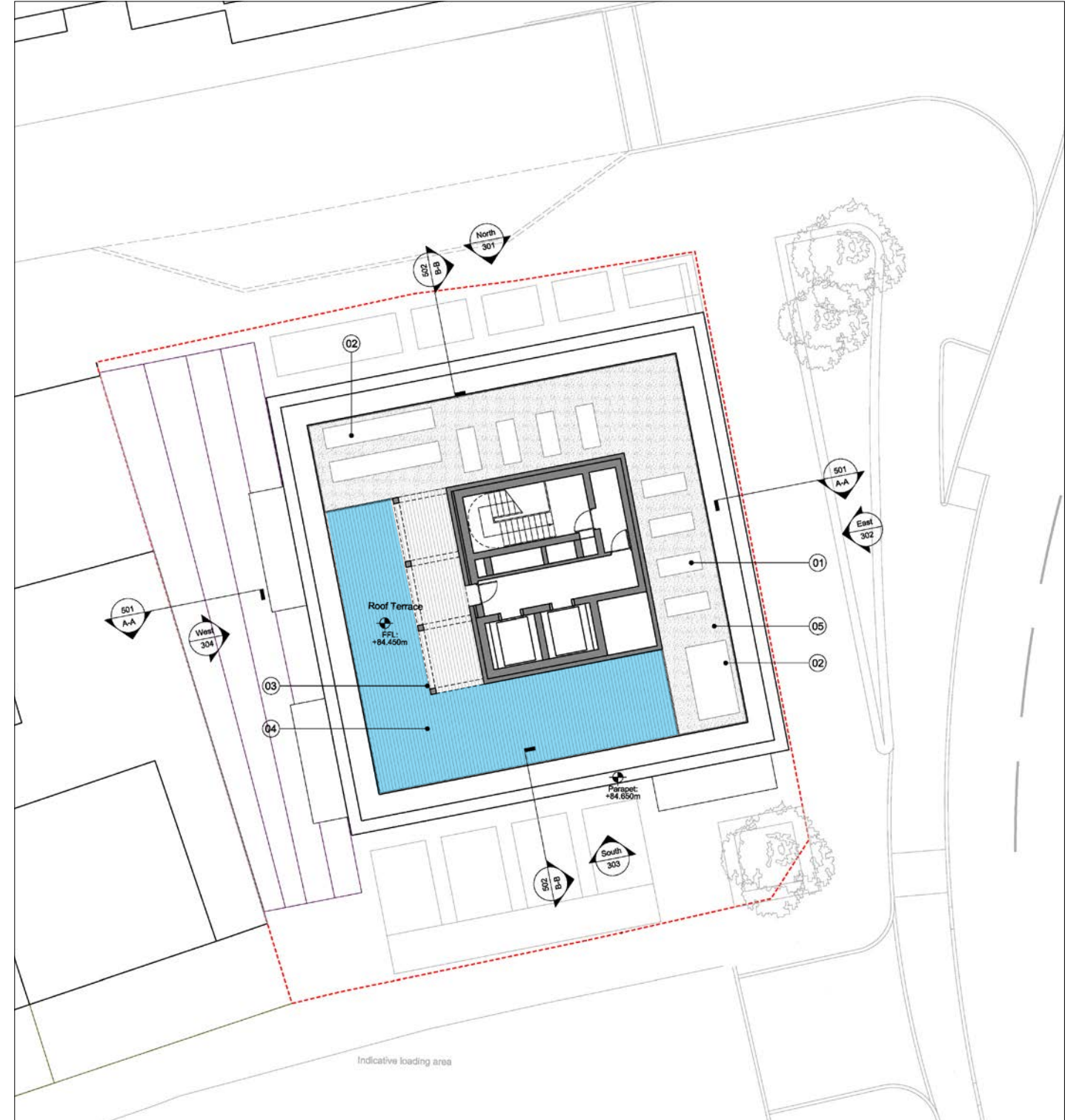
A roof terrace at the top of the building will provide external amenity for residents.

The non-accessible services area provides locations for air source heat pumps and photovoltaic panels, on an ecological roof.

Further Details can be found in Section 5.4 in the Landscape & Biodiversity chapter.



Roof Terrace Precedent Imagery



Roof Plan With Roof Terrace Highlighted



#### 4.6 Massing & Scale

The building footprint is located to the north east corner of the site marking the junction between Hoe Street and Priory Avenue.

The scale of the massing responds to the Travelodge building to the north and the emerging Juniper House scheme to the east.

The building has footprint of 20m x 20m and a height of 59.45m to top of the brick parapet, allowing the tower form to provide an elegant addition to Walthamstow's evolving urban context and skyline.

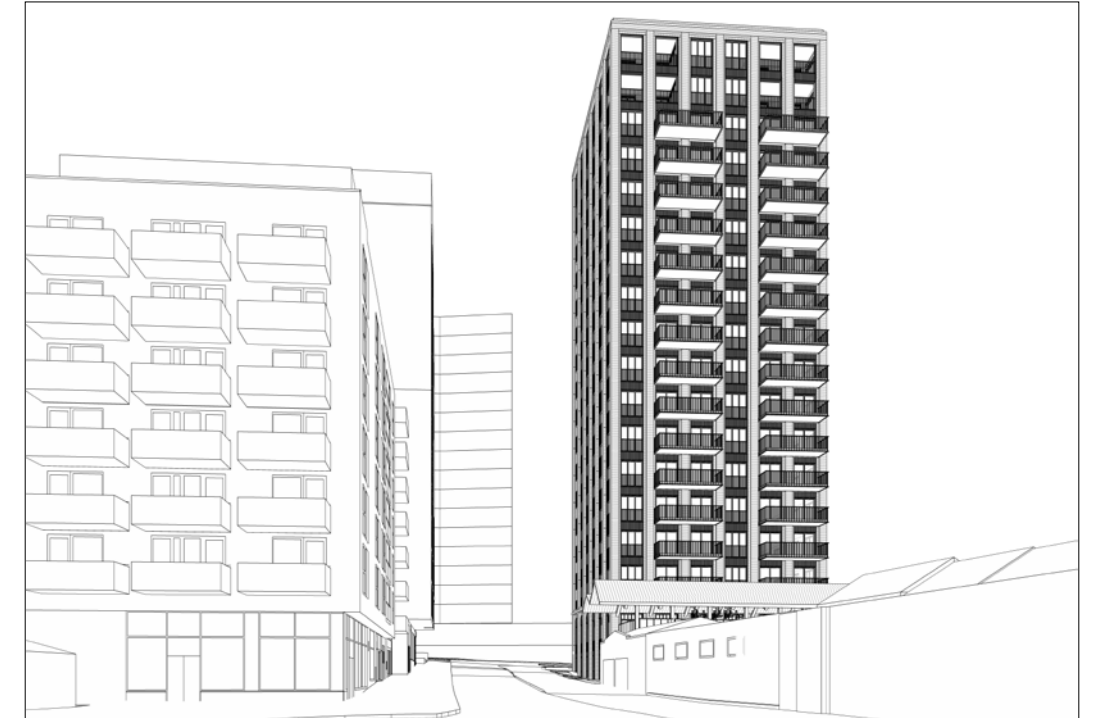
There is a clear gap between the western flank and the boundary wall – the position of the Yard. The roof to the Yard is at level 02, with a bicycle deck at level 01. This gives the building room to breathe and acknowledges the significant shift in scale to Priory Avenue.

The bottom two storeys create a podium which house the building's entrance and resident's amenities, a gym and bicycle deck. The apartments run from levels 02 to 17.

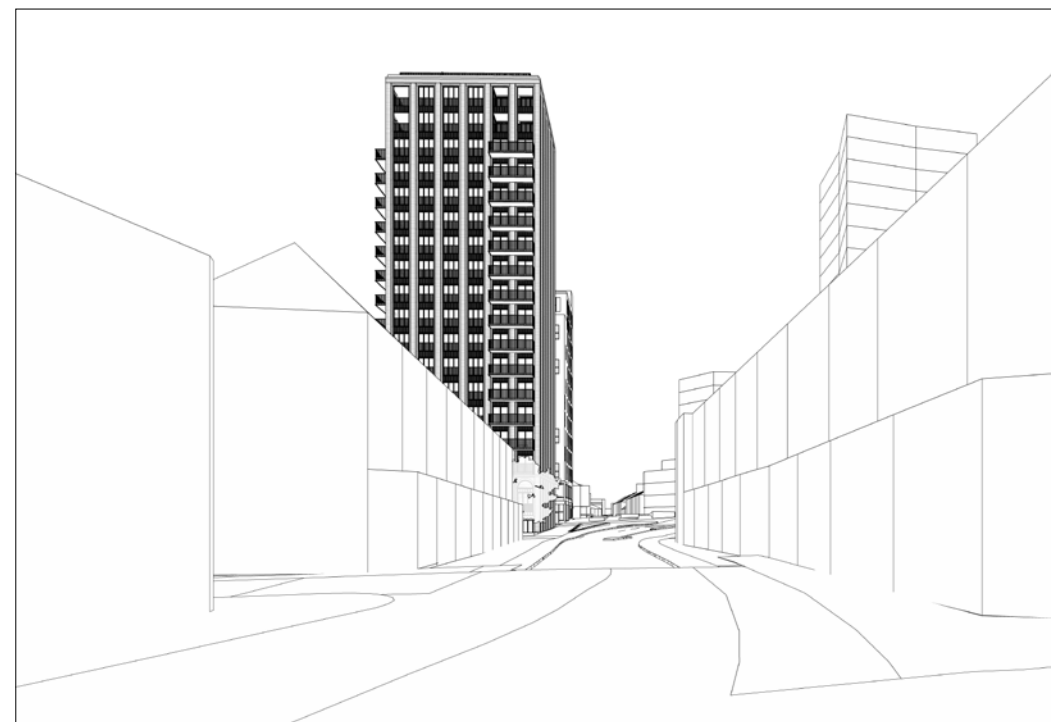
Please also refer to the Peter Stewart Consultancy Townscape and Visual Impact and Heritage Assessment, which has been submitted in support of this application.



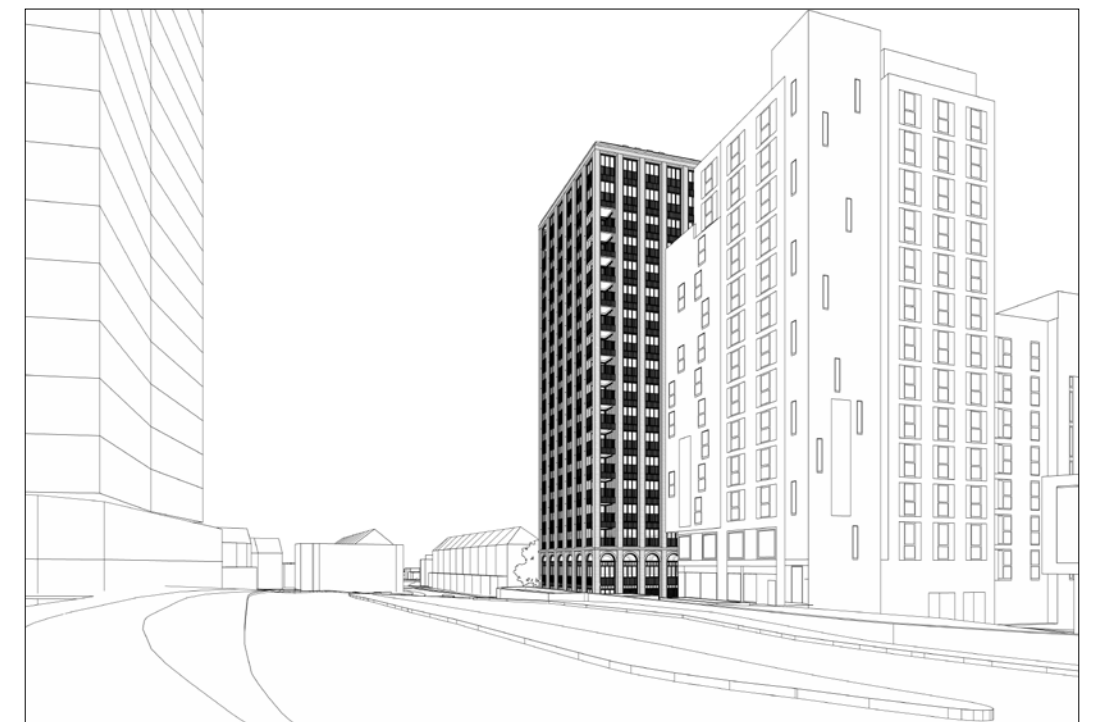
View From Priory Avenue



View From Station Approach



View Looking North From Hoe Street



View Looking South From Hoe Street



**4.7 Tenure & Accommodation**

66 new homes will be provided across a range of sizes and types. These are shown in the table opposite.

Residents will also have access to concierge and communal amenity areas at ground floor, as well as the gym and bicycle deck at first floor.

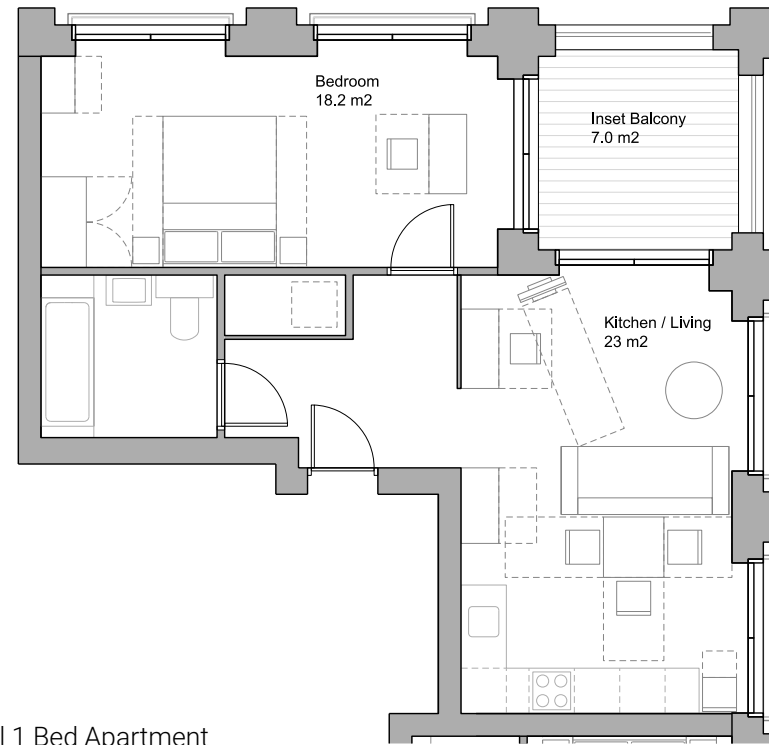
There is a communal terrace at roof level.

There will be a provision of 26% affordable housing (by units) or 21% affordable housing (by habitable rooms).

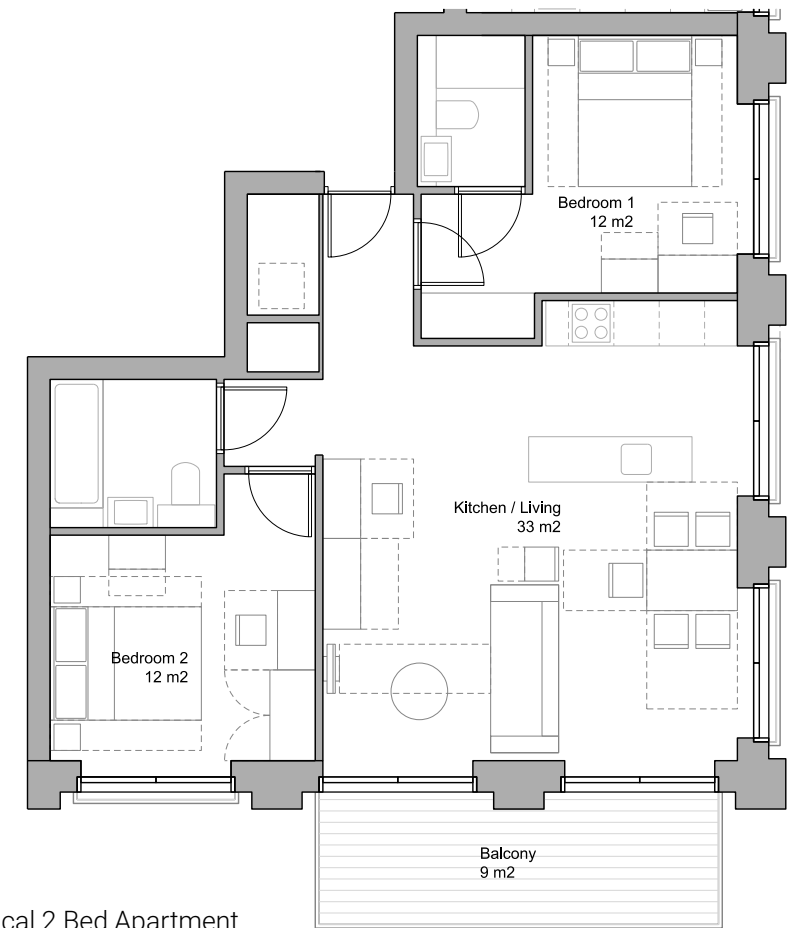
This results in the provision of 17 affordable housing units. This consists of:

- 3 x studios
- 10 x 1 bedroom apartments
- 4 x 2 bedroom apartments

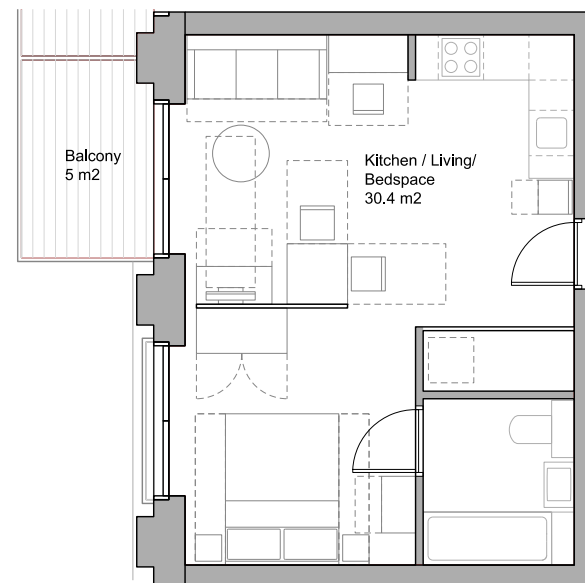
The affordable housing provision is covered by a separate Financial Viability Assessment (FVA).



Typical 1 Bed Apartment



Typical 2 Bed Apartment



Typical Suite

APARTMENT TOTALS		
TYPE	TOTAL	PERCENTAGE
1 Bed Suite	4	6.1%
1 Bed 2 Person	22	33.3%
2 Bed 4 Person	38	57.6%
3 Bed 5 Person	2	3.0%
<b>Total Units</b>	<b>66</b>	



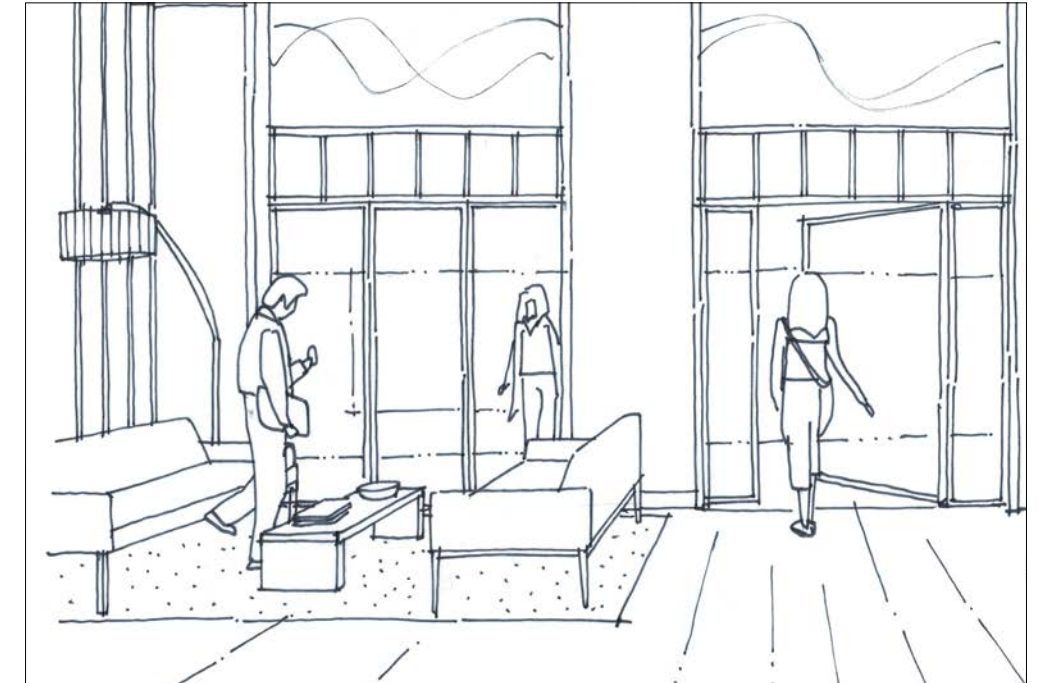
#### 4.8 Day In The Life

During design development we spent some time imagining what it would be like to live, visit and pass through the scheme. In particular we were interested in how the residents could enjoy their apartments both for work and living, as well as benefitting from the wider amenities at ground and roof levels.

The design recognises significant changes in how people are living including working from home, exercising and travelling. The logistical issues of providing sufficient storage for parcels and online deliveries is also addressed.



Work From Home



Front Door



Parcel Pick Up



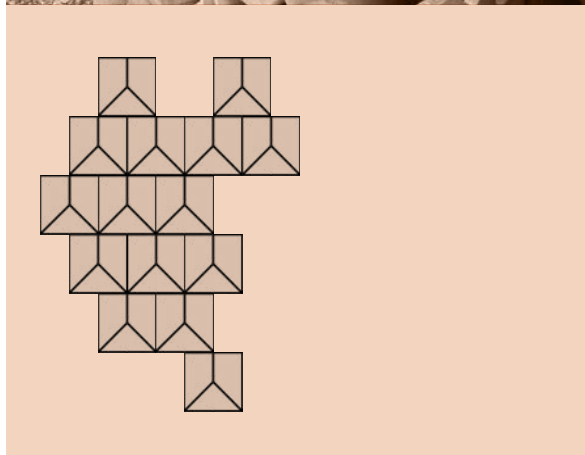
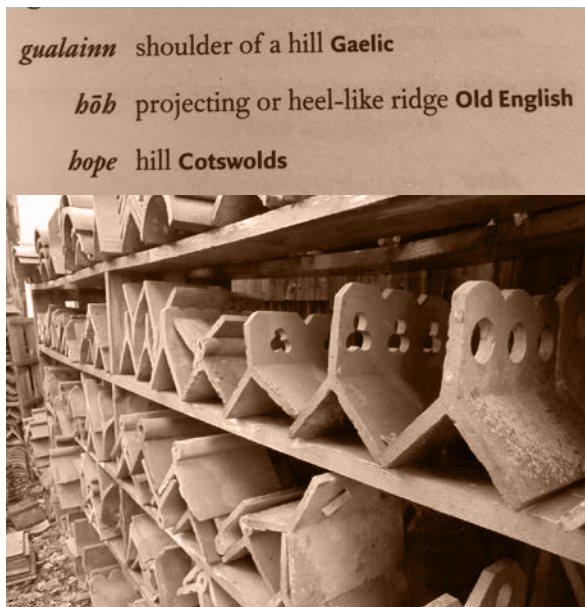
New Pocket Park



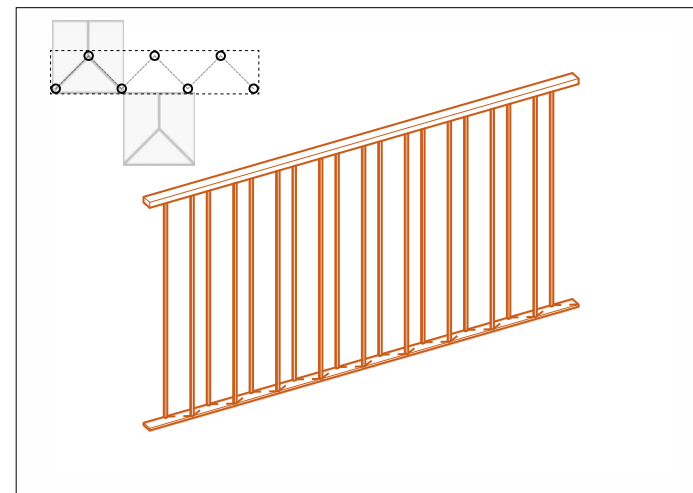
#### 4.9 Developing The Architecture

Studies were taken of the existing buildings to explore how they might inform the architecture of the new scheme.

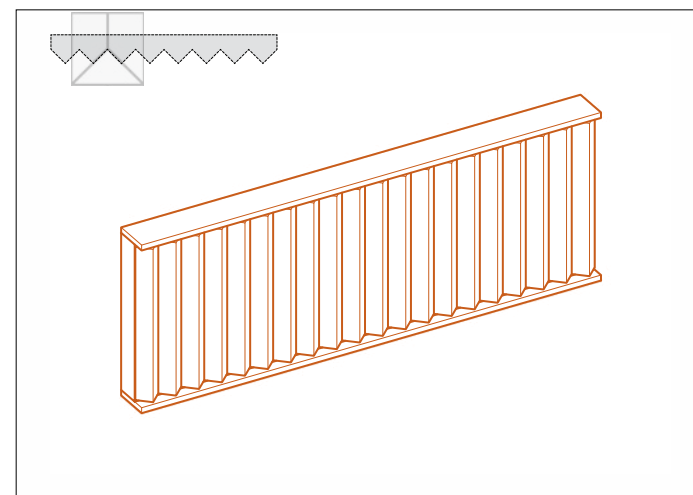
The 'ridge' motif has been used to develop the character and detail of the buildings. The 'ridge' can be found in the roof form of the Yard, the balustrade setting out, spandrel panels and solid door patterning.



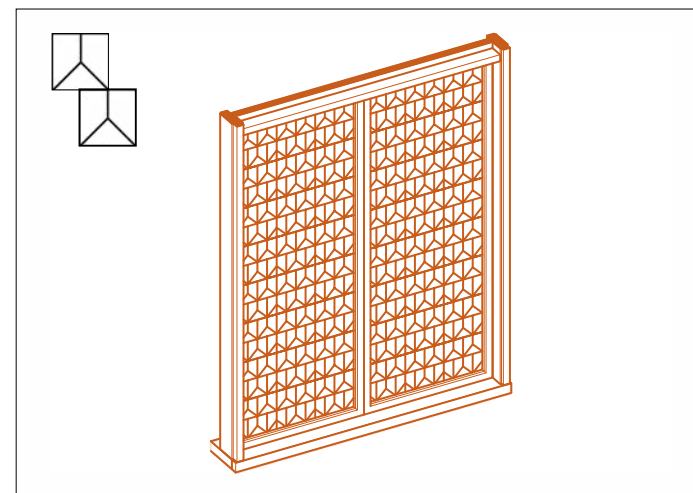
Development of Ridge Motif



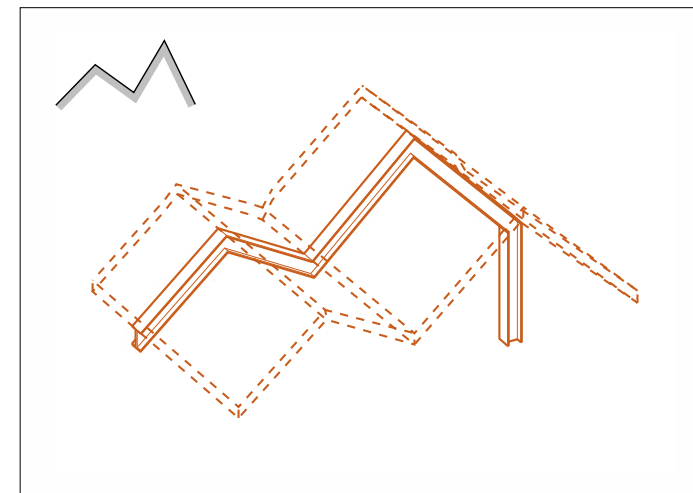
Balustrade Detail



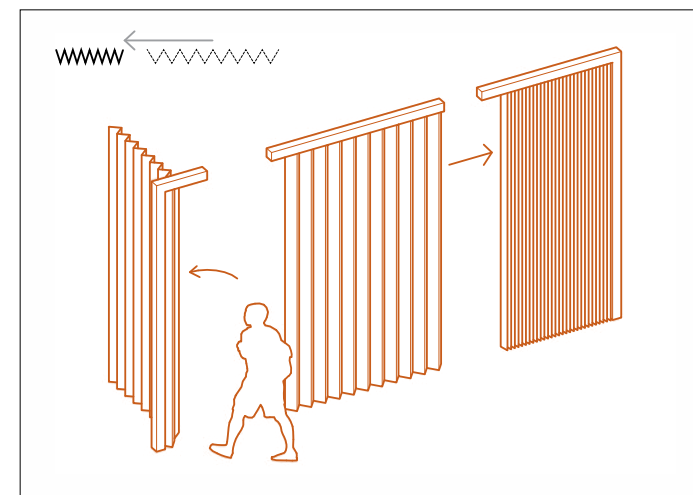
Spandrel Panels



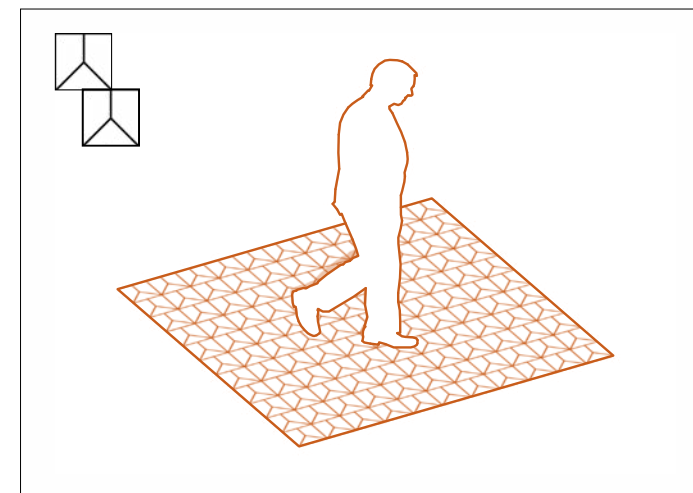
Service Doors



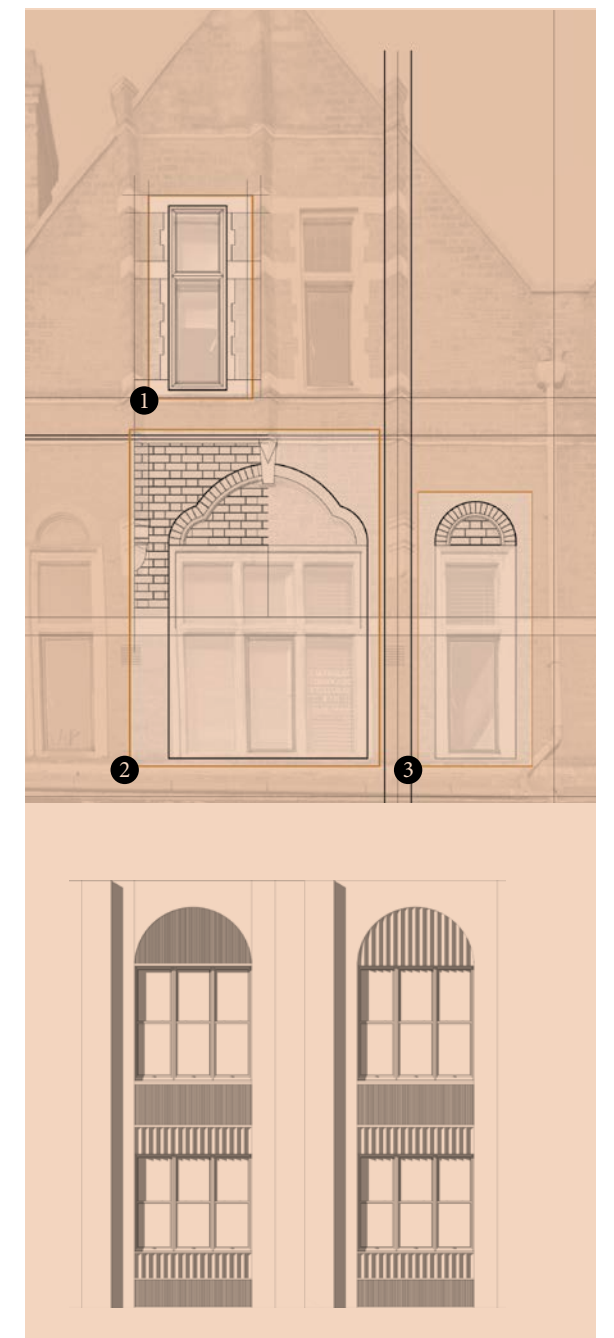
Yard Roof



Yard Gates



Floor Pattern



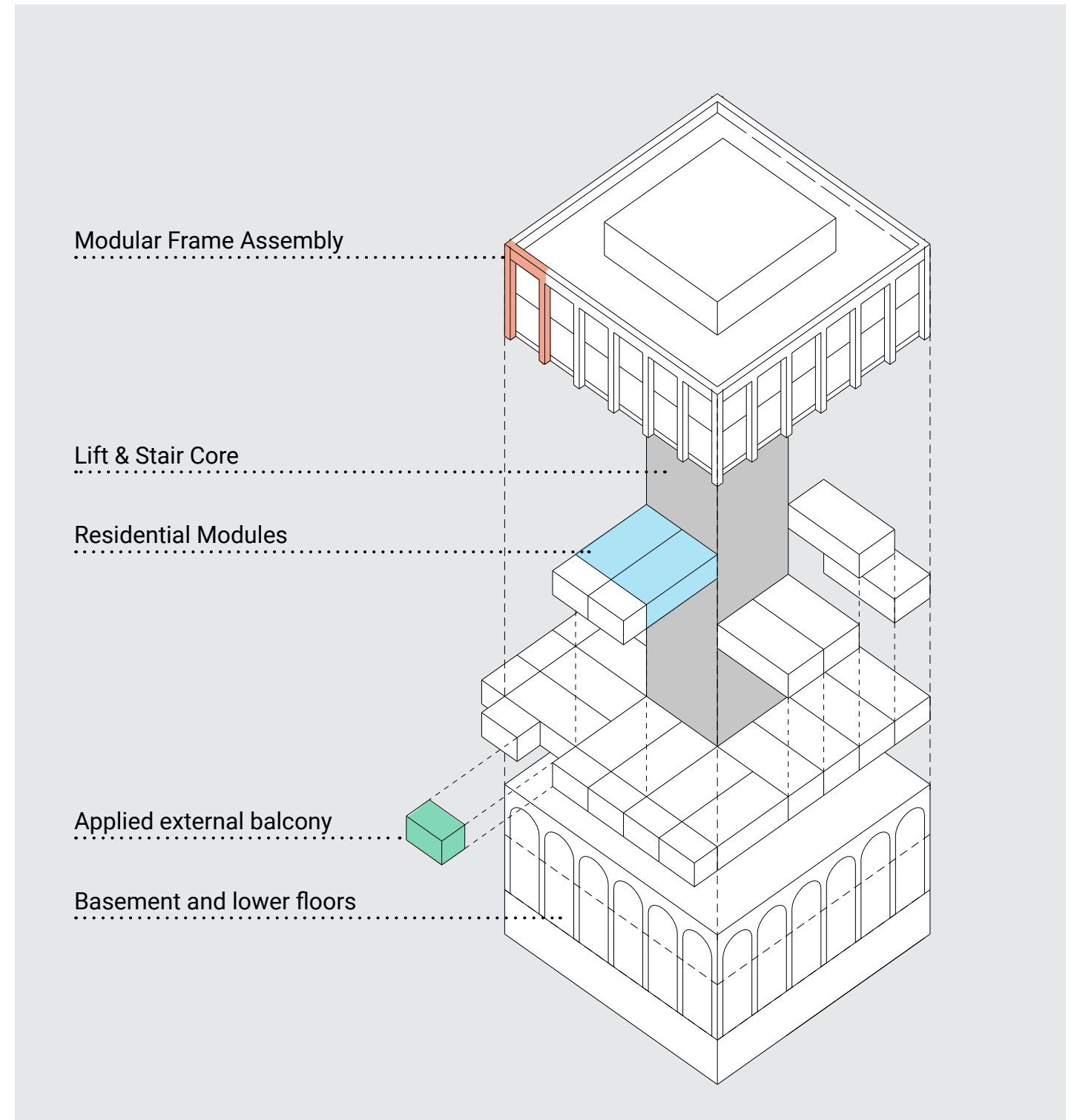
Development of Arch Form Derived From Existing Hoe Street Facade



#### 4.10 Modern Methods Of Construction

The design team are considering the possibility of off site manufacture for key elements as well as modular or volumetric systems.

These considerations will be further explored during the next phase of design development.





## 4.11 Architecture

The elevational treatment seeks to emphasise the verticality of the tower, with brick piers running from top to bottom. Between the window openings there is a spandrel panel which is finished in glazed ceramic.

There is a clear distinction between base, middle and top.

### 4.11.1 Base

A two storey podium with arched openings to the amenity floors.

To the ground floor a glazed brick is used, similar to that found on local examples of industrial building and public houses. The glazed brick 'kicker' provides a contrast with the stock brick above.

Window and door openings sit between the brick piers and are vertical in emphasis. The ground floor bays are split into thirds, except to entrance areas where they are split into halves.

Window and door reveals are a single brick in depth.



Elevation From South Looking Towards The Yard



#### 4.11.2 Middle

The brick piers that extend from top to bottom provide the order within which window openings sit.

Window and door openings sit between the brick piers and are vertical in emphasis. The window bays are split into thirds, except to balconies where they are split into halves.

Projecting balconies are located to the west and south sides are steelwork with stone tiling. The balcony to north east is inset. Juliet balconies are shown to window openings on the east and north.

The extent of projecting balconies and Juliet types will allow residents to benefit from light and air as well as great views across Walthamstow.



Typical Middle Bay Showing Projecting & Juliet Balcony Types



#### 4.11.3 Top

The brick piers run through to the top of the building. The top two floors feature inset, rather than projecting, balconies. In this way the 'crown' of the building is clearly articulated.

The lift overrun and plant enclosure to roof is inset, as is the perimeter handrail so as not to impinge on townscape views.



Top Floors Showing Inset And Juliet Balconies



#### 4.11.4 Yard

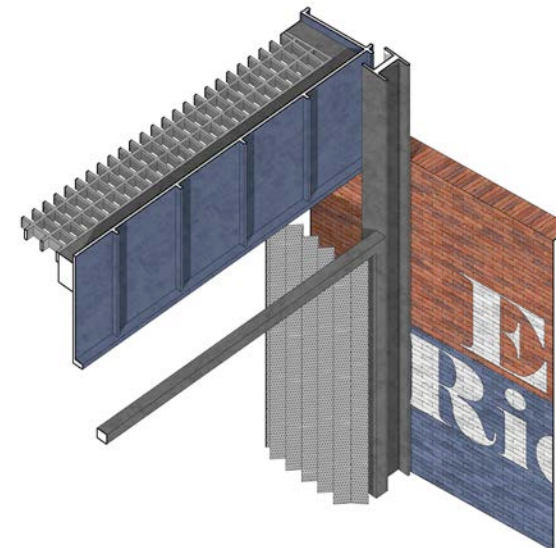
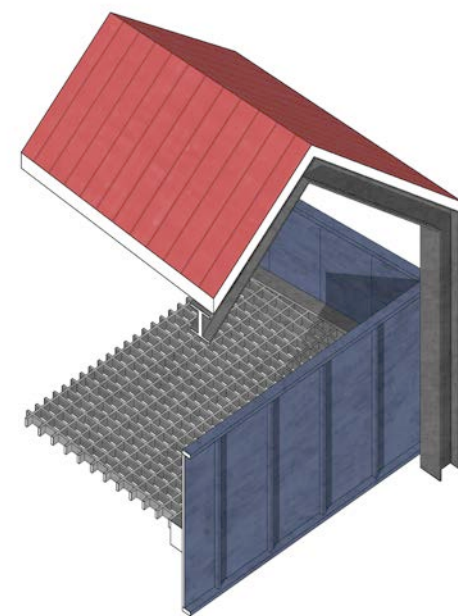
The Yard is formed from a simple steel structure in contrast to the masonry language of the main tower.

The steel structure supports a corrugated 'tin' roof which provides rain cover to the bicycle deck. The bicycle deck is seen as similar to a railway bridge in appearance with a horizontal emphasis. We see the Yard as an opportunity to add colour – 'meet you at the red Ridge'.

The scheme has been provisionally called East Ridge, picking up on the Anglo Saxon for ridge being Hoe. The 'ridge' shape has informed the shape of the spandrel panels and is picked up on the treatment of the service doors and the main gates to the Yard.



Section Through The Yard With Bicycle Deck To First Floor



Detailed Studies Of Key Elements Of The Yard



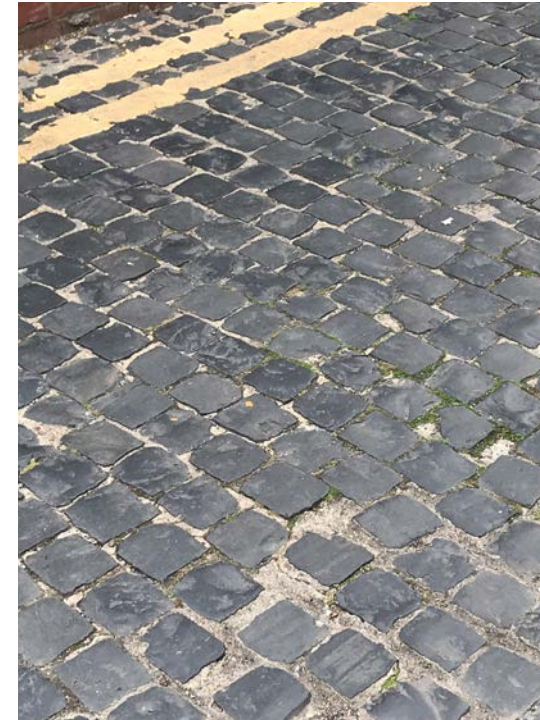
## 5.0 LANDSCAPE & BIODIVERSITY

### 5.1 Context

#### 5.1.1 Historical Grain

Hoe Street's existence was first noted in 1697 and its name comes from the Old English hōh, a ridge. Hoe Street station opened in 1872 at a time when the neighbourhood was still mainly dairy pasture. It is said that trains would wait at the station for would-be passengers who could be seen running across the fields. The introduction of cheap workers' fares helped ensure speedy development of the surrounding area in the late 1870s and early 1880s.

The street grain has evolved over the last 150 years but the distinctive routes between survive and reinvent themselves with every generation. a contextual realm to be signify and remake.



Historic Coe Map



Cobble Path 2020

A Place Between | back street connectors familiar with the terrace form



Hoe Street | early C20<sup>th</sup>

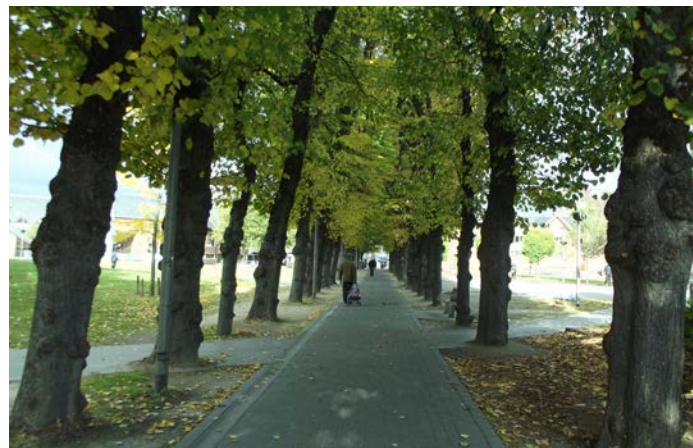


### 5.1.2 Local Amenity Spaces

There are a number and broad variety of public amenity spaces located within walking distance (approximately 1 km) to the site, the closest being the 'First Avenue Pocket Park' which is currently under refurbishment as part of wider improvements including the Waltham Forest exemplar Mini-Holland Scheme addressing quality of streetscape and pedestrian movement.



01. First Avenue Pocket Park



02. Walthamstow Town Square Gardens



- 01. First Avenue Pocket Park
- 02. Walthamstow Town Square Gardens
- 03. Vestry Road Playground
- 04. Wingfield park
- 05. Knotts Green

- 06. Thomas Gamuel Park
- 07. Markhouse Common Allotments
- 08. Honeybone Allotments
- 09. South Grove Pocket Park

- 10. Lloyd Park
- 11. Chestnuts Farm Allotments
- 12. Chestnuts Field

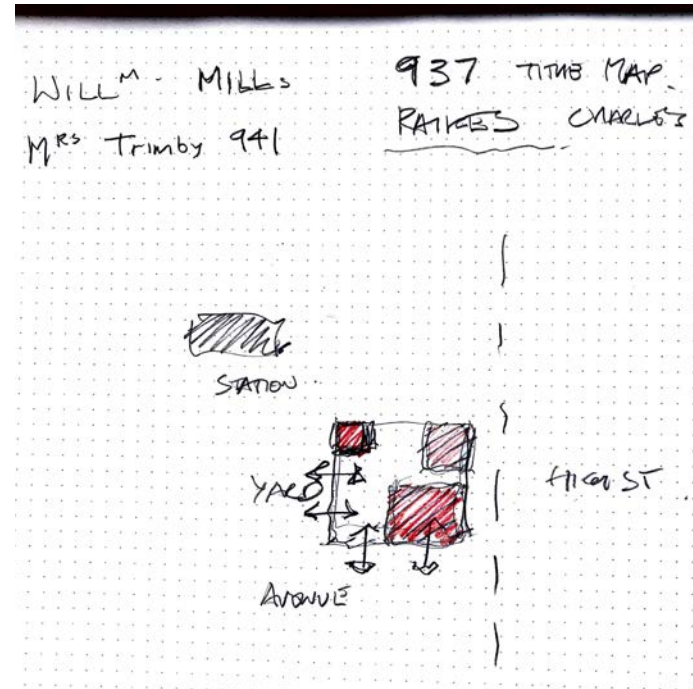


## 5.2 Concept Development

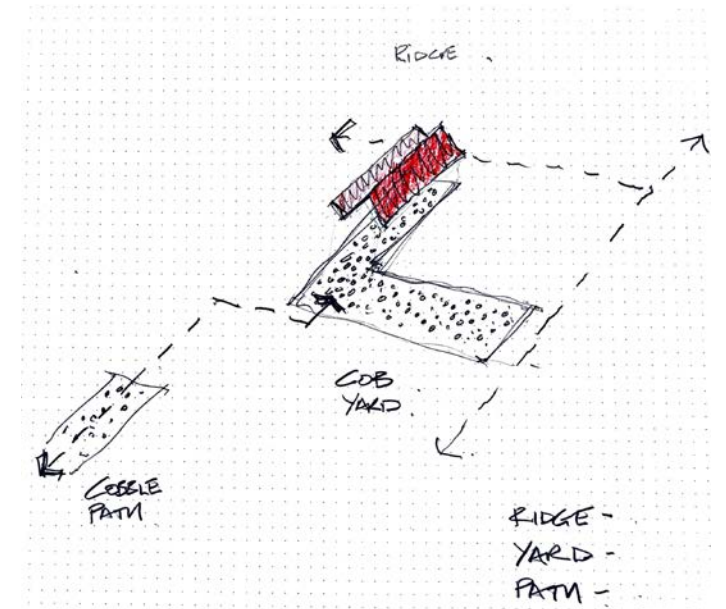
The placemaking narrative has evolved from two local names - Hoe Street meaning heel like ridge and the Cobble Path, an historic local alleyway found to the south forming a continuation of the historic urban grain.

At eye-level - The creation of a distinct pitched roof form with bold colour sets an identifiable place seen from the high street and station.

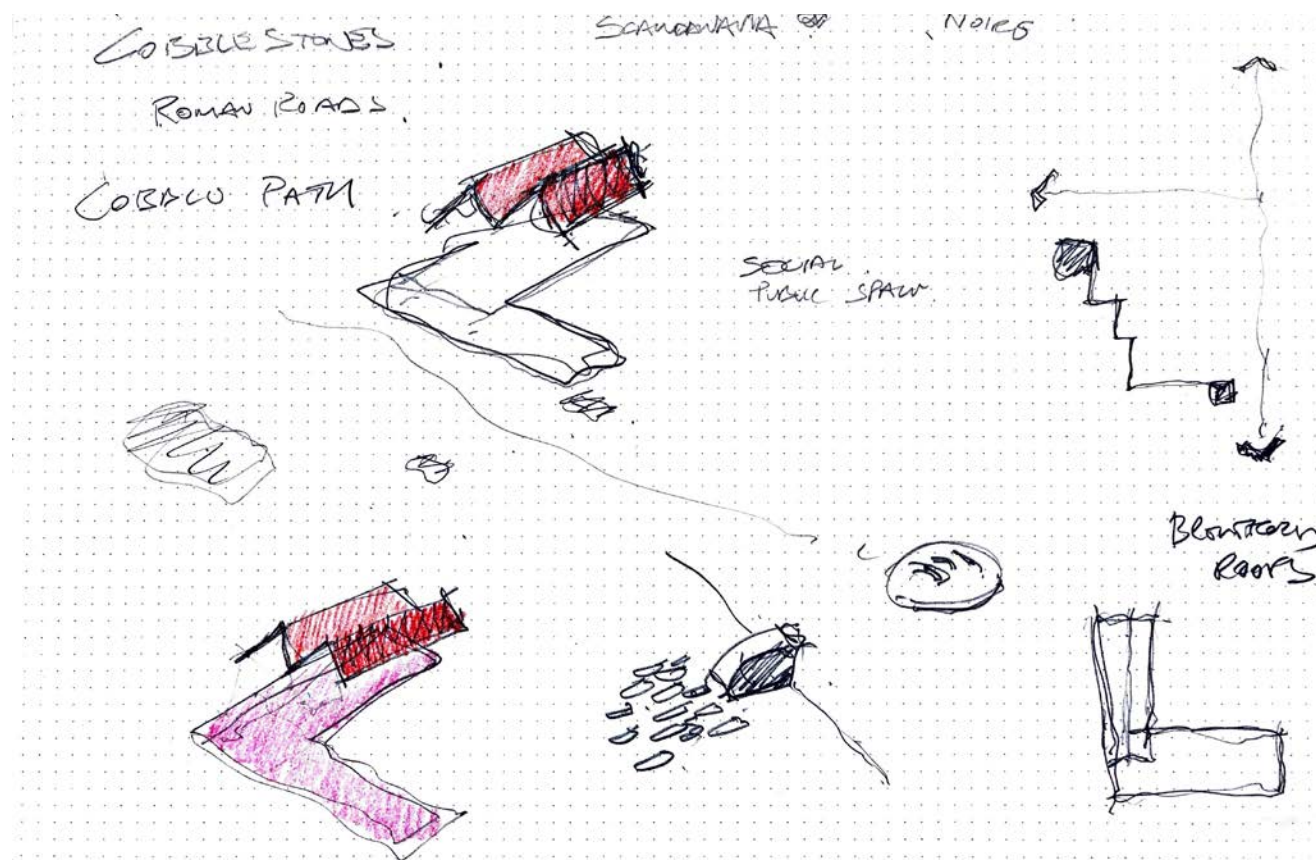
Underfoot - Cobblestones, the building material made of small, natural stones with edges smoothed by water. In England, the term cobblestone first appeared in the 15th Century when towns wanted to make trade routes and traveling from town to town more reliable and sturdier than the old dirt roads.



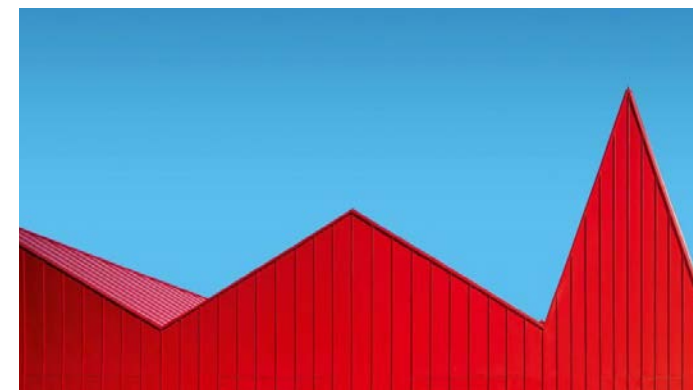
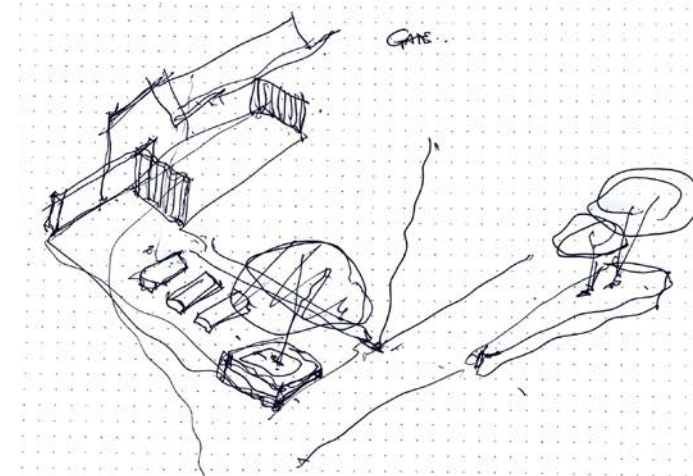
Traditional Cobblestones



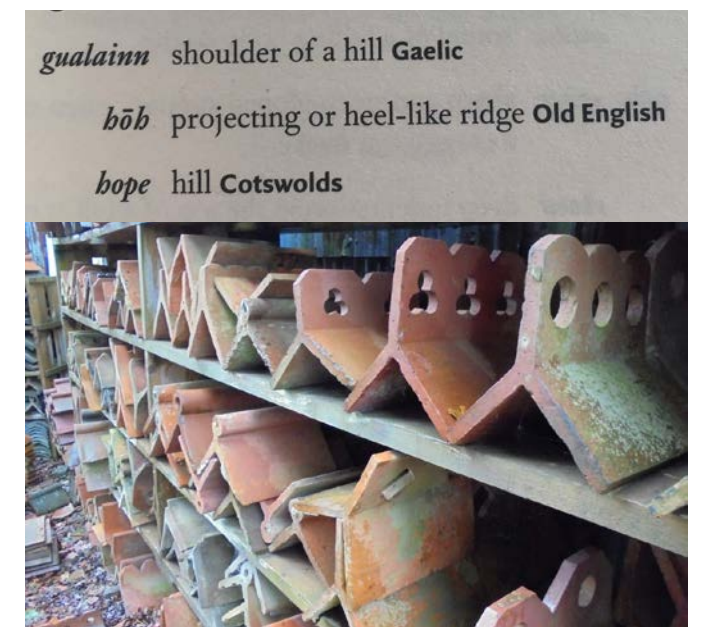
KEY TYPOLOGIES  
 station APPROACH  
 Hoe STREET  
 Priory AVENUE  
 cobble PATH  
 cob YARD  
 roof RIDGE



Sketch Ideas - The Cobble Yard + Ridge



A Distinct Ridge Form + Colour



Traditional Architectural Ridge Tiles

*gualainn* shoulder of a hill Gaelic  
*bōb* projecting or heel-like ridge Old English  
*hope* hill Cotswolds



### 5.3 Ground Floor Amenity

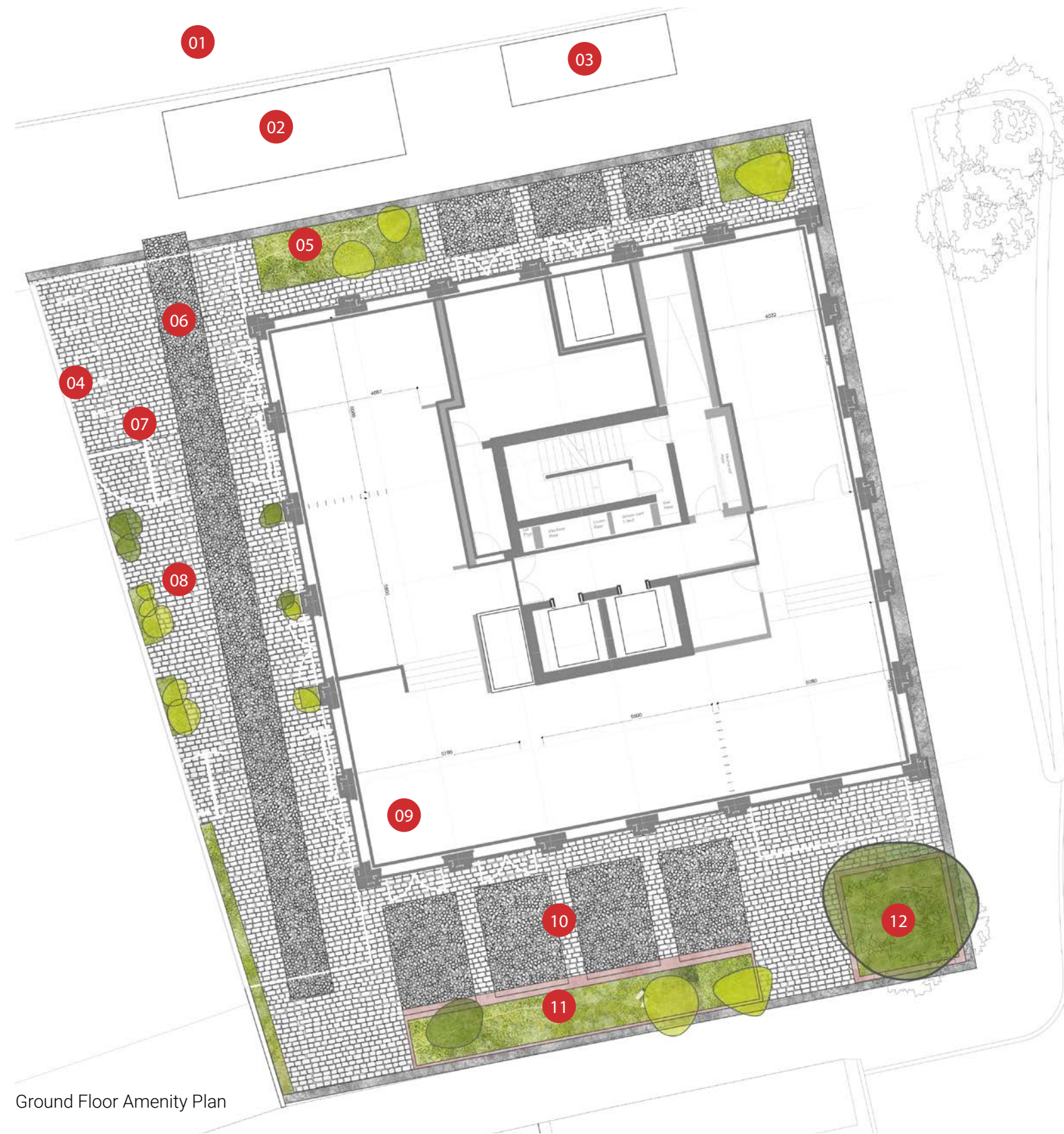
The placemaking narrative has evolved from two local names - Hoe Street meaning heel like ridge and the Cobble Path, an historic local alleyway found to the south forming a continuation of the historic urban grain.

At eye-level - The creation of a distinct pitched roof form with bold colour sets an identifiable place seen from the high street and station.

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The Yard Look And Feel



Ground Floor Amenity Plan

- 01. Station Approach
- 02. Loading Bay
- 03. Drop Off Parking
- 04. Visitor Bicycle Parking
- 05. Northern Planting
- 06. Cobble Paving
- 07. Permeable Stone Paving
- 08. Yard - Resident + Public Amenity
- 09. Brompton Cafe
- 10. South Terrace - Amenity Space
- 11. Southern Planting With Long Bench
- 12. Large Holm Oak Tree



Planted Southern Wall + Eclectic Pots



Amenity Opportunity Within The Yard





Illustrative Section View Of South Terrace And Yard  
Amenity Areas



### 5.4 Roof Top Amenity

The Roof Top garden provides a tranquil setting detached from the noise and intensity of the city street scene. The feeling of being above the city is liberating, views are open all round and the sky is more visible.

The overarching design picks up on the materiality and design language of the cobble path below with a green twist. A lookout bench is located on the southern wall to give a great sunny position with expansive views with sides and top to aid micro climate. Swing seats set within the pergola structure add a playful nature. Species have been chosen to contribute to the elevated atmosphere, rustling grasses and lush green textures, pockets of larger shrubby species in the planting design add height and interest.

*Viburnum opulus* and *Corylus avellana* offer height and shelter as well as create a display of rustling leaves swaying in the breeze.



Ecological Extensive Roof



Roof Plan

- 01. Ecological Extensive Roof
- 02. Green Cobbles With Small Multistem Shrubs
- 03. Swing Seats In Pergola Frame
- 04. Wall Bench With Roof And Sides To Protect From Wind
- 05. Decking



Swing Seats In Pergola Frame





Illustrative Section View Of Amenity Roof Terrace



### 5.5 Hard Landscape: Surfaces + Furniture

A high quality material palette for the site is established through the use of a natural stone paving that floats around the building connecting all interfaces and integrating with the newly established Hoe St paving. Key movement and arrival moments are distinguished by a darker cobble-like form but with a clean top to allow inclusive movement.

This subtle approach to paving detailing provides a high quality canvas that is simple and restrained allowing colour accents from the integrated planting palette.

Timber furniture is a heat-treated FSC wood creating durability without using exotic hardwoods.

As important as the materials themselves is the quality of workmanship in constructing the landscape, this is important for longevity of the site as public realm.

Over the majority of the site gradients will be less than 1:21, where steeper gradients are required, these will be compliant to relevant and prevalent standards (at the time of writing this is BS8300:2009). Surfaces will be designed in accordance with prevailing standards, where technical design constraints, aesthetic aspirations and access/inclusive design issues are in conflict, consultation will take place to establish an acceptable solution.



Contrasting Tones

Permeable Gravel Jointing



Heat Treated Fsc Timber Benches



Concrete + Steel Planters



## 5.6 Soft Landscape: Planting

The planting strategy has been designed to suit the function, use and microclimate of the space as well as enhance biodiversity and be wild life friendly. The planting is a designed version of dry grassland or meadow, using perennials and grasses to form a drought tolerant mix. Small shrubs or woody plants scattered give an extra dimension to the plantings, adds autumn leaf colour and additional flowering, and also increases the wildlife value bringing a human scale.

### Trees

*Quercus ilex*

### Small Shrubs

*Amelanchier lamarkii*

*Cornus kousa*

*Corylus avellana*

*Sambucus nigra* 'Gerda'

*Philadelphus* 'Belle Etoile'

*Viburnum opulus*

### Groundlayer

*Achillea* 'Terracotta'

*Allium* sp.

*Anemone* x hybrida 'Honorine Jobert'

*Echinops* 'Veitch's Blue'

*Euphorbia characias*

*Euphorbia polychroma*

*Helicotrichon sempervirens*

*Knautia macedonica*

*Kniphofia* 'Tawney King',

*Lychnis coronaria* 'Alba',

*Lychnis chalcedonica*

*Melica ciliata*

*Primula veris*

*Salvia nemorosa* 'Caradonna'

*Scabiosa columbaria*

*Sesleria nitida*

*Verbena bonariensis*

### Climbers

*Clematis vitalba*

*Lonicera periclymenum*



Holm oak - *Quercus ilex*



*Lonicera periclymenum* + *Clematis vitalba* Native climbers to the western edge



Illustrative section view through south terrace with signature Holm oak anchoring the corner of the street



### 5.7 Urban Greening Factor Calculations

The UGF has been calculated based on a range of factors set out below. There is no existing greenery to retain on site. The areas listed in the table cover the ground floor and roof top amenity terrace and the extensive ecological roof.

The ground floor and amenity terrace provides a range of intensive and extensive planting typologies as well as small multistem trees along with the signature Holm Oak. The yard will also provide moveable planters along with a green wall created by traditional native climbers. The majority of hard paving will be permeable with blue roofs proposed under the planting beds, ecological green roof and decking on the amenity terrace.

Site Area (Red Line)	753m <sup>2</sup>		
Green Roof (Lower)	104m <sup>2</sup>	0.7	Extensive Green Roof
Roof Amenity (Green)	50.75m <sup>2</sup>	0.8	Intensive Green Roof
Roof Amenity Permeable	50.75m <sup>2</sup>	0.1	Permeable Paving
Roof Permeable Surround	74.5m <sup>2</sup>	0.1	Permeable Paving
Tree Pit	15m <sup>2</sup>	0.6	Soil Volume Under 25m <sup>3</sup>
GF Green	38.3m <sup>2</sup>	0.7	Rain Gardens
Green Wall (9.65m x L x 3m H)	28.95m <sup>2</sup>	0.6	Modular or Rooted In Soil
Permeable Paving	222.5m <sup>2</sup>	0.1	
Sealed Paving	95.5m <sup>2</sup>	0.0	
$(0.7 \times 104) + (0.8 \times 50.75) + (0.1 \times 50.75) + (0.1 \times 74.5) + (0.6 \times 15) + (0.7 \times 38.3) + (0.6 \times 28.95) + (0.1 \times 222.5) + (0.0 \times 92.5)$			
$= 72.8 + 40.6 + 5.07 + 7.45 + 9 + 26.81 + 17.37 + 22.5 + 0$			
$= 201.6$ Divide by 753			
$= 0.26$ UGF			





## 6.0 ACCESS & SERVICING

### 6.1 Resident's Access

The resident's entrance is located on the north west corner of the building.

During the daytime access will be at grade through the main entrance doors, opposite the concierge, before taking either the stairs or lifts to the upper floors.

During the night time gates of the Yard will be closed. Residents will have fob access to allow them to enter the Yard before reaching the main entrance doors. The Yard will be managed and overlooked by the concierge.

From either stair or lift on each level it is a short walk to individual entrance doors. There are a maximum of five entrance doors at each level.

All apartments have access to the roof terrace and to the amenities at ground and first floor. The lower level to south of the ground floor has both stair and lift access.



Ground Floor Plan Showing Access Through Yard Entrance Towards Lifts



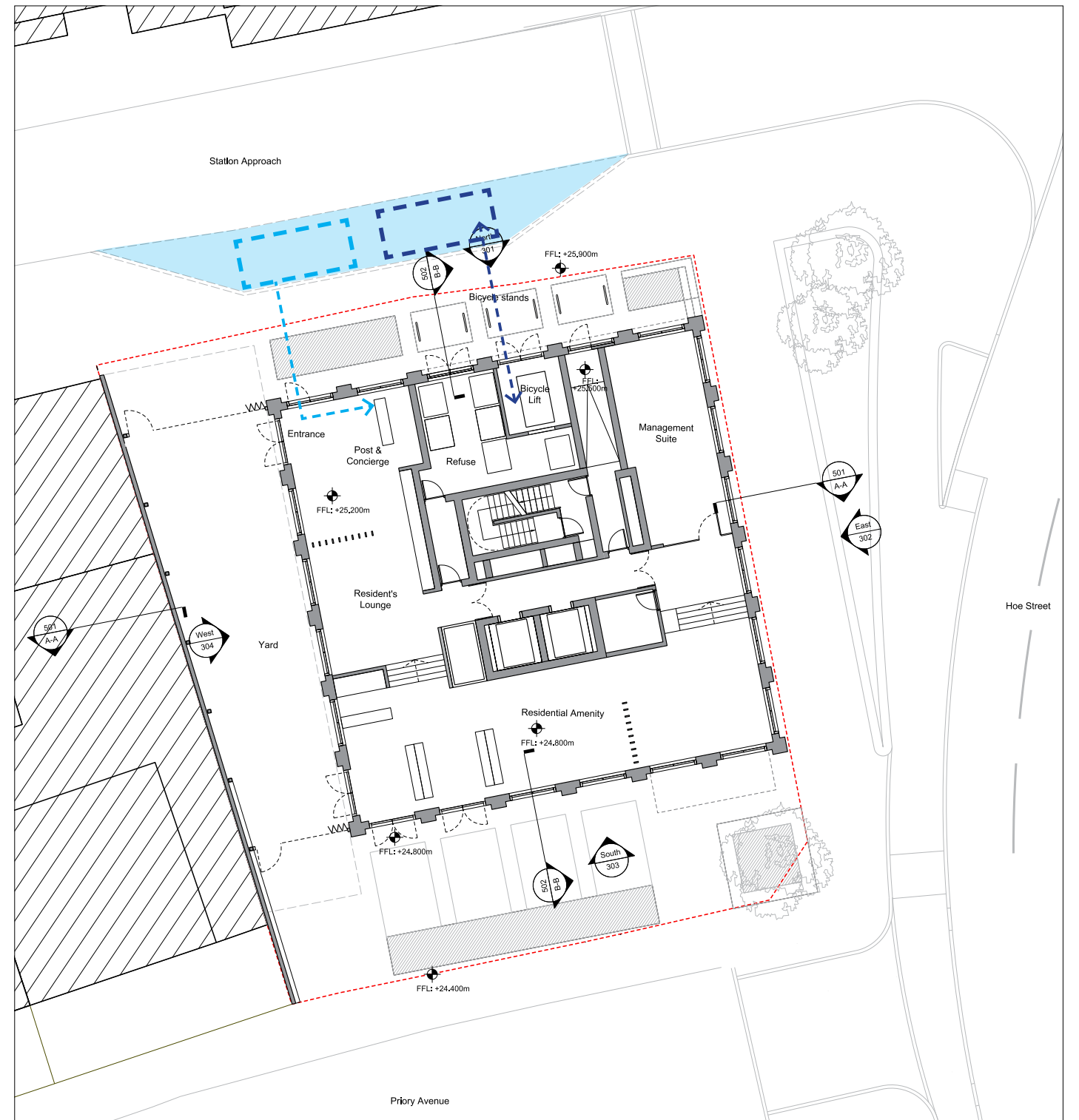
## 6.2 Delivery Vehicle Access

Servicing of the property is proposed from a new layby along Station Approach immediately opposite the site. The new layby will be designed flush with the footway to allow pedestrians to use this space when the layby is not in use.

The Delivery and Servicing Plan provided by Pulsar as part of this application sets out the operation of the proposed development and includes a strategy for managing servicing and delivery vehicle movements and measures to minimise delivery and service vehicle impacts.

The concierge will hold all post and parcels so that access to the residential upper floors is restricted to occupiers and their visitors.

It is intended that for large scale deliveries and moving in/moving out days, the cycle lift to the north is used to take objects to a 'holding' area on the first floor. In this way the main entrance remains unobstructed.



Ground Floor Plan Showing Servicing Access For Deliveries to Concierge & First Floor Holding Area



### 6.3 Emergency Vehicle Access

Access for emergency vehicles will be from Station Approach. There is a dedicated emergency door to the north west which will allow unimpeded access in the event of a fire or medical event.

Please refer to the Delivery and Servicing Plan provided by Pulsar as part of this application



Ground Floor Plan Showing Emergency Door



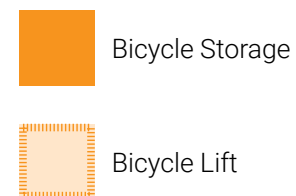
### 6.4 Cycle Parking and Access

Cycle use is encouraged with generous provision of parking which is safe and easily accessible. This in line with the sustainable transport programme in Waltham Forest and the standards set within the London Plan.

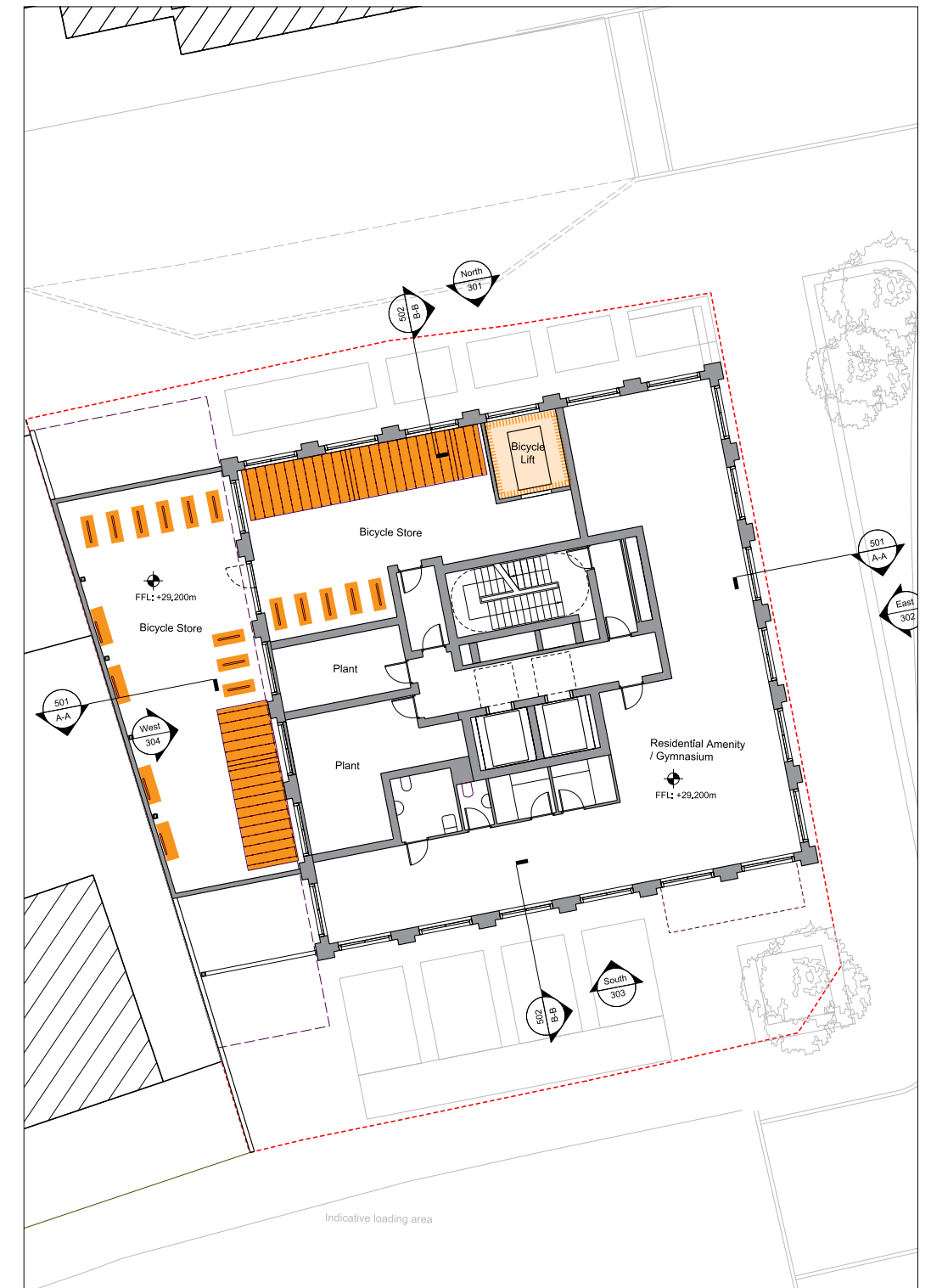
At ground floor Sheffield type stands are provided to the north within easy access of the main entrance and are for occasional or visitor use.

We have also been in dialogue with Brompton Hire who provide publicly accessible lockers to allow residents to rent Brompton bikes with the advantage of not having to own or maintain a bicycle. In addition the client is in discussion with Brompton in respect of providing dedicated fold up bicycles for residents.

The main cycle storage provision is at first floor level with a dedicated platform lift from the ground floor. The storage provides both racked and Sheffield stand type provision as well as space for large or cargo type bicycles.



Ground Floor Plan



First Floor Plan



### 6.5 Waste Management Strategy

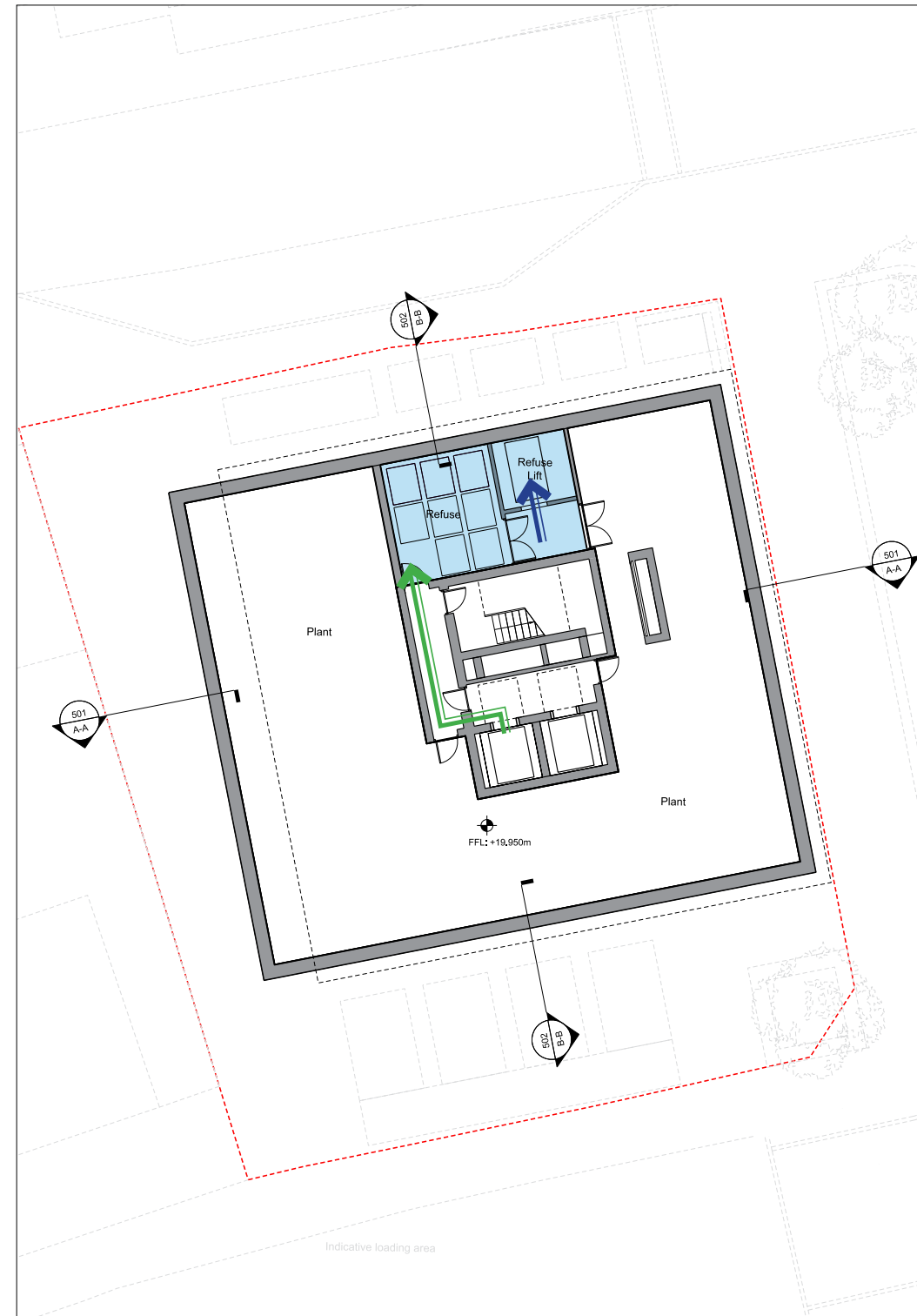
The waste management strategy has been developed following Local Authority guidance to ensure that it is convenient and workable on a day to day basis. The provision is based on the guidance set out in London Borough of Waltham Forest's 'Waste & Recycling Guidance for Developers', dated June 2019.

Based on the communal waste guidance in Section 5.1.1. the bin stores have been sized to accommodate in total;

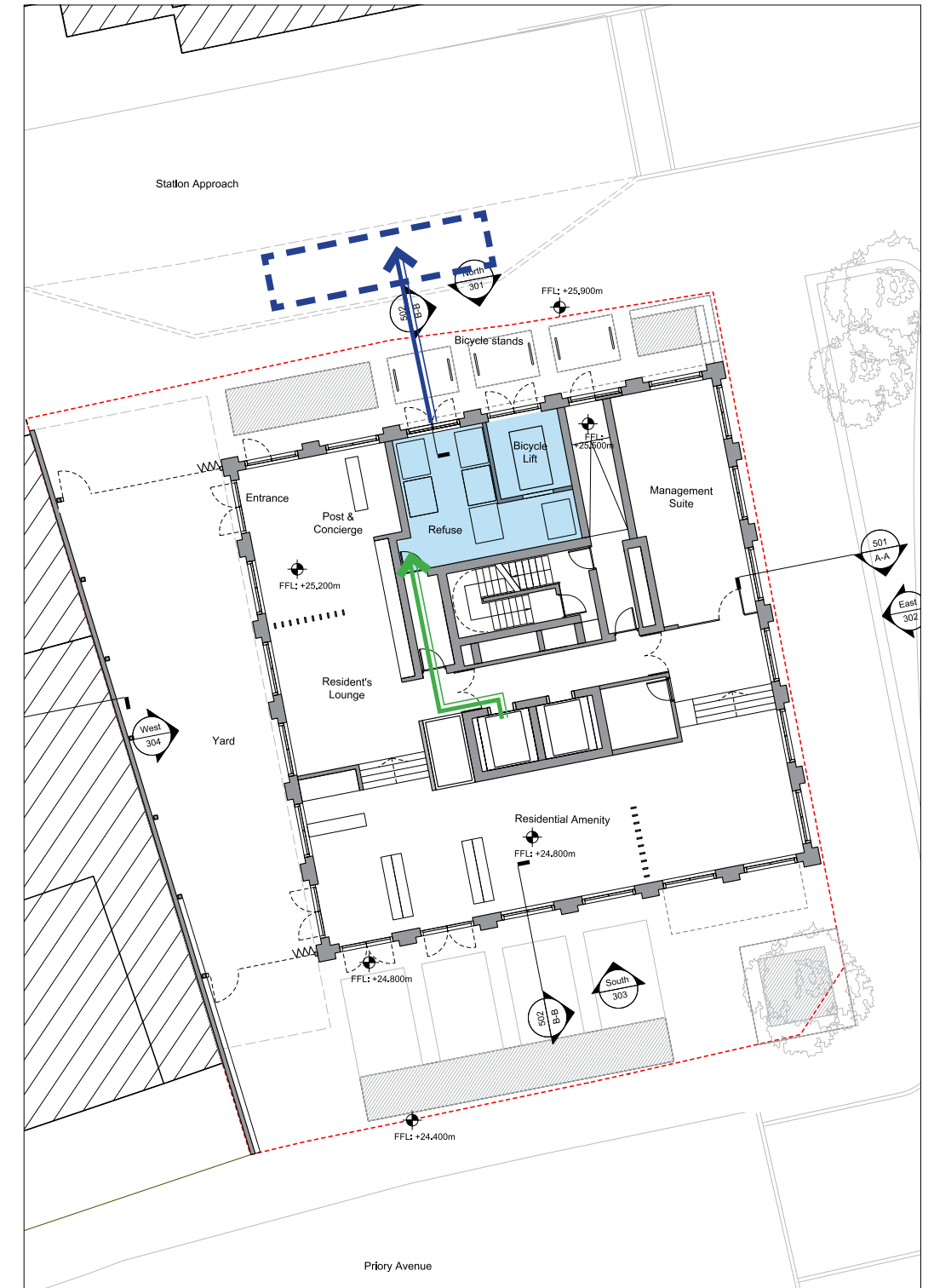
- 12no 1240litre bins with additional space for residential food waste for the 66no dwellings (26no 1Bed/Studio and 40no 2Bed+)
- An area for bulk waste storage
- 1no 1240litre bin for management / amenity use.

The ground floor refuse store is adjacent to the main core and accessible to all residents. The platform lift adjacent allows for rotation of the bins by building management to the basement level store. Residents deposit rubbish to the ground floor store adjacent to the lift and stairs. The external bin doors are only openable by management.

On bin day the containers are brought to ground and left adjacent to the loading bay for collection, before being returned to the refuse store.



Basement Plan



Ground Floor Plan



## 6.6 Inclusive Access

The scheme has been designed to be inclusive, with access at grade.

All housing is designed to Building Regulations Approved Document M4 Category 2 Standards and will include:

- Level thresholds and covered access weather protection to the main entrance
- Illuminated entrances
- Appropriate effective clear widths to doors and side nibs
- Easy rise communal stairs with closed risers and contrasted step edge nosing
- Accessible communal lifts with clear landings for turning
- Appropriate internal door and corridor widths to allow turning
- Good circulation space clear of furniture within rooms, including WC's and bathrooms
- Appropriate kitchen layouts
- Bathroom/WC capable of adaptation from bath to level access shower with floor drain to appropriate units
- Walls to bathrooms and WC's suitable for firm fixing of grab rails and adaptations
- Ceiling structure to main bedroom and bathroom capable of supporting ceiling hoist, Living room window cill glazing with handles or controls not higher than 1200mm above floor level
- Switches, sockets and service controls at accessible height



Ground Floor Plan Showing Lower Level Accessed By Lift Or Stair



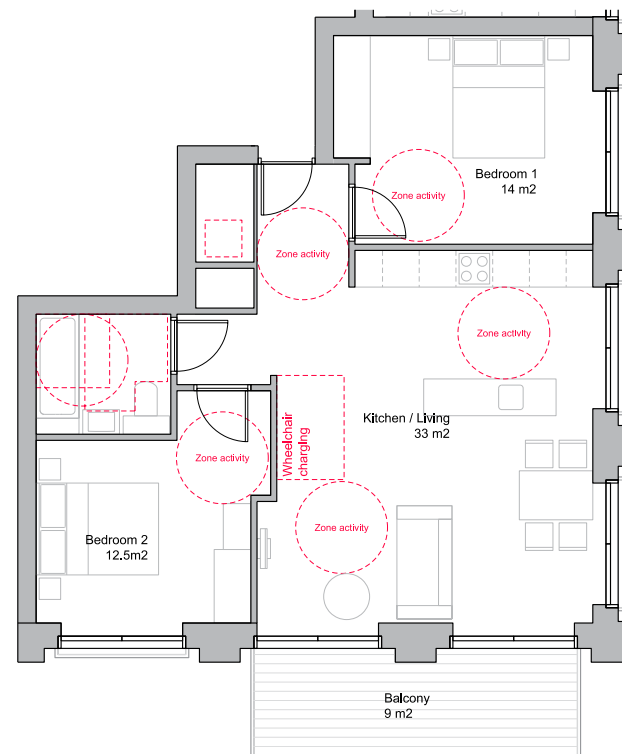
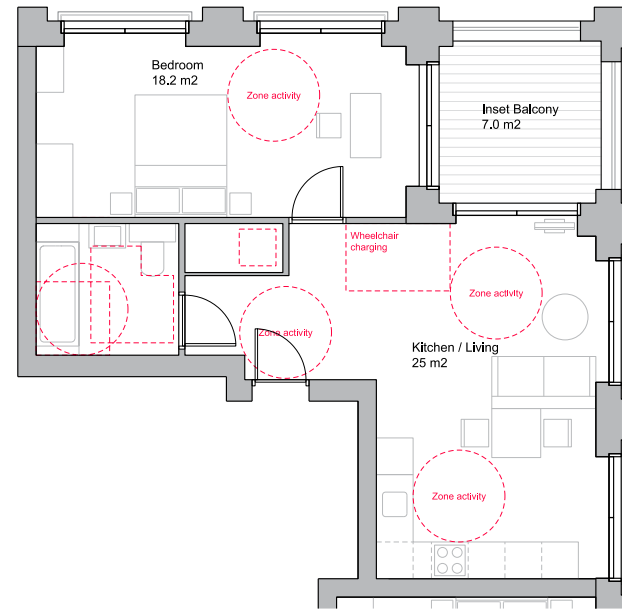
Typical Upper Floor Plan Showing Level Access To Apartment Front Doors



### 6.7 Wheelchair Apartment Types

10% of homes been designed in accordance with Part M4 Category 3 standard and will be fully wheelchair accessible. These these will either be fully adapted from the outset or designed to be fully adaptable and fitted out upon purchase of the new home. Wheelchair accessible homes are located as shown here.

All apartments are entered either by a communal corridor to the upper levels. All internally-entered wheelchair accessible units have access to two lifts.



2nd Floor Plan Showing Location of Wheelchair Apartment Types



### 6.8 Safety and Security

The scheme has been designed from the outset to be a safe and secure new addition to the Walthamstow Town Centre and follows the principles outlined in Approved Document Part Q 2015 as well as recommendations from Secure by Design officers.

The ground floor is active and animated with service provision or 'blank' facades minimised. There is extensive glazing to all four sides of the building which encourages active and passive surveillance and will be combined with good levels of lighting and CCTV coverage.

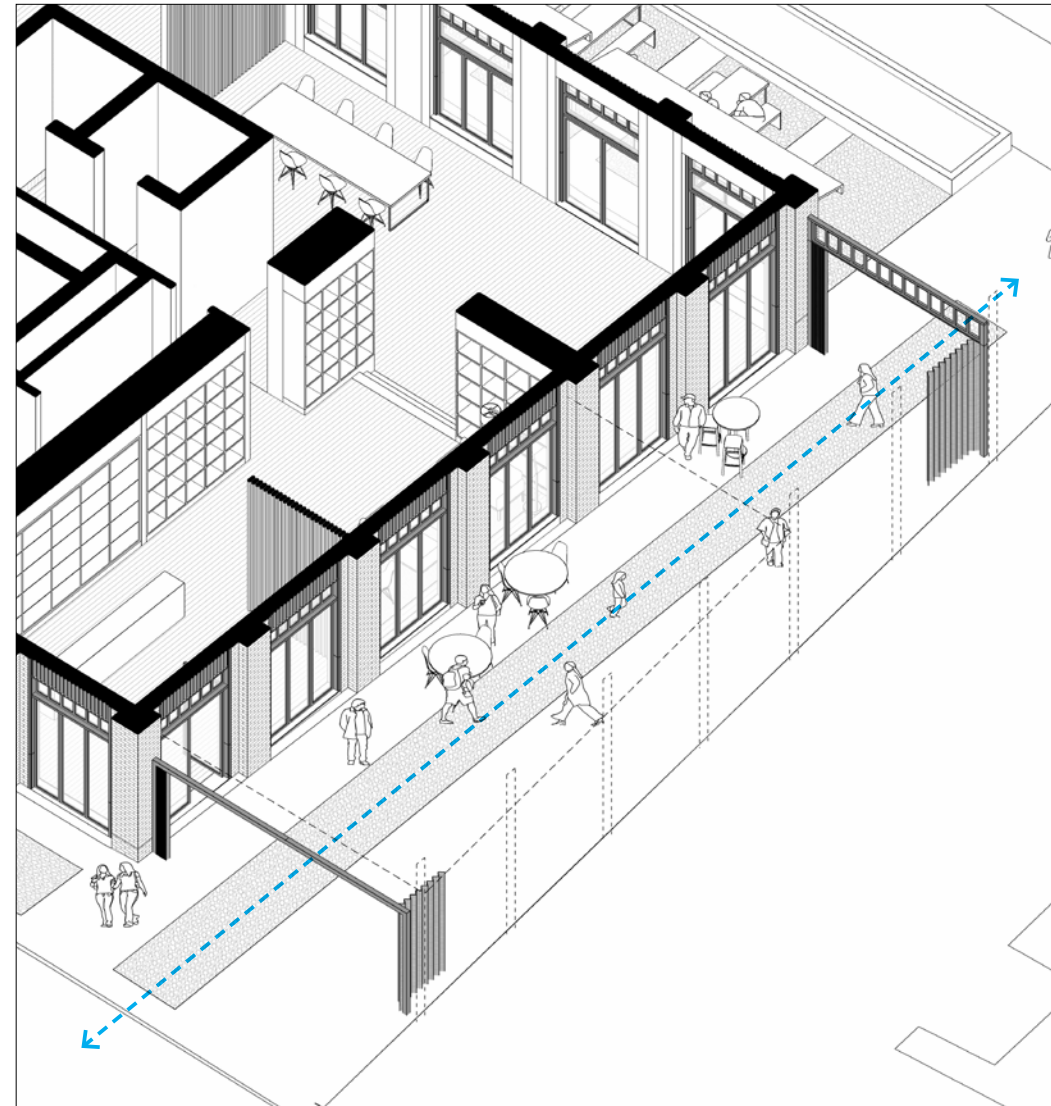
The main entrance door will be fob accessed by residents and benefit from a 24/7 concierge service. In consultation with Secure by Design officers the gate access to the Yard has been adapted to ensure that during night hours there will be two lines of security.

The location of the cycle store at first floor offers advantages in respect of security and will also be monitored by CCTV.

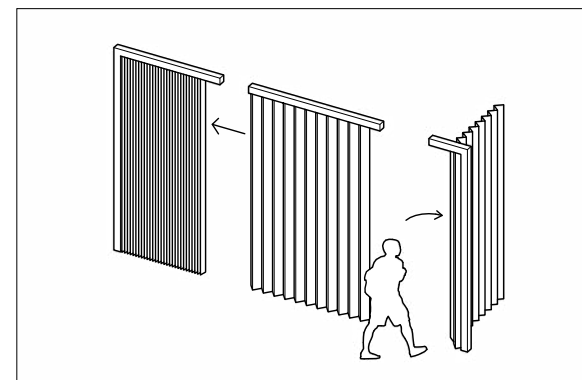
The management of the Yard will need to be carefully managed to ensure that it offers a public benefit while remaining a safe environment at all hours of the day and night.

All apartments and communal areas are sprinklered. Residents will exit via escape stairs to the dedicated escape route that exits onto Station Approach.

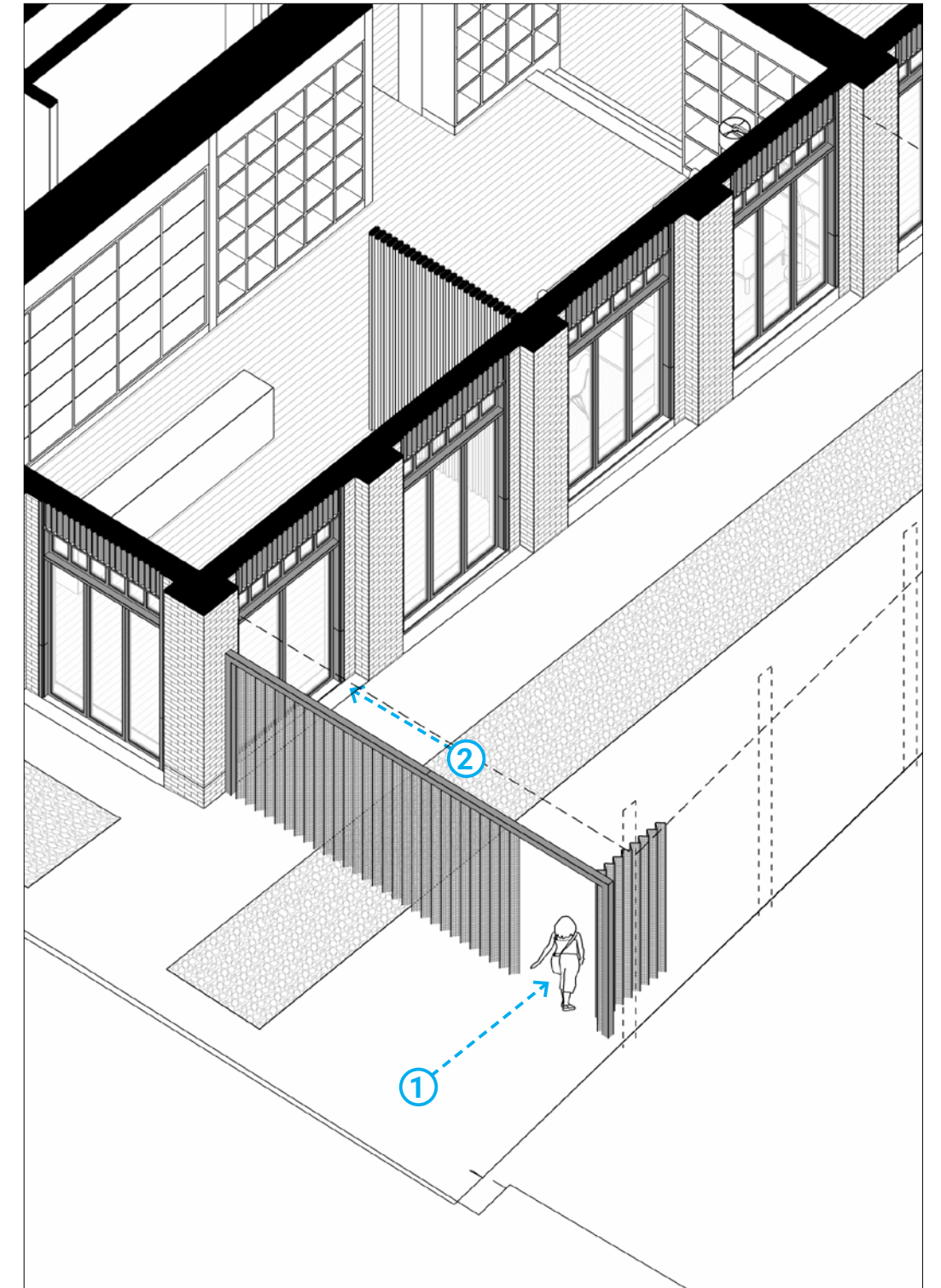
A separate statement regarding Fire Safety is being submitted by Hoare Lea in support of this application.



Open Yard



Flexible Gate/ Door Design



Two Lines of Entrance Security During Night Hours



## 7.0 SUSTAINABILITY

### 7.1 Sustainability

The development's energy strategy follows the GLA's energy hierarchy and has been determined through early stage modelling to inform the fabric's thermal performance, using an all-electric heating strategy through Air Source Heat Pumps and the utilisation of roof-mounted PV panels. The fabric first approach has also informed the overheating strategy which has designed out the need for cooling through carefully positioning balconies, influencing glazing configurations and incorporating external roller blinds.

The proposed sustainability strategy is the result of a collaborative process driven by the design team and given the constraints of the existing site, the development aims to deliver a resource efficient scheme. The proposals include maximising the site's urban greening, which compliments the drainage strategy through incorporating SuDS techniques, including green and blue roofs, rain gardens and permeable paving. The development's approach to water will prioritise demand reduction, through specifying low-consuming sanitary ware and equipment in order to achieve the target usage of 105 litres/person/day.

The proposals have been interrogated from a Whole Lifecycle Carbon and Circular Economy perspective which has identified solutions for reducing resource use, designing out waste and enabling end-of-life material recovery. Priority has been given to proposing alternative materials for the most impactful building elements (i.e. structure and façade) and key opportunities include using cement replacements, adopting pre-fabrication techniques, where possible and prioritising mechanical connections.

### ENERGY STRATEGY

**OUTLINE STRATEGY**

- BE LEAN**
  - ✓ Energy efficiency target
  - ✓ Energy efficiency target
- BE CLEAN**
  - ✓ 35% on site carbon reduction
  - ✓ 35% on site carbon reduction
- BE GREEN**
  - ✓ Zero carbon target
  - ✓ Zero carbon target
- BE SEEN**
  - ✓ Be Seen target
  - ✓ Be Seen target

**OFFSET PAYMENT**

- 4.83 tCO<sub>2</sub>e/100

**CARBON FACTORS**

- SAP 10

### CIRCULAR ECONOMY

A Circular Economy statement will be submitted to demonstrate how:

- 1) Materials from 'demolition' / renovation works are optimised
- 2) Material demands will be reduced and area disassembly
- 3) Waste is managed on site
- 4) Recycling and re-use will be supported
- 5) Much waste is expected
- 6) Performance will be monitored

### SUSTAINABILITY STRATEGY

**GENERAL**

Follow Mayor's Sustainability SPG & BWF planning policy.

- **WATER EFFICIENCY**  
Residential: 105 litres/person/day  
Non-residential: Equivalent to BREFAM Excellent
- **URBAN GREENING FACTOR**  
Maximise UGF, given site constraints.
- **SUSTAINABLE DRAINAGE**  
Follow drainage hierarchy, with a preference of green over grey infrastructure.
- **ENVIRONMENTAL CERTIFICATION**  
Scope and extent of non-resi areas considered not sufficient to constitute a BREFAM assessment.

### WHOLE-LIFE CARBON

WLC emissions will be calculated and opportunities for reducing emissions will be explored.

**APPROACH:**

- ✓ Model baseline scenario
- ✓ identify significant contributors
- ✓ Appraise opportunities
- ✓ implement solutions



## 8.0 CONCLUSION

### 8.1 Conclusion

The evolution of the scheme over a two year period has been widely informed by consultation with the Local Authority, the CABA Design Review Panel and local residents.

The scheme will provide 66 well designed apartments which follow the recommendations of the London Plan and described space standards.

- 10% of homes will be provided as a combination of adapted and adaptable wheelchair accessible apartments
- All apartments have generous projecting or inset balconies as well as access to a communal roof terrace
- An active and animated ground floor
- A new 'pocket park' to the south will complement a range of outdoor spaces across the Town Centre
- A new link through the Yard reinstates the service lane to the west and provides a shortcut to the station
- Sustainability as a key driver considering a wide range of objectives including Whole Lifecycle Carbon and Circular Economy













# 9.0 APPENDIX

# HAL

Client Providence Capital Securities  
 Job Number 128  
 Project Hoe Street  
 Address Walthamstow

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 tel +44 (0)20 7580 2359  
 e-mail info@halarchitects.co.uk

Drawing Register & Issue Sheet - Page 1		DAY	26	PL	4
WORK STAGE		MONTH	2	PL	3
RIBA Stage 3		YEAR	21	PL	21
DRAWING NO.	DRAWING TITLE	SCALE	SIZE		
<b>Planning Application Drawings</b>					
128-HAL-DR-A-EX-010	Site Location Plan	1:1250	A1		00
128-HAL-DR-A-EX-050	Existing Ground Floor Plan	1:100	A1		00
128-HAL-DR-A-EX-051	Existing First Floor Plan	1:100	A1		00
128-HAL-DR-A-EX-052	Existing Second Floor Plan	1:100	A1		00
128-HAL-DR-A-EX-100	Existing Roof Plan	1:100	A1		00
128-HAL-DR-A-EX-301	Existing North Elevation	1:200	A1		00
128-HAL-DR-A-EX-302	Existing East Elevation	1:200	A1		00
128-HAL-DR-A-EX-303	Existing South Elevation	1:200	A1		00
128-HAL-DR-A-EX-304	Existing West Elevation	1:200	A1		00
128-HAL-DR-A-DEM-050	Ground Floor Demolition Plan	1:100	A1		00
128-HAL-DR-A-DEM-051	First Floor Demolition Plan	1:100	A1		00
128-HAL-DR-A-DEM-052	Second Floor Demolition Plan	1:100	A1		00
128-HAL-DR-A-DEM-100	Roof Demolition Plan	1:100	A1		00
128-HAL-DR-A-GAP-099	Proposed Basement Plan	1:100	A1		00
128-HAL-DR-A-GAP-100	Proposed Ground Floor Plan	1:100	A1		00
128-HAL-DR-A-GAP-101	Proposed First Floor Plan	1:100	A1		00
128-HAL-DR-A-GAP-102	Proposed Floor Plans, Levels 02 - 05	1:100	A1		00
128-HAL-DR-A-GAP-106	Proposed Floor Plans, Levels 06 - 15	1:100	A1		00
128-HAL-DR-A-GAP-116	Proposed Floor Plans, Levels 16 - 17	1:100	A1		00
128-HAL-DR-A-GAP-118	Proposed Floor Plan, Level 18	1:100	A1		00
128-HAL-DR-A-GAP-119	Proposed Roof Plan (19)	1:100	A1		00
128-HAL-DR-A-GAE-301	Proposed North Elevation	1:200	A1		00
128-HAL-DR-A-GAE-302	Proposed East Elevation	1:200	A1		00
128-HAL-DR-A-GAE-303	Proposed South Elevation	1:200	A1		00
128-HAL-DR-A-GAE-304	Proposed West Elevation	1:200	A1		00
128-HAL-DR-A-GAS-501	Proposed Section A - A	1:200	A1		00
128-HAL-DR-A-GAS-502	Proposed Section B - B	1:200	A1		00
128-HAL-DR-A-GAE-701	Proposed Typical Bay Details - Levels 00 - 01	1:20	A1		00
128-HAL-DR-A-GAE-702	Proposed Typical Bay Details - Levels 03 - 04	1:20	A1		00
128-HAL-DR-A-GAE-703	Proposed Typical Bay Details - Levels 16 - 17	1:20	A1		00
128-HAL-DR-A-GAE-704	Proposed Yard Details - Levels 00 - 01	1:50	A1		00
128-HAL-DR-A-DET-501	Typical Sketch Details Sheet 01	1:5	A1		00
128-HAL-DR-A-DET-502	Typical Sketch Details Sheet 02	1:5	A1		00
<b>PURPOSE OF ISSUE</b>	For Planning			X	X
	For Information				
	Construction				
	For Preliminary				
	For Approval				
	For Tender				
	For Comment				
<b>DISTRIBUTION</b>	Planning Authority			D	D
	Client			D	D
	Planning Consultant			D	D
	M&E Consultant			D	D
	Structural Engineer			D	D
	Quantity Surveyor			D	D
	Main Contractor				
	Approved Inspector				

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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Site Location Plan**

Scale at A1  
**1:1250**

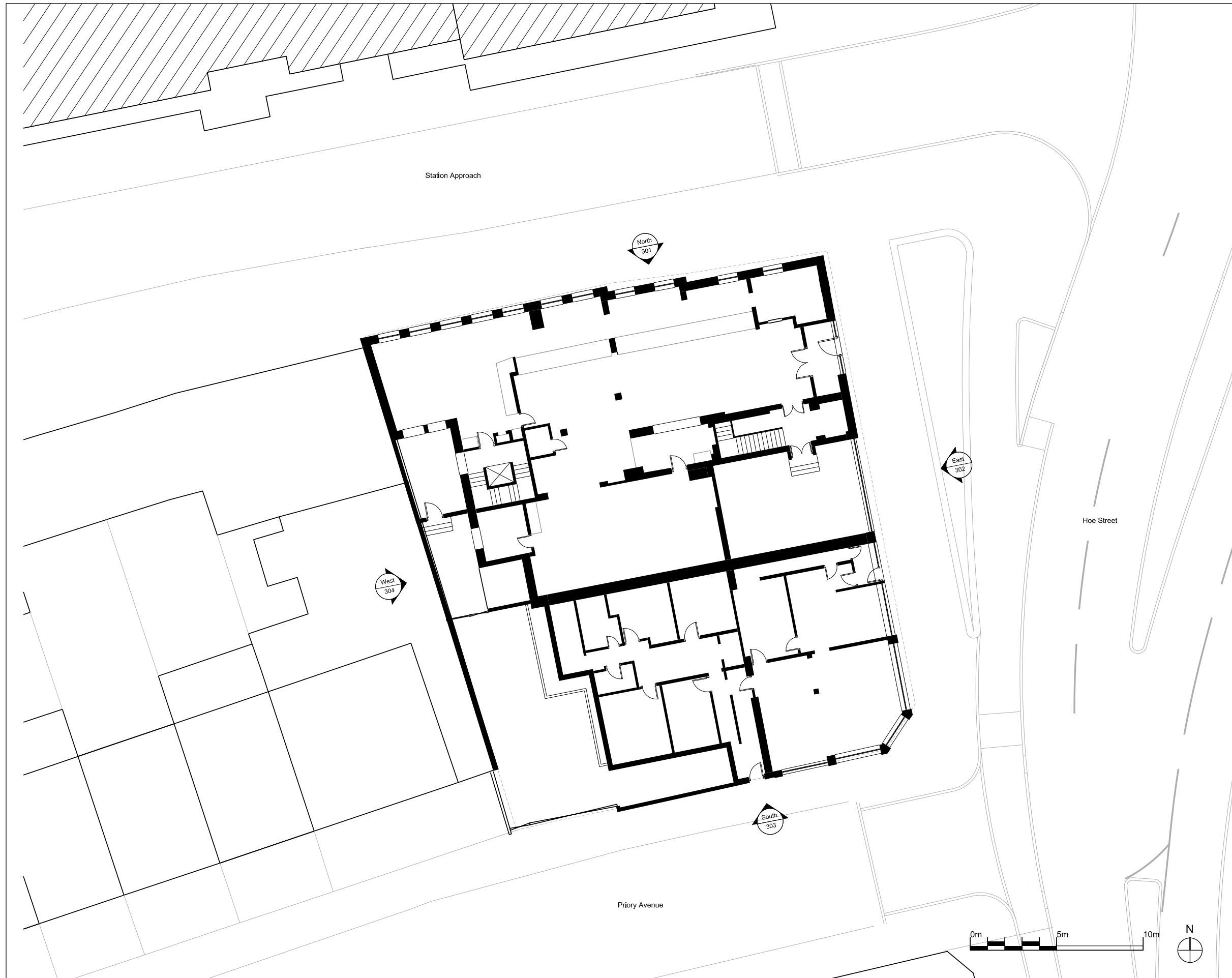
Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-EX-010	00







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**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Existing Ground Floor Plan**

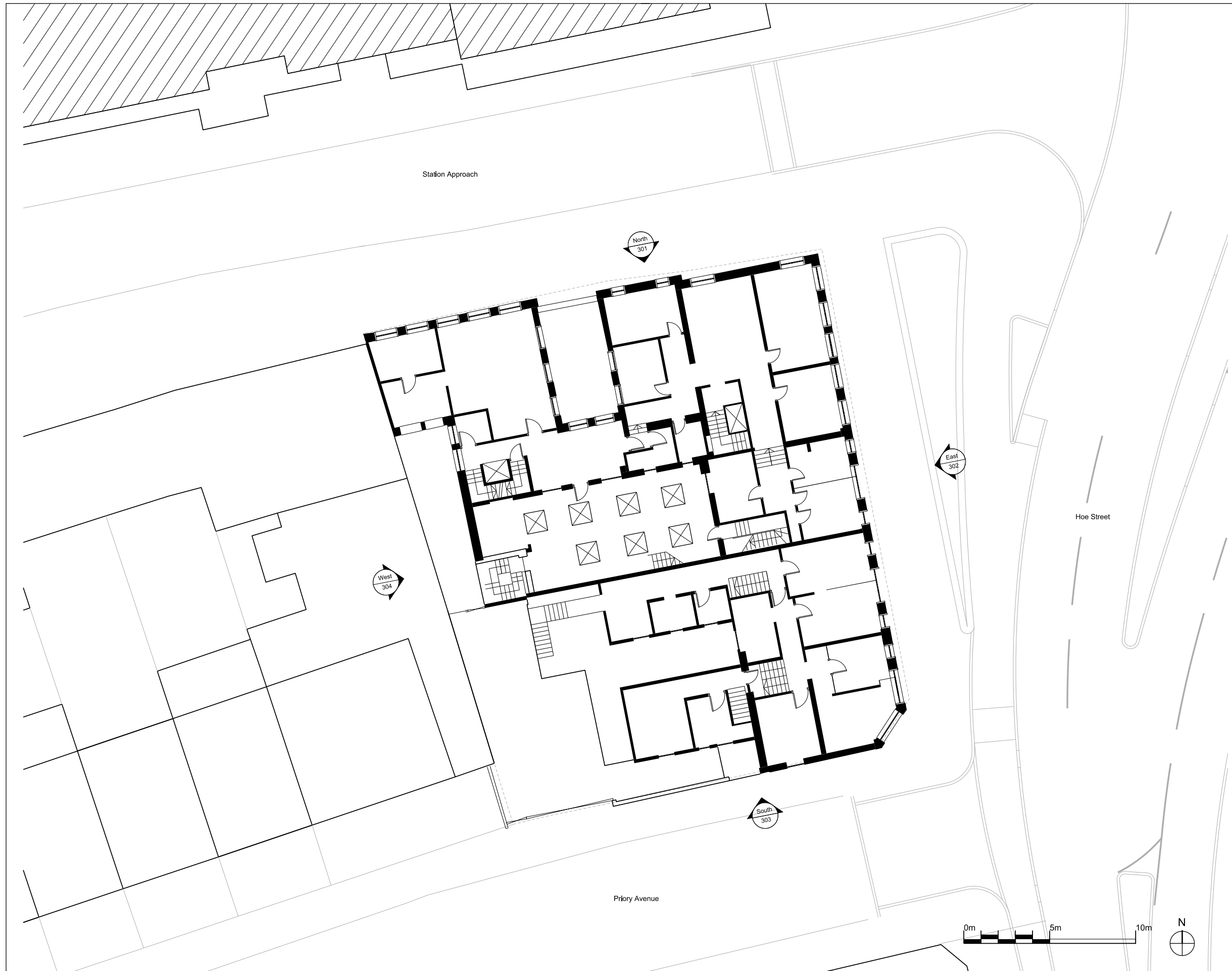
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Discipline  
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Drawing Status  
**Planning**

Job No	Drawing No	Issue
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Job Title  
**278-284 Hoe Street**

Drawing Title  
**Existing First Floor Plan**

Scale at A1  
**1:100**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-EX-051	00





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Drawing Title  
**Existing Second Floor Plan**

Scale at A1  
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Discipline  
**Architectural**

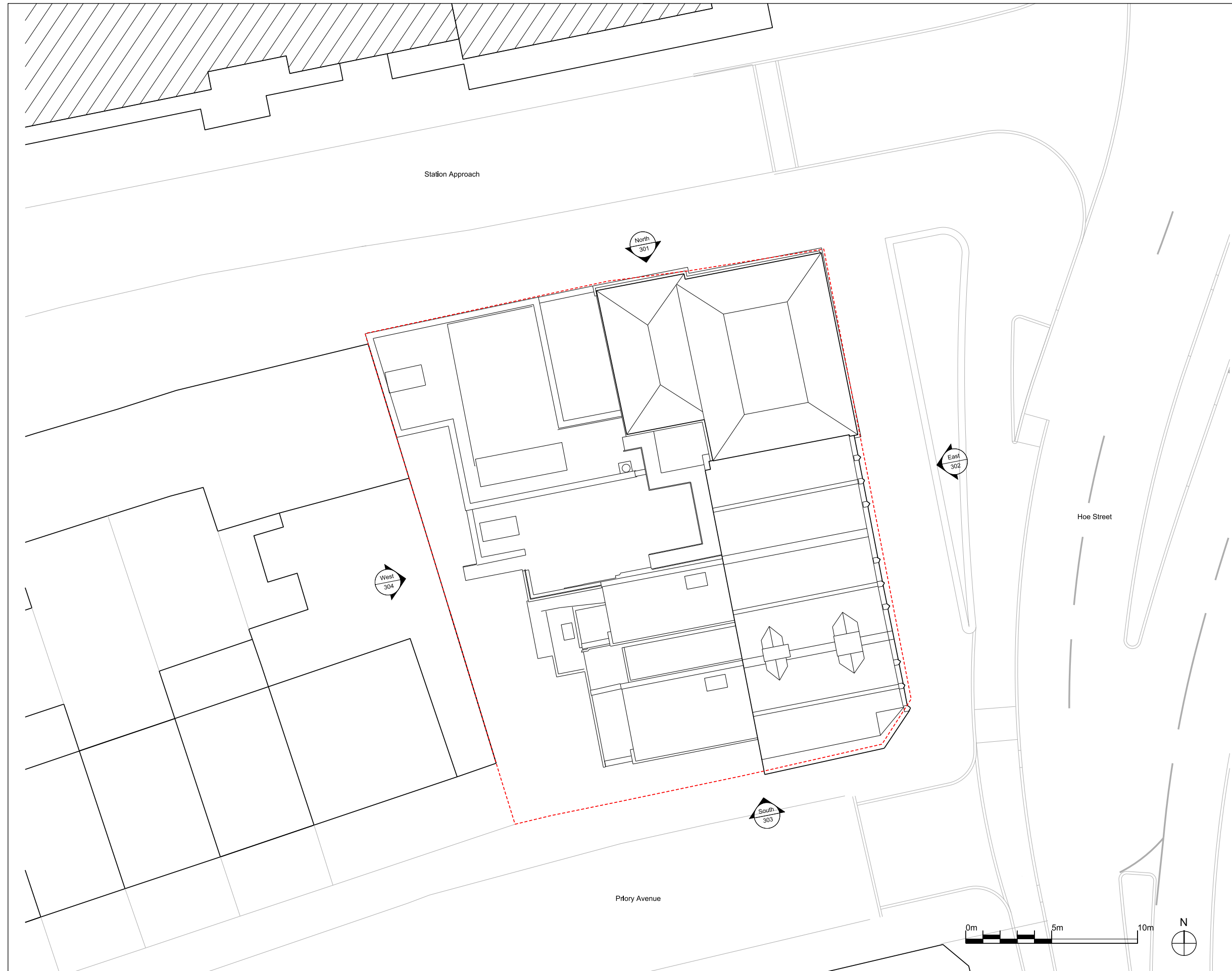
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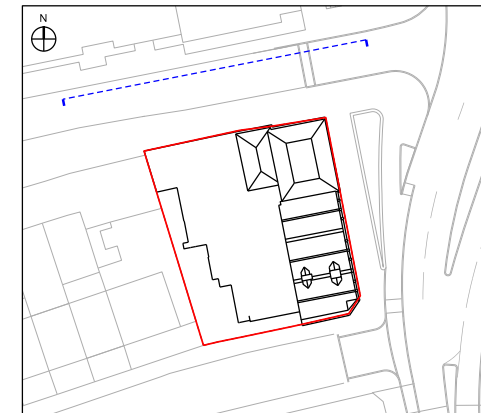
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 Job Title:  
**278-284 Hoe Street**  
 Drawing Title:  
**Existing Roof Plan**  
 Scale: at A1  
**1:100**  
 Discipline:  
**Architectural**  
 Drawing Status:  
**Planning**  
 Job No: **128** | Drawing No: **HAL-DR-A-EX-100** | Issue: **00**

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Juniper House  
Under construction

Hoe Street

Extent of Site

Station Approach



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Client

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Job Title  
278-284 Hoe Street

Drawing Title  
Existing North Elevation

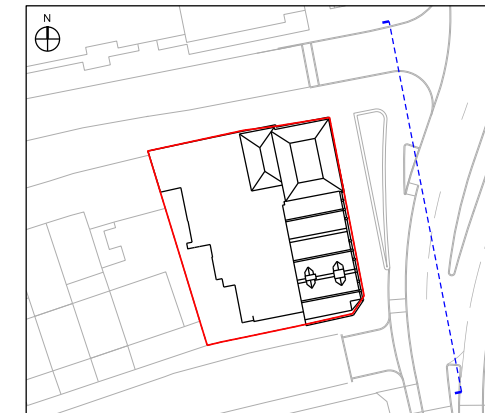
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Discipline  
Architectural

Drawing Status  
Planning

Job No	Drawing No	Issue
128	HAL-DR-A-EX-301	00





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Hoe Street

Extent of site

Hoe Street



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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Existing East Elevation**

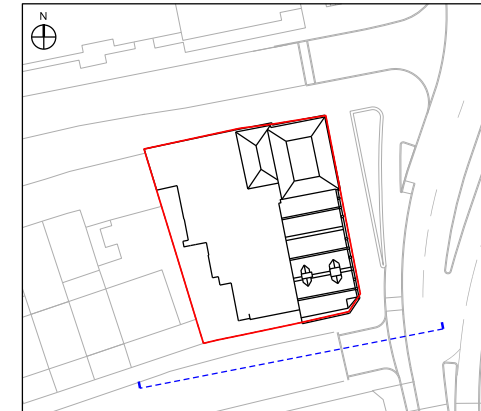
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Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-EX-302	00





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**General Note**

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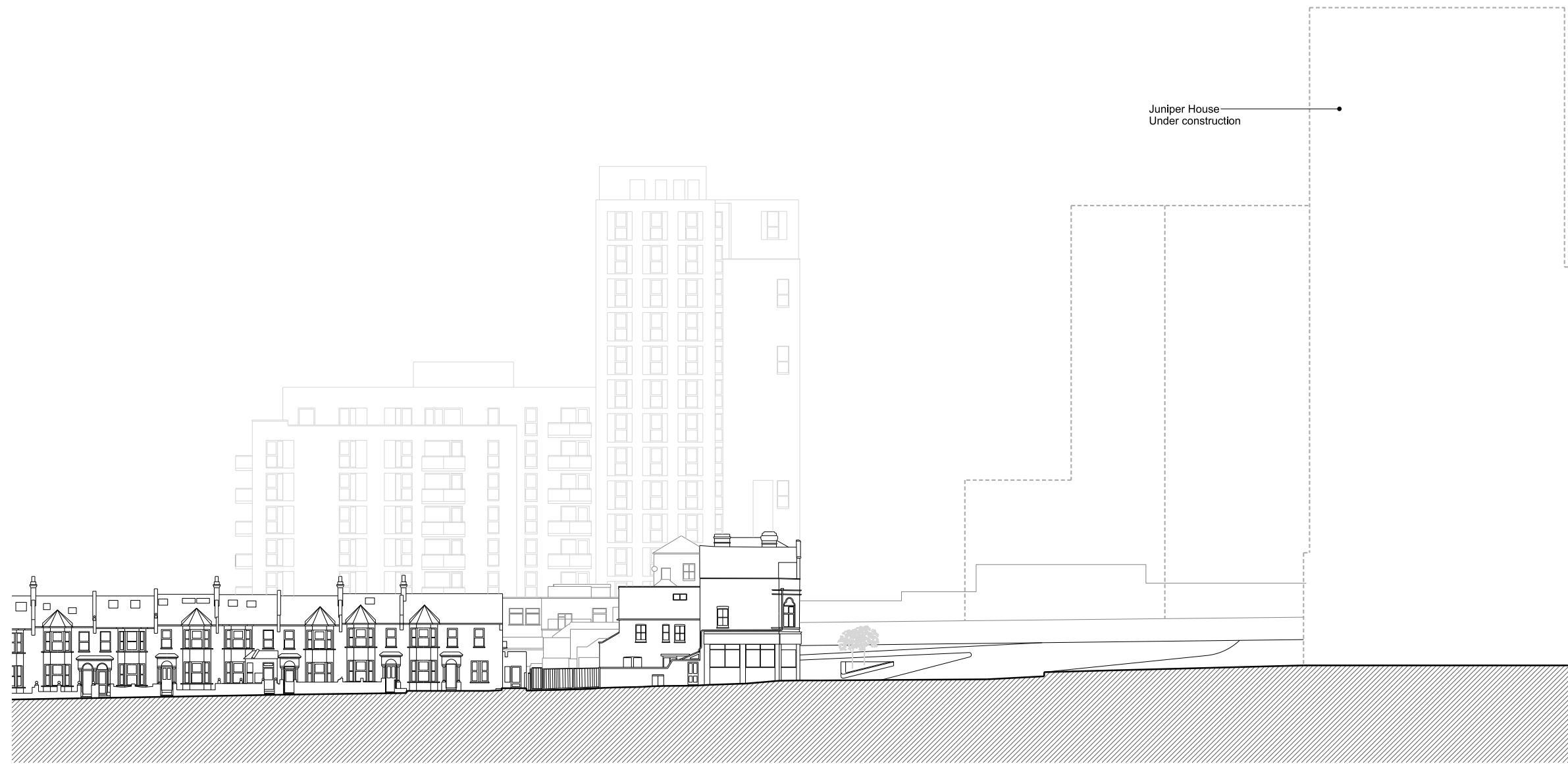
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Juniper House  
Under construction



Priory Avenue

Extent of site

Hoe Street



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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Existing South Elevation**

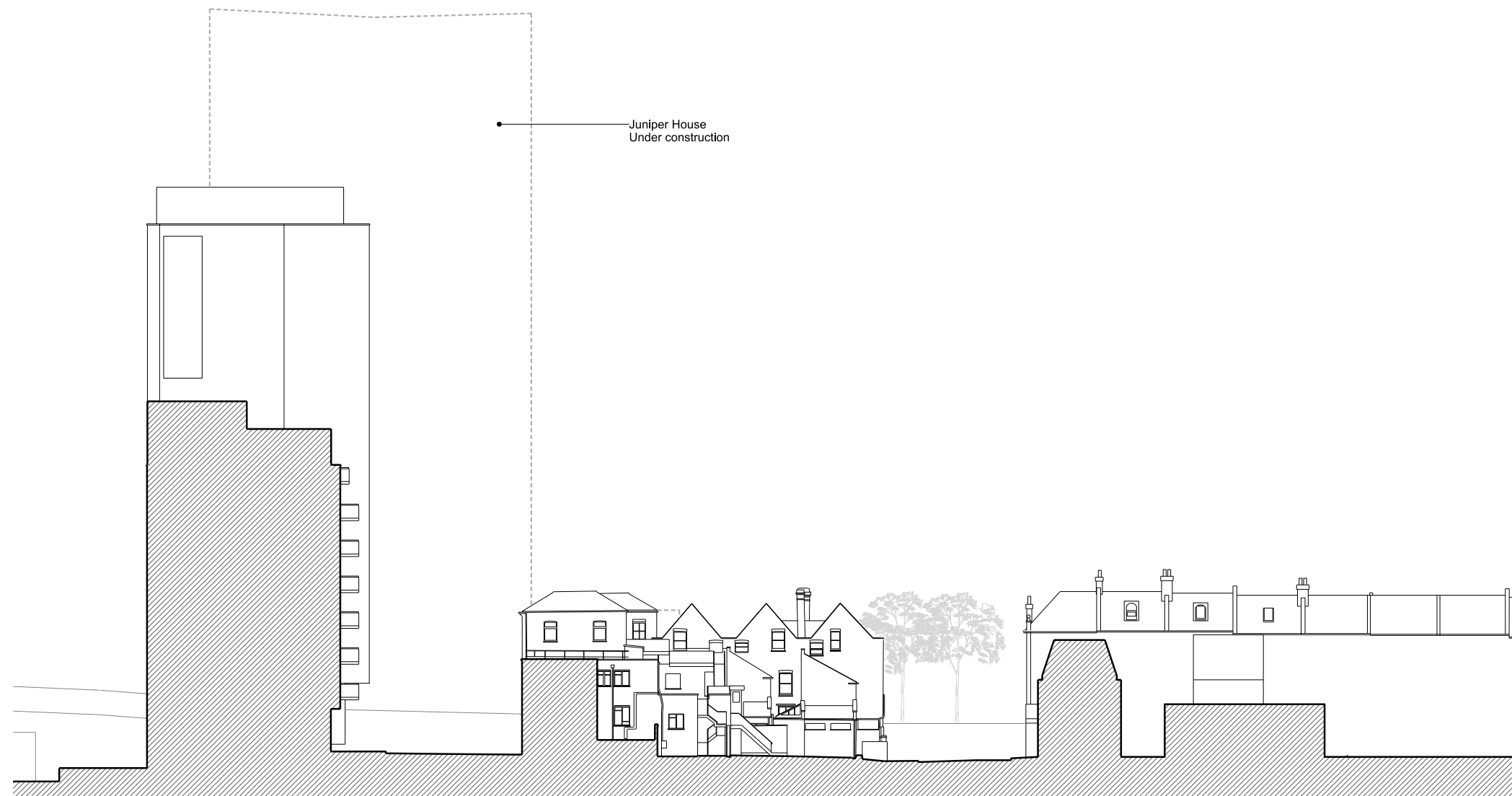
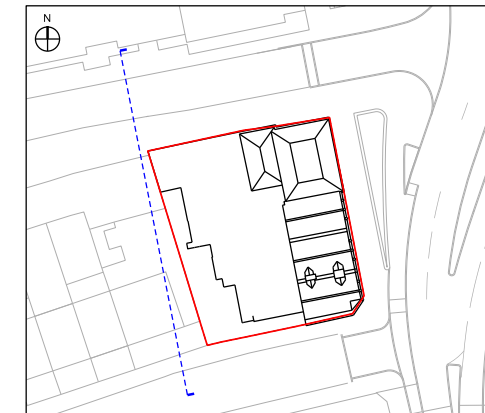
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Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-EX-303	00





Juniper House  
Under construction

Station Approach      Extent of Site      Priory Avenue



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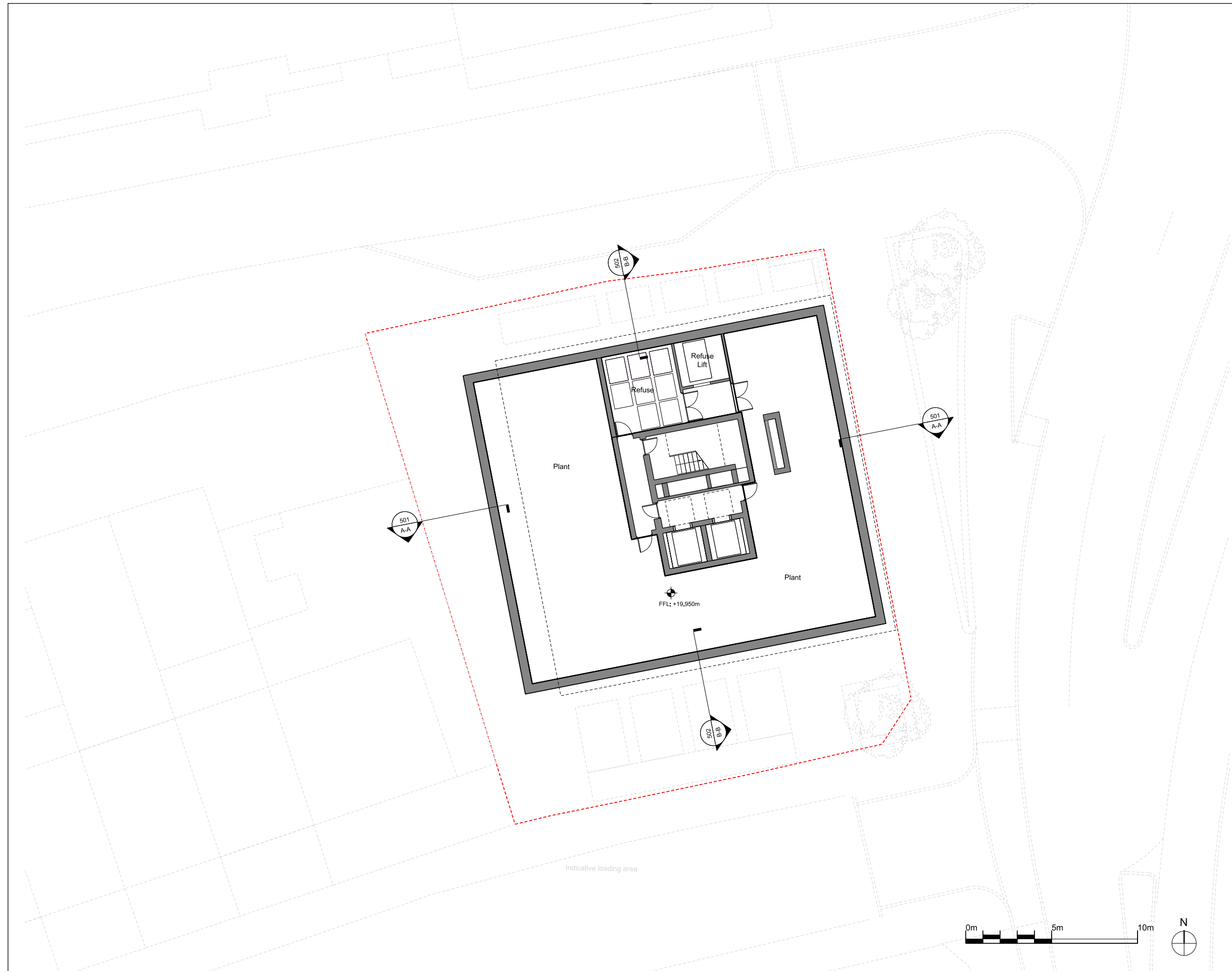
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**Providence Capital Securities**  
 Job Title  
**278-284 Hoe Street**  
 Drawing Title  
**Existing West Elevation**  
 Scale: at A1  
**1:200**  
 Discipline  
**Architectural**  
 Drawing Status  
**Planning**  
 Job No      Drawing No      Issue  
**128      HAL-DR-A-EX-304      00**





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**General Note**

- All levels and dimensions are approximate, detailed site surveys must be carried out by Contractor before commencement on building works. All levels and dimensions to be confirmed on site.

- All existing drawing information is indicative and subject to the detailed site survey.

- Drawing is for information only.

- Do not scale from this drawing.

- This drawing is copyrighted.

Issue	Date	By	CH	HC	HC
00	26/02/21				

HAL Architects LTD  
 The Building Society  
 55 Whitefield Street  
 London  
 W1T 4AH  
 Tel: +44(0)20 7850 2359  
 www.halarchitects.co.uk

Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Proposed Basement Plan**

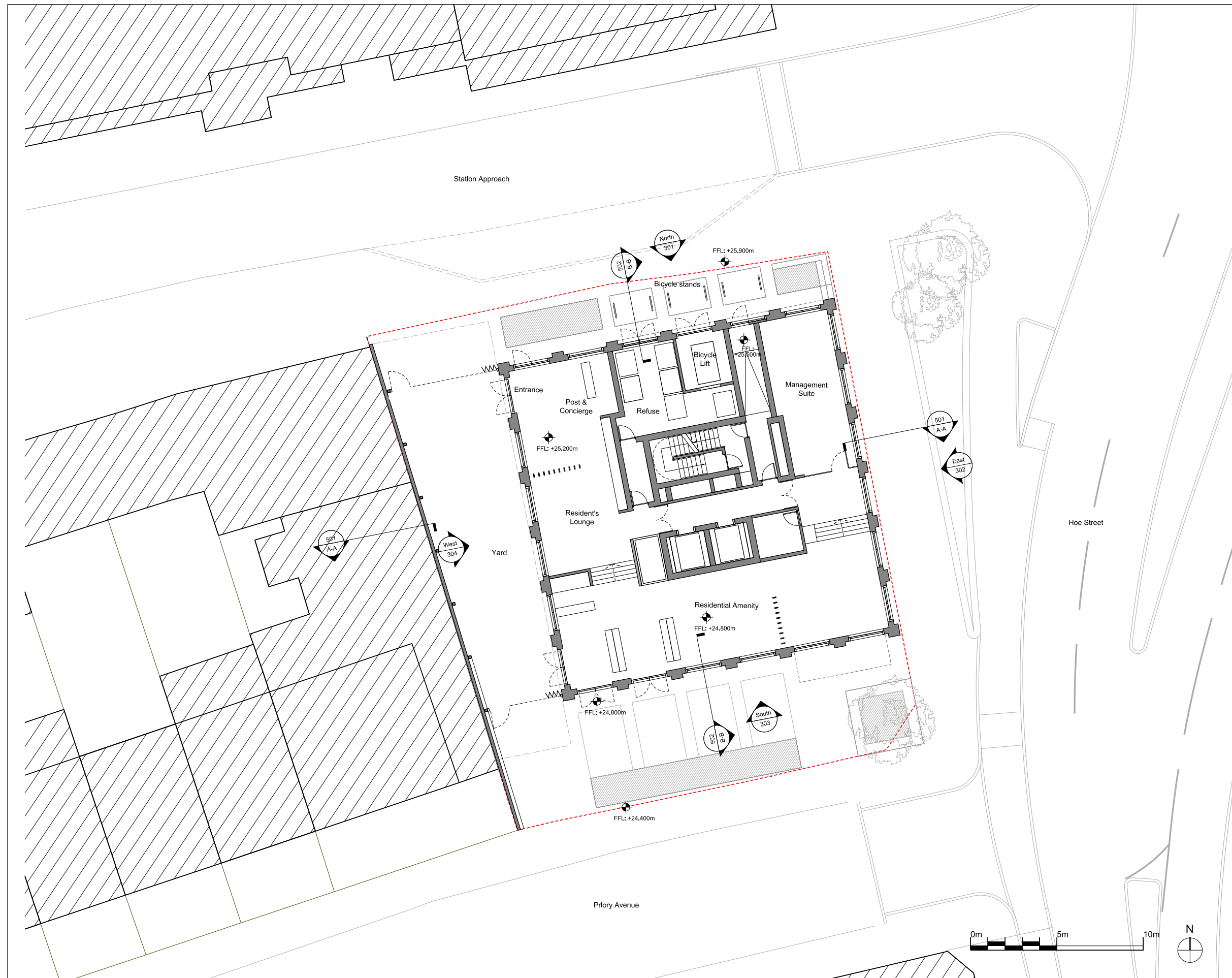
Scale: at A1  
**1:100**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-GAP-099	00





**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to be an approved method statement.

- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

- All levels and dimensions are approximate, detailed site surveys must be carried out by Contractor before commencement on building works. All levels and dimensions to be confirmed on site.

- All existing drawing information is indicative and subject to the detailed site survey.

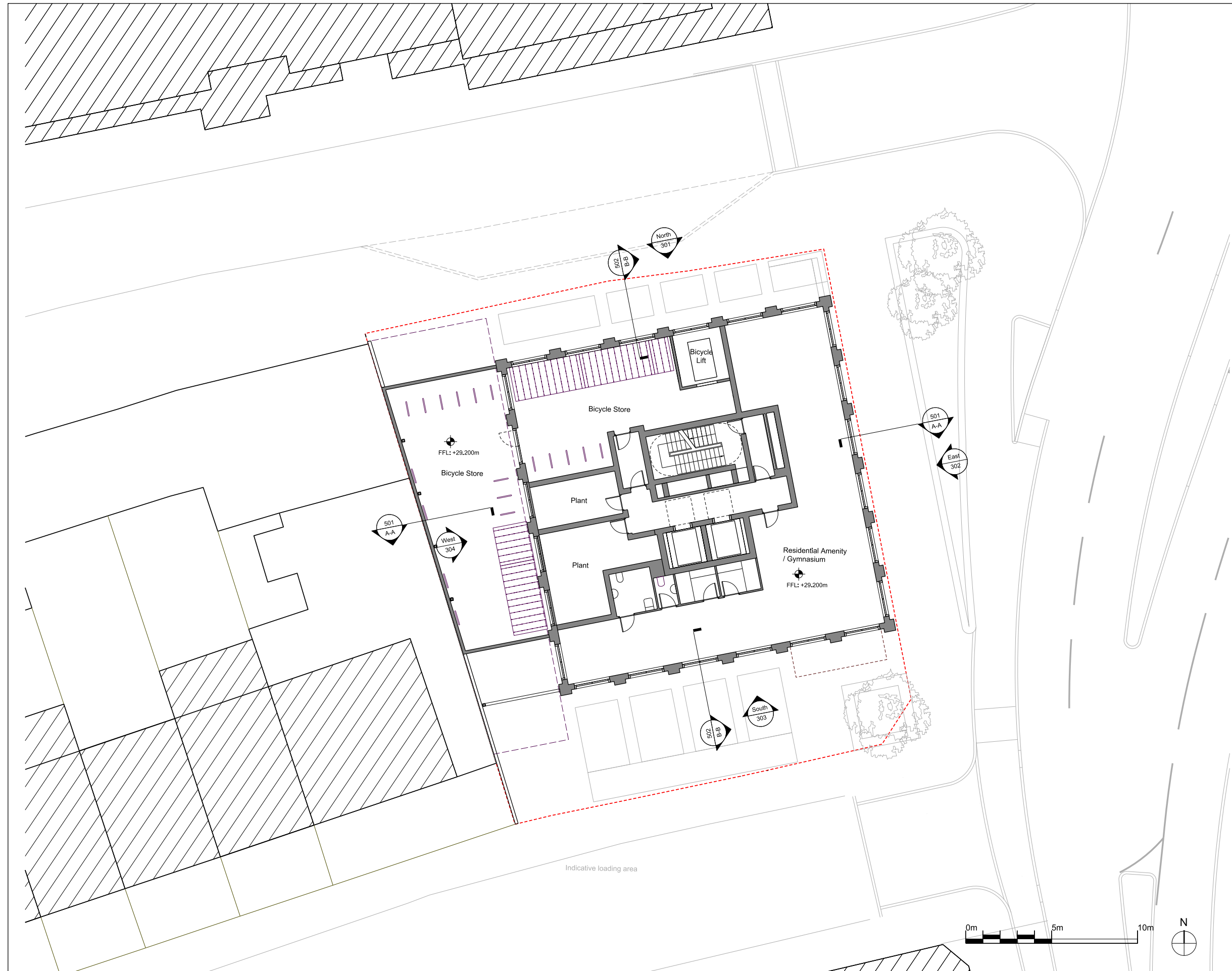
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Issue	Date	By	Chkd	Appd
00	28/02/21	CH	HC	HC

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 Client:  
**Providence Capital Securities**  
 Job Title:  
**278-284 Hoe Street**  
 Drawing Title:  
**Proposed Ground Floor Plan**  
 Scale at A1:  
**1:100**  
 Discipline:  
**Architectural**  
 Drawing Status:  
**Planning**  
 Job No: **128** Drawing No: **HAL-DR-A-GAP-100** Issue: **00**



**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

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- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

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- All existing drawing information is indicative and subject to the detailed site survey.

- Drawing is for information only.

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Issue	Date	By	CH	HC	HC	Appd
00	26/02/21					

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 Client  
**Providence Capital Securities**  
 Job Title  
**278-284 Hoe Street**  
 Drawing Title  
**Proposed First Floor Plan**  
 Scale: at A1  
**1:100**  
 Discipline  
**Architectural**  
 Drawing Status  
**Planning**  
 Job No  
**128**      Drawing No  
**HAL-DR-A-GAP-101**      Issue  
**00**





**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to be an approved method statement.
- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

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- All existing drawing information is indicative and subject to the detailed site survey.
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00	28/02/21	CH	HC	HC

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 www.halarchitects.co.uk

Client:  
**Providence Capital Securities**

Job Title:  
**278-284 Hoe Street**

Drawing Title:  
**Proposed Floor Plans, Levels 06 - 15**

Scale at A1:  
**1:100**

Discipline:  
**Architectural**

Drawing Status:  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-GAP-106	00



**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to be an approved method statement.

- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

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- All existing drawing information is indicative and subject to the detailed site survey.

- Drawing is for information only.

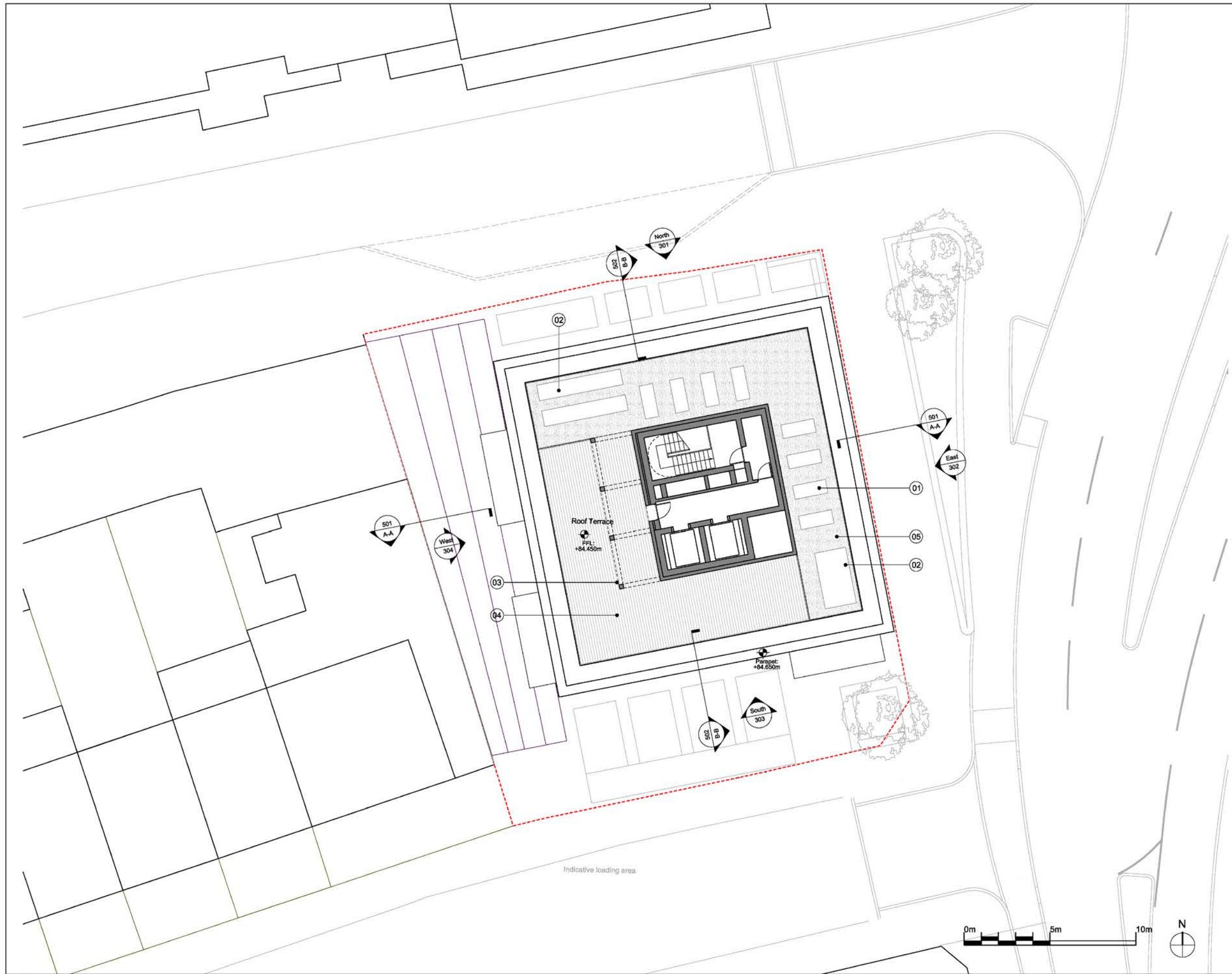
- Do not scale from this drawing.

- This drawing is copyrighted.

Issue	Date	By	Chd	HC	HC
00	26/02/21		CH	HC	HC

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 Client  
**Providence Capital Securities**  
 Job Title  
**278-284 Hoe Street**  
 Drawing Title  
**Proposed Floor Plans, Levels 16 - 17**  
 Scale: at A1  
**1:100**  
 Discipline  
**Architectural**  
 Drawing Status  
**Planning**  
 Job No  
**128**      Drawing No  
**HAL-DR-A-GAP-116**      Issue  
**00**





**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to an approved method statement.
- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

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- All existing drawing information is indicative and subject to the detailed site survey.
- Drawing is for information only.
- Do not scale from this drawing.
- This drawing is copyrighted.

- Key**
- 01 Air source heat pumps
  - 02 Photovoltaic panels
  - 03 Steel pergolas
  - 04 Stone pergolas
  - 05 Ecological extensive roof

Issue	Date	By	Chk	Appd
00	26/02/21	CH	HC	HC

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Client:  
 Providence Capital Securities

Job Title:  
 278-284 Hoe Street

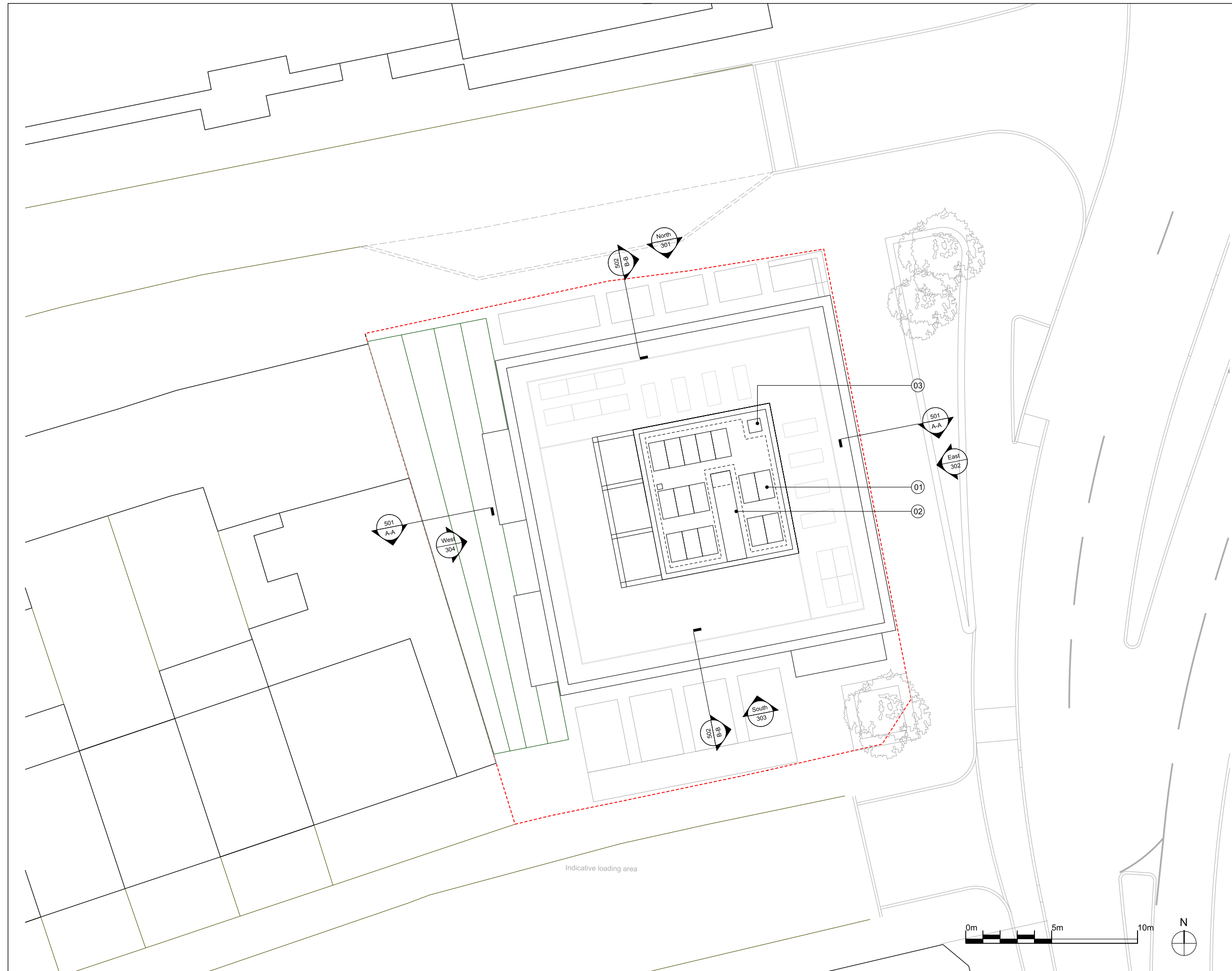
Drawing Title:  
 Proposed Floor Plan, Level 18

Scale at A1:  
 1:100

Discipline:  
 Architectural

Drawing Status:  
 Planning

Job No	Drawing No	Issue
128	HAL-DR-A-GAP-118	00



**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to be an approved method statement.

- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

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- All existing drawing information is indicative and subject to the detailed site survey.

- Drawing is for information only.

- Do not scale from this drawing.

- This drawing is copyrighted.

**Key**

- 01 Photovoltaic panels
- 02 AOV duct
- 03 Hatch opening

Issue	Date	By	CH	HC	HC
00	26/02/21				

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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Proposed Roof Plan (19)**

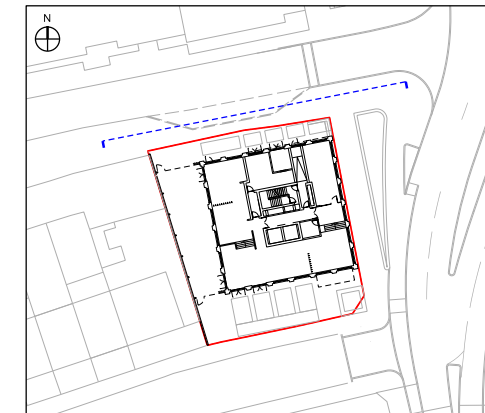
Scale: at A1  
**1:100**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-GAP-119	00





**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to be an approved method statement.

- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

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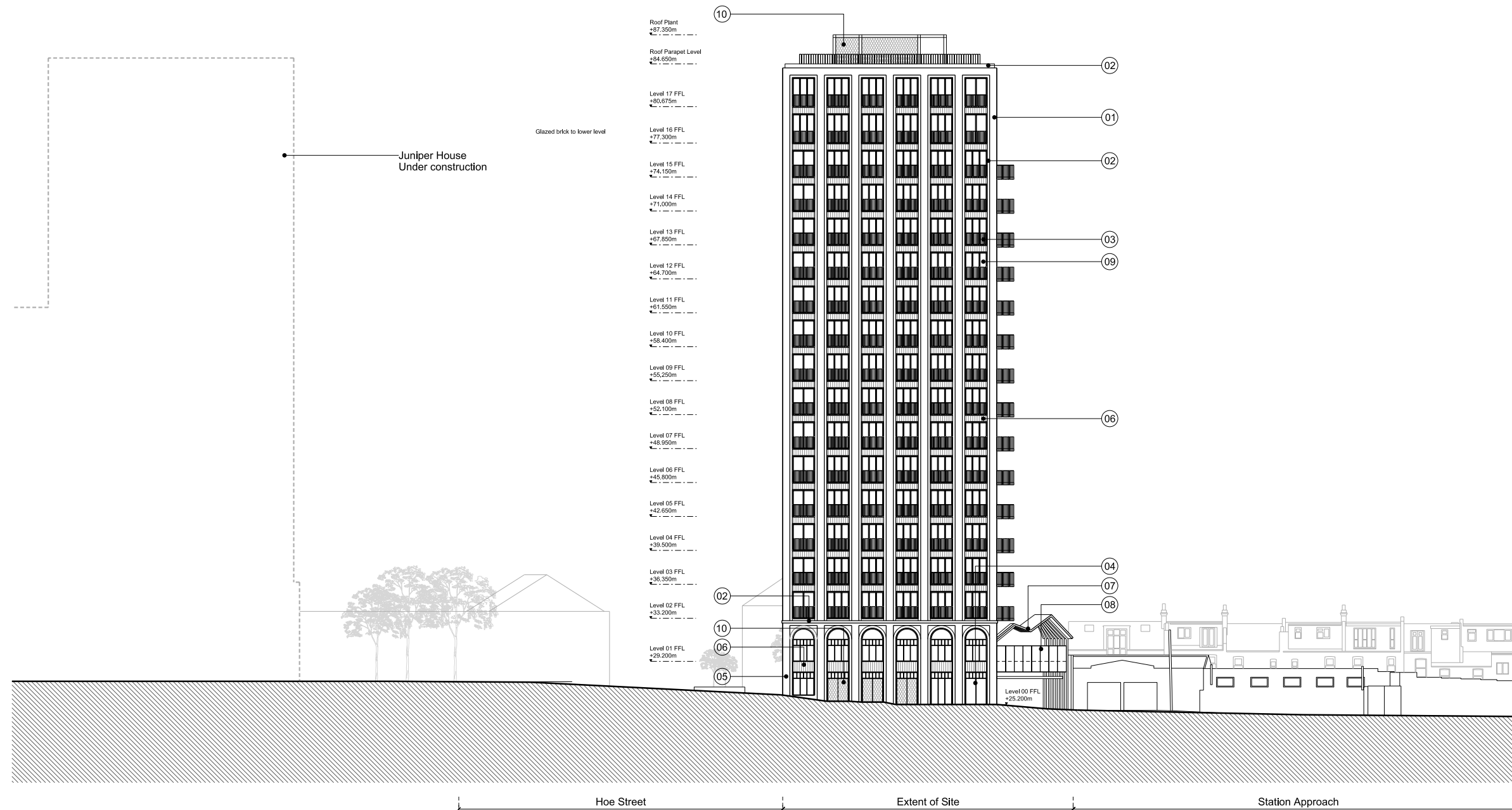
- Drawing is for information only.

- Do not scale from this drawing.

- This drawing is copyrighted.

**Key**

- 01 Vertical brickwork pier
- 02 Solder course and inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing to entrance
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Aluminium framed glazing to apartments
- 10 Decorative metal clad external doors and louvre panels



Issue	Date	By	Check	Appd
00	26/02/21	CH	HC	HC

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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

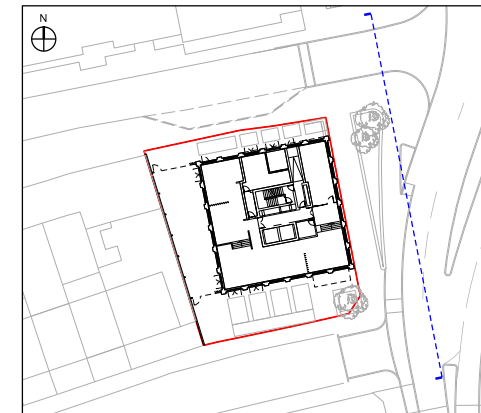
Drawing Title  
**Proposed North Elevation**

Scale: at A1  
**1:200**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No <b>128</b>	Drawing No <b>HAL-DR-A-GAE-301</b>	Issue <b>00</b>
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**Safety, Health and Environmental Information**

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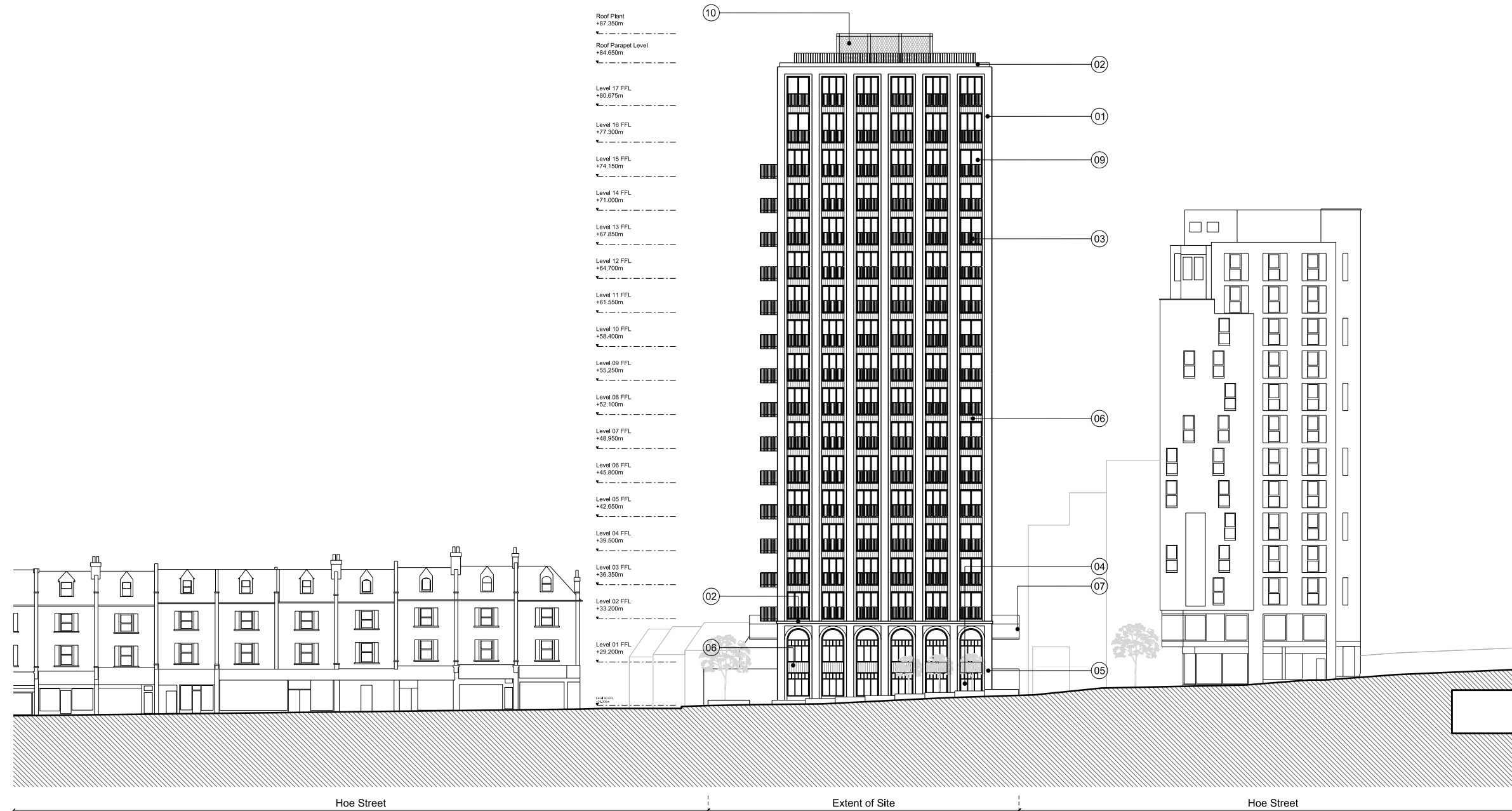
- Drawing is for information only.

- Do not scale from this drawing.

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**Key**

- 01 Vertical brickwork pier
- 02 Solder course and inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing to entrance
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Aluminium framed glazing to apartments
- 10 Decorative metal clad external doors and louvre panels



- Roof Plant +87.350m
- Roof Parapet Level +84.650m
- Level 17 FFL +80.675m
- Level 16 FFL +77.300m
- Level 15 FFL +74.150m
- Level 14 FFL +71.000m
- Level 13 FFL +67.850m
- Level 12 FFL +64.700m
- Level 11 FFL +61.550m
- Level 10 FFL +58.400m
- Level 09 FFL +55.250m
- Level 08 FFL +52.100m
- Level 07 FFL +48.950m
- Level 06 FFL +45.800m
- Level 05 FFL +42.650m
- Level 04 FFL +39.500m
- Level 03 FFL +36.350m
- Level 02 FFL +33.200m
- Level 01 FFL +29.200m

Issue	Date	By	Chk	Appd
00	26/02/21	CH	HC	HC

HAL Architects LTD  
 The Building Society  
 55 Whitehall Street  
 London  
 W1T 4RH  
 Tel: +44(0)20 7850 2359  
 www.halarchitects.co.uk

Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Proposed East Elevation**

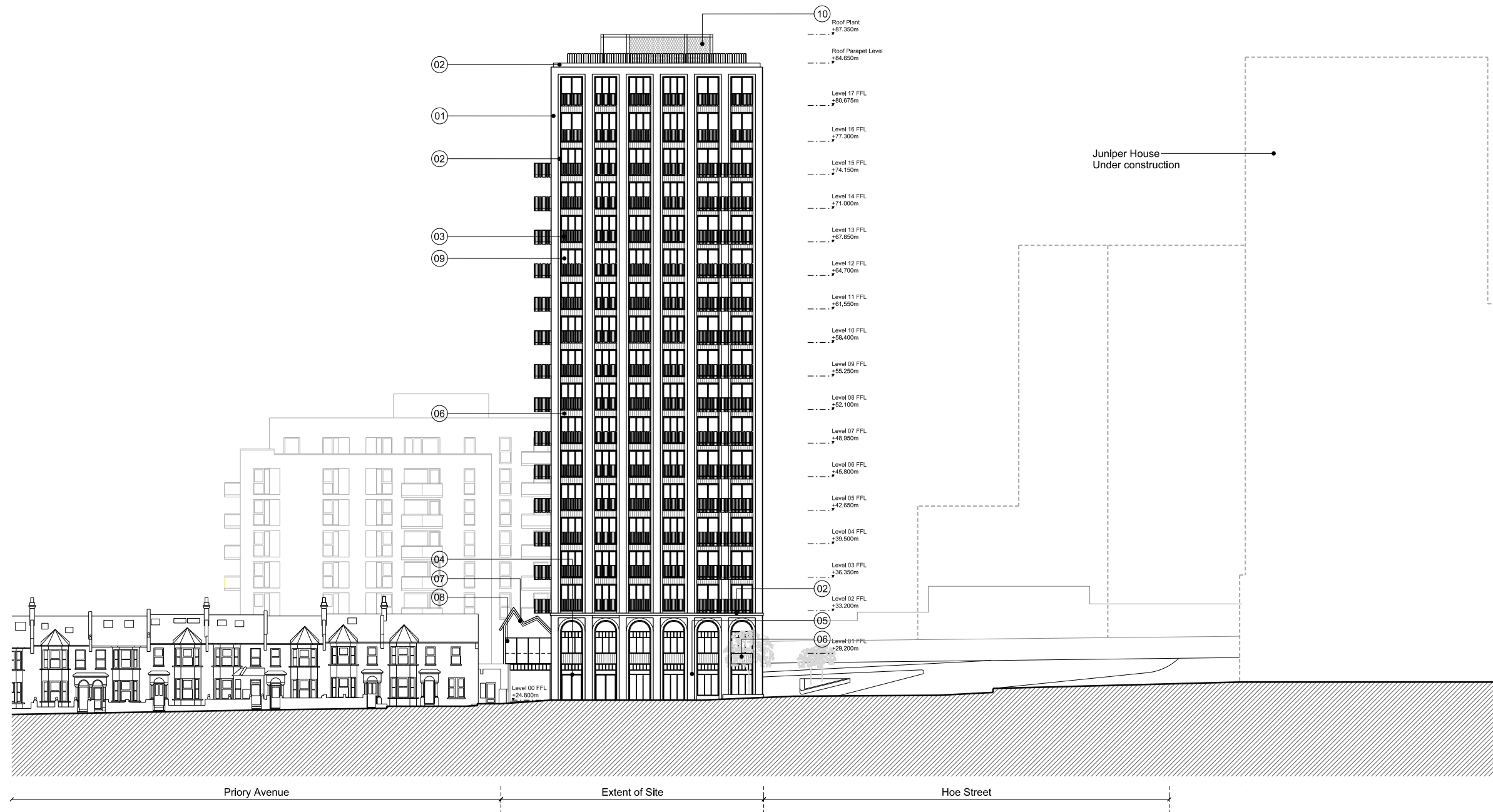
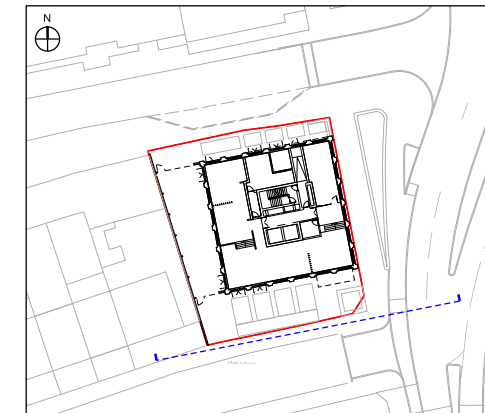
Scale at A1  
**1:200**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-GAE-302	00





**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

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- Do not scale from this drawing.

- This drawing is copyrighted.

**Key**

- 01 Vertical brickwork pier
- 02 Solder course and inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing to entrance
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Aluminium framed glazing to apartments
- 10 Decorative metal clad external doors and louvre panels

Issue	Date	By	Check	Appd
00	26/02/21	CH	HC	HC

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Tel: +44(0)20 7850 2359  
www.halarchitects.co.uk

Client  
Providence Capital Securities

Job Title  
278-284 Hoe Street

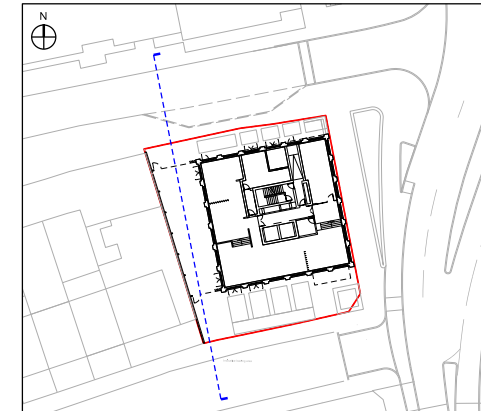
Drawing Title  
Proposed South Elevation

Scale: at A1  
1:200

Discipline  
Architectural

Drawing Status  
Planning

Job No	Drawing No	Issue
128	HAL-DR-A-GAE-303	00



**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

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- Do not scale from this drawing.

- This drawing is copyrighted.

**Key**

- 01 Vertical brickwork pier
- 02 Soldier course and Inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing to entrance
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Aluminium framed glazing to apartments
- 10 Decorative metal clad external doors and louvre panels



Station Approach      Extent of Site      Priory Avenue



Issue	Date	By	Chk	HC	HC
00	28/02/21	CH	HC	HC	

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 www.halarchitects.co.uk

Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Proposed West Elevation**

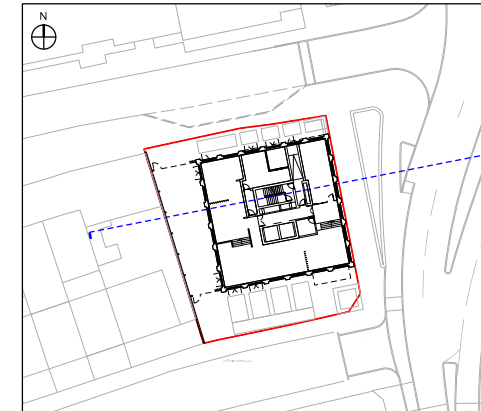
Scale at A1  
**1:200**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-GAE-304	00





**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

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**General Note**

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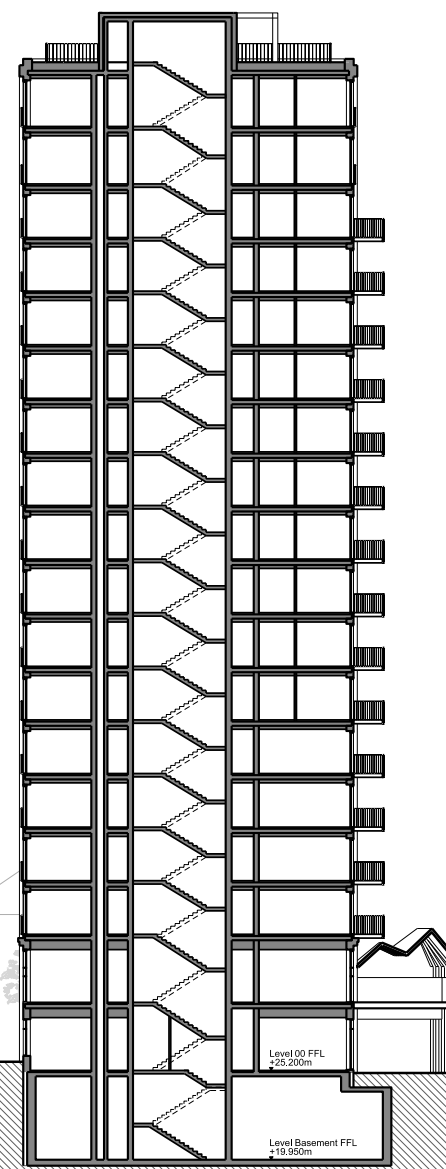
- Drawing is for information only.

- Do not scale from this drawing.

- This drawing is copyrighted.

Juniper House  
Under construction

- Roof Plant  
+87.350m
- Level 18 Roof Parapet Level  
+84.650m
- Level 18 (Roof) FFL  
+84.450m
- Level 17 FFL  
+80.675m
- Level 16 FFL  
+77.300m
- Level 15 FFL  
+74.150m
- Level 14 FFL  
+71.000m
- Level 13 FFL  
+67.850m
- Level 12 FFL  
+64.700m
- Level 11 FFL  
+61.550m
- Level 10 FFL  
+58.400m
- Level 09 FFL  
+55.250m
- Level 08 FFL  
+52.100m
- Level 07 FFL  
+48.950m
- Level 06 FFL  
+45.800m
- Level 05 FFL  
+42.650m
- Level 04 FFL  
+39.500m
- Level 03 FFL  
+36.350m
- Level 02 FFL  
+33.200m
- Level 01 FFL  
+29.200m
- Level 00 FFL  
+25.200m
- Level Basement FFL  
+19.950m



Issue	Date	By	Chkd	Appd
00	28/02/21	CH	HC	HC

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 London  
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 Tel: +44(0)20 7850 2359  
 www.halarchitects.co.uk  
 Client:  
**Providence Capital Securities**

Job Title:  
**278-284 Hoe Street**

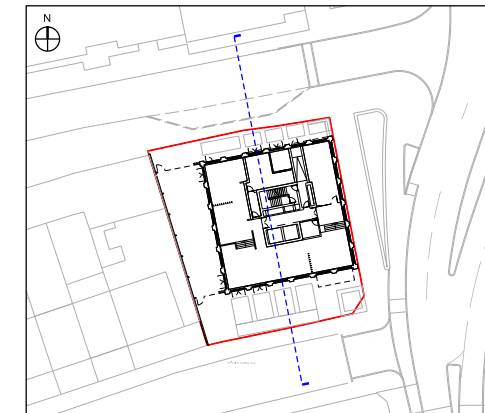
Drawing Title:  
**Proposed Section A - A**

Scale at A1:  
**1:200**

Discipline:  
**Architectural**

Drawing Status:  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-GAS-501	00



**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

- It is assumed that all works on this will be carried out by a competent Contractor working where appropriate, to be an approved method statement.

- Where applicable, significant residual risks are highlighted in the body of the drawing.

**General Note**

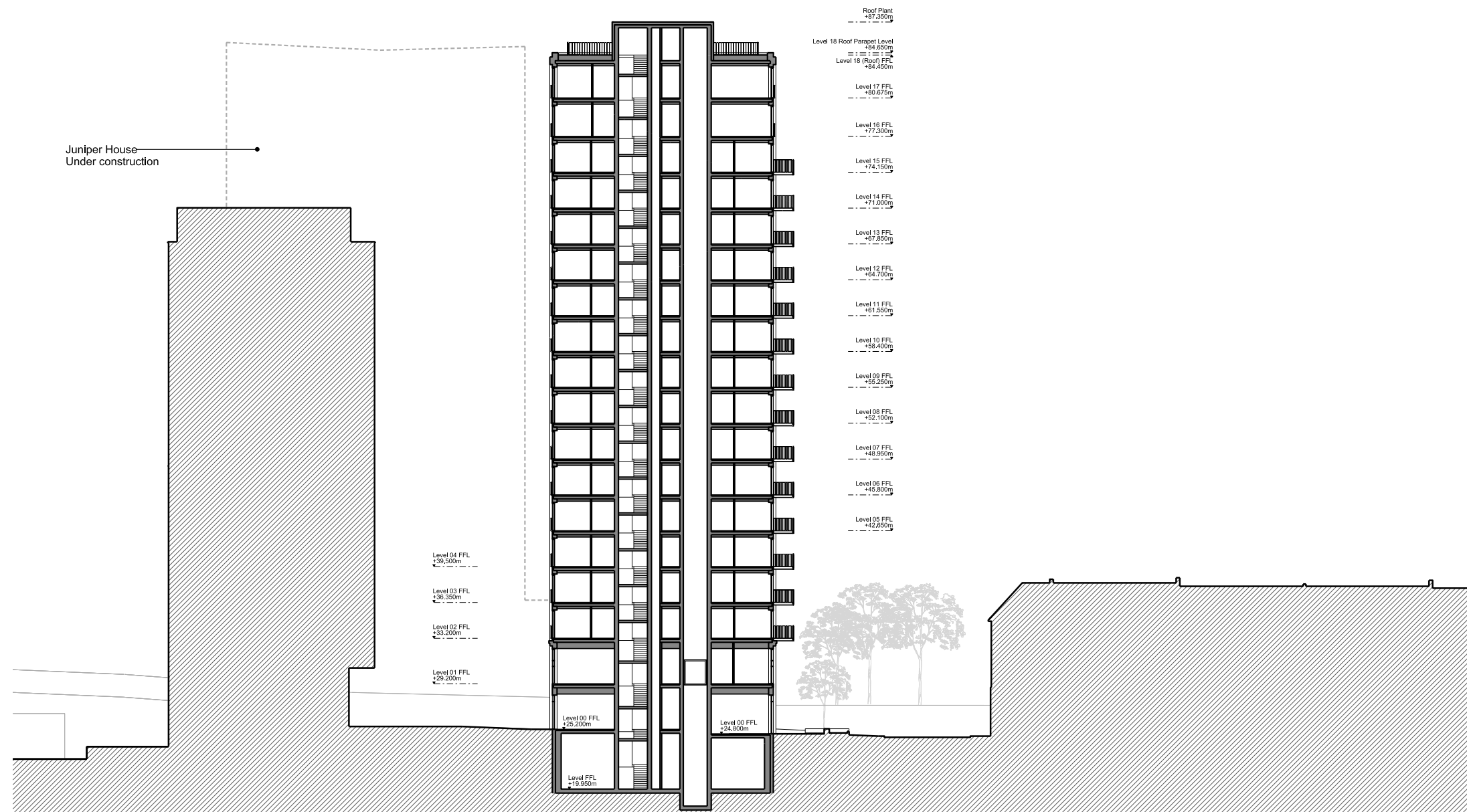
- All levels and dimensions are approximate, detailed site surveys must be carried out by Contractor before commencement on building works. All levels and dimensions to be confirmed on site.

- All existing drawing information is indicative and subject to the detailed site survey.

- Drawing is for information only.

- Do not scale from this drawing.

- This drawing is copyrighted.



Issue	Date	By	Chd	HC	HC	Appd
00	26/02/21		CH	HC	HC	

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London  
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Tel: +44(0)20 7850 2359  
www.halarchitects.co.uk

Client  
Providence Capital Securities

Job Title  
278-284 Hoe Street

Drawing Title  
Proposed Section B - B

Scale: at A1  
1:200

Discipline  
Architectural

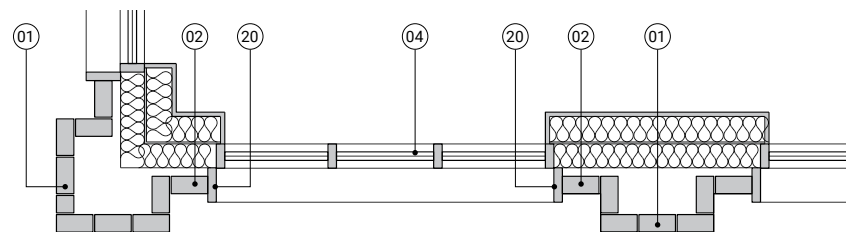
Drawing Status  
Planning

Job No	Drawing No	Issue
128	HAL-DR-A-GAS-502	00

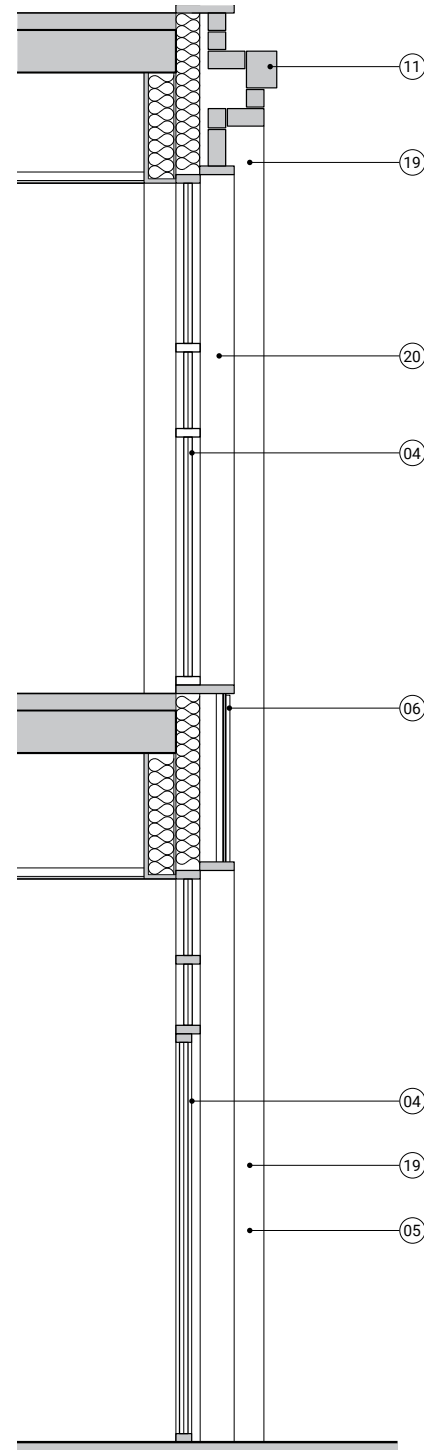




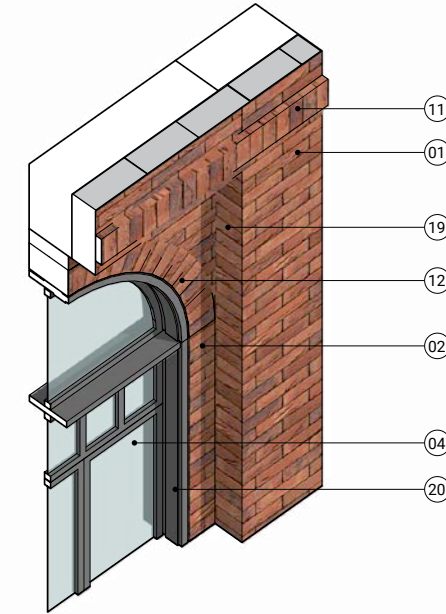
01 Ground Floor Bay Elevation



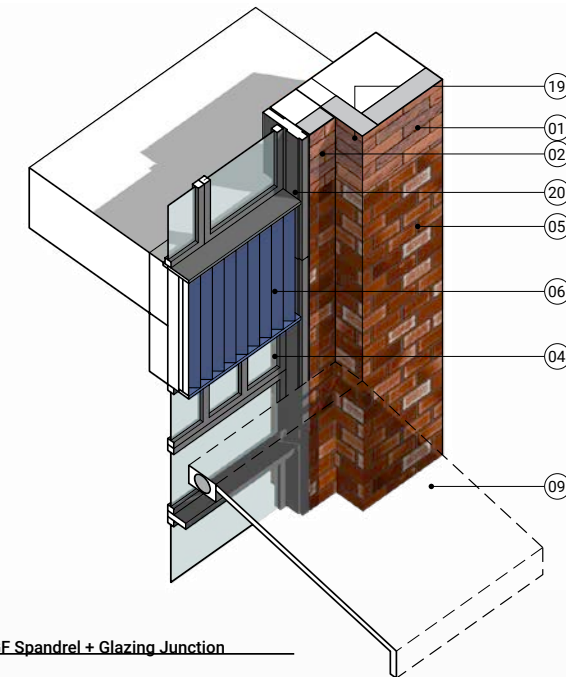
02 Ground Floor Bay Plan



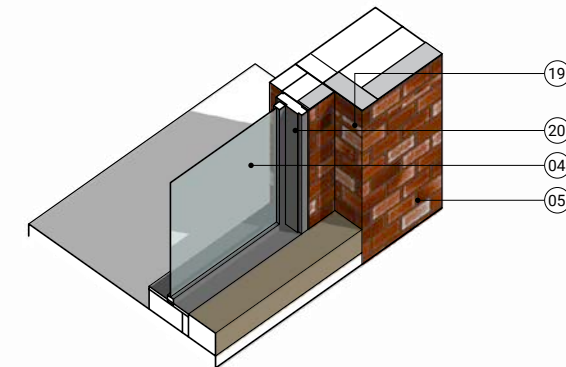
03 Section Through Ground Floor



04 1F Arched Window Junction



05 1F/GF Spandrel + Glazing Junction



06 GF Door/Glazing Junction

**Safety, Health and Environmental Information**

In addition to the hazards/risks normally associated with the types of work detailed on this drawing and noted in the Designer Risk Assessments and health and safety plan, note the following:

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**General Note**

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- All existing drawing information is indicative and subject to the detailed site survey.

- Information is for information only.

- Do not scale from this drawing.

- This drawing is copyrighted.

**Key**

- 01 Vertical brickwork pier
- 02 Inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Fabric awning
- 10 Decorative metal clad external doors and louvre panels
- 11 Brickwork soldier course
- 12 Brickwork arch
- 13 Projecting balcony fully drained
- 14 Inset balcony fully drained
- 15 Integral external solar shading shutter
- 16 Aluminium panel to top of inset glazing
- 17 natural pebble border
- 18 Stone pavours on pedestals
- 19 Full brick reveal
- 20 Aluminium reveal detail with 50mm decorative frame
- 21 Standing seam zinc roof
- 22 Steel structural sections
- 23 Elephant type grating to bicycle deck
- 24 Sliding folding perforated aluminium gates
- 25 Light gauge steel plate to form balustrade to bicycle deck
- 26 Brick wall to boundary with graphic treatment

Issue	Date	By	Chd	Appd
00	26.02.21	MM	CH	HC

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Client  
 Providence Capital Securities

Job Title  
 278-284 Hoe Street

Drawing Title  
 Proposed Typical Bay Details  
 Level 00 - 01

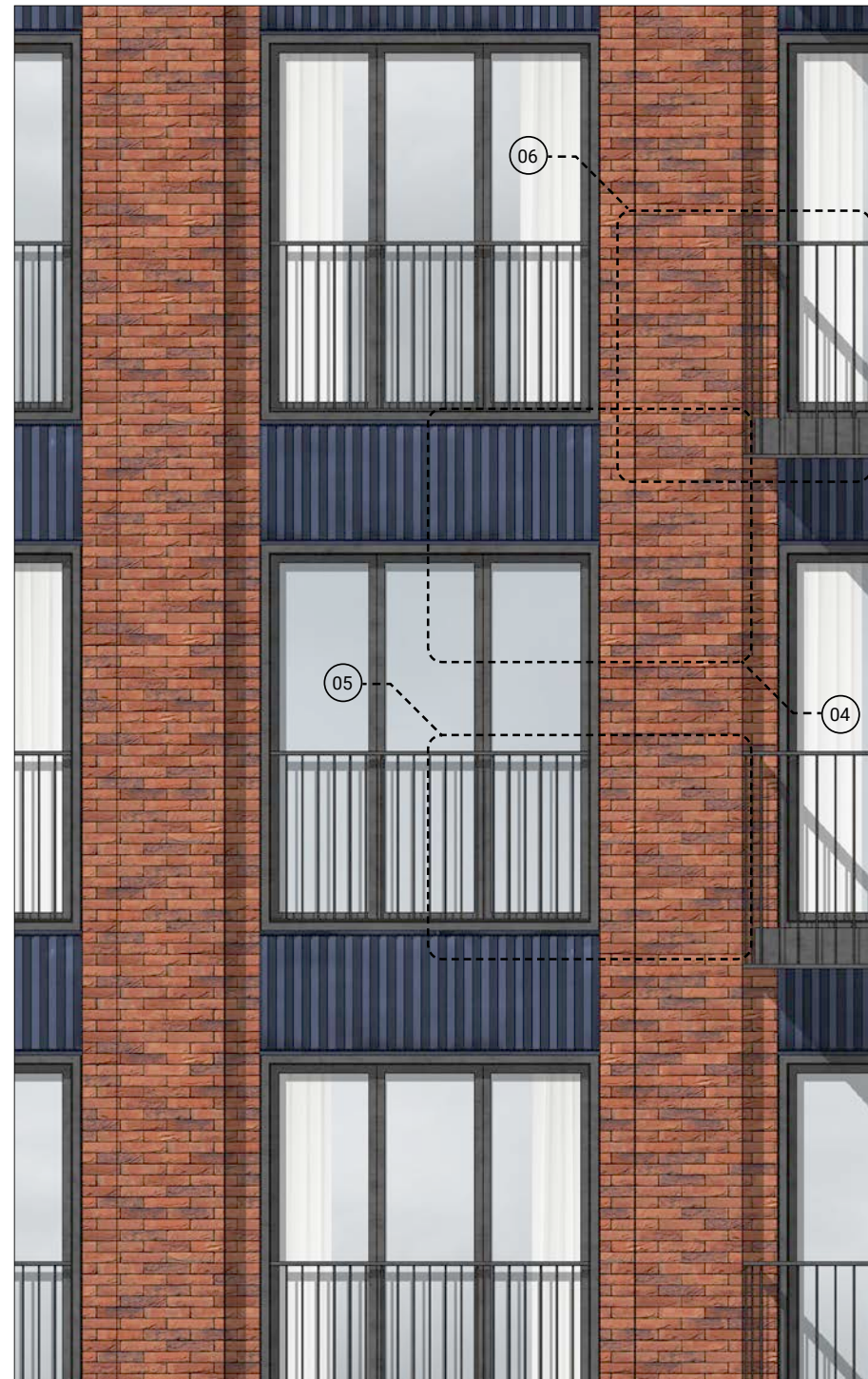
Scale at A1  
 1:20

Discipline  
 Architectural

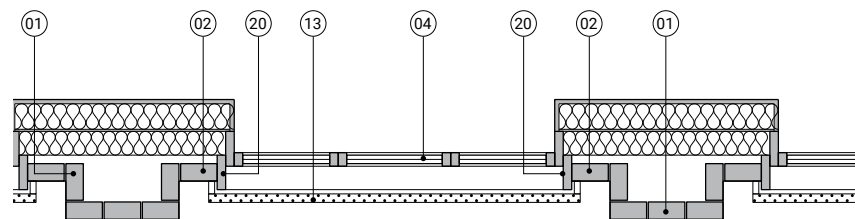
Drawing Status  
 Planning

Job No	Drawing No	Issue
128	HAL-DR-A-GAE-701	00

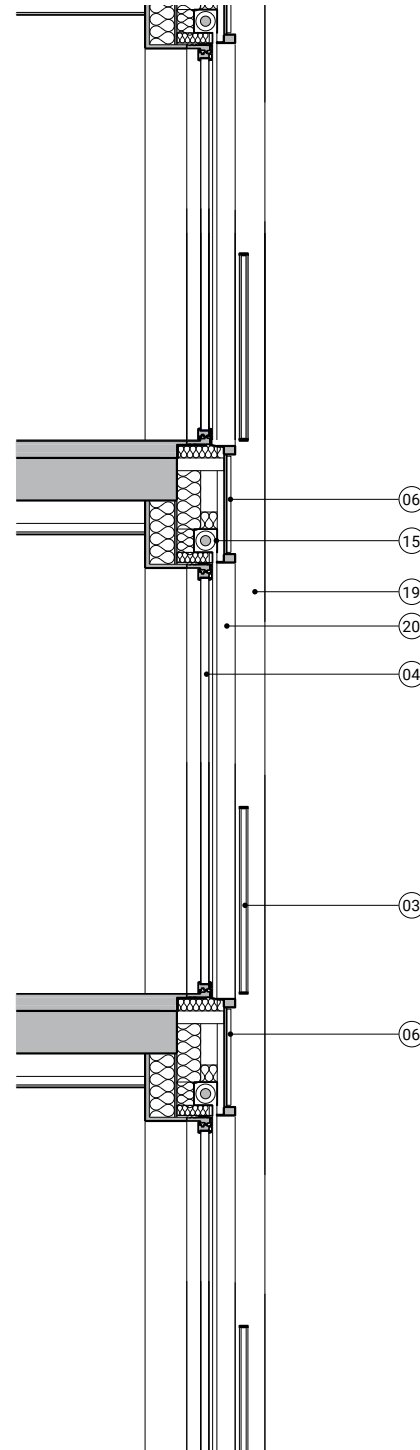




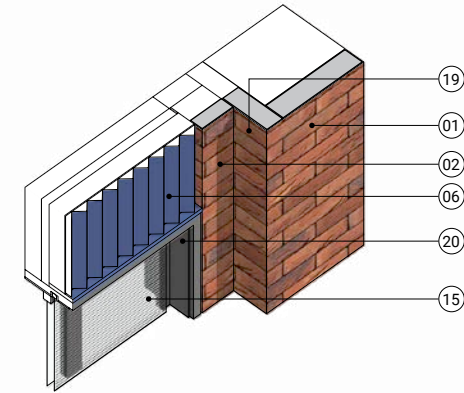
01 Typical Floor Bay Elevation



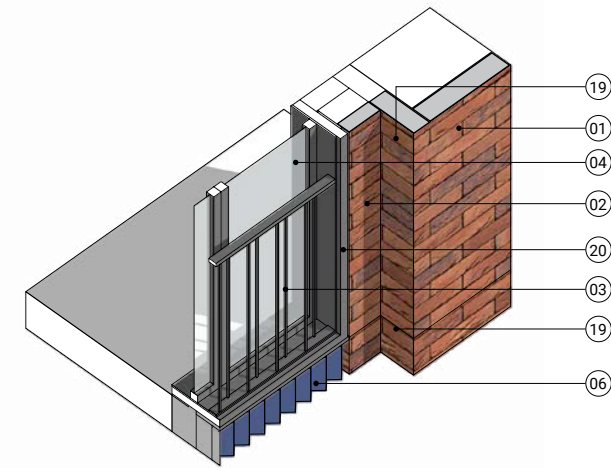
02 Typical Floor Bay Plan



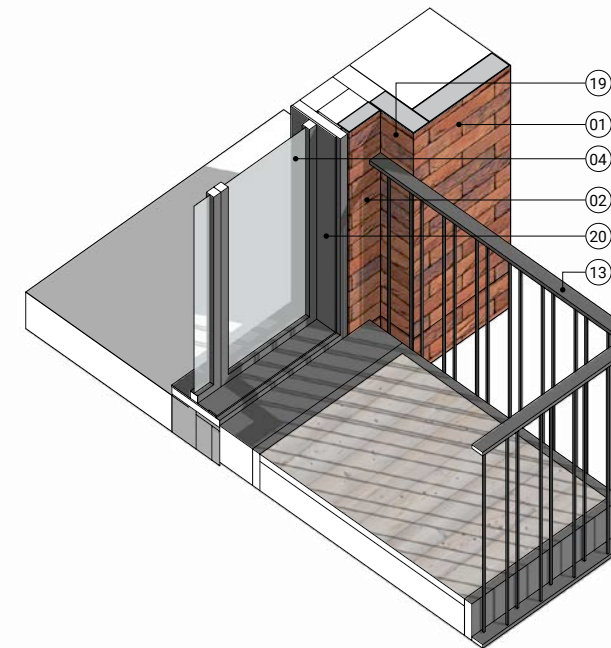
03 Section Through Typical Floor



04 Typical Floor Spandrel + Blinds Junction



05 Typical Floor Juliette Balcony



06 Typical Floor Balcony

**Safety, Health and Environmental Information**

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- This drawing is copyrighted.

**Key**

- 01 Vertical brickwork pier
- 02 Inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Fabric awning
- 10 Decorative metal clad external doors and louvre panels
- 11 Brickwork soldier course
- 12 Brickwork arch
- 13 Projecting balcony fully drained
- 14 Inset balcony fully drained
- 15 Integral external solar shading shutter
- 16 Aluminium panel to top of inset glazing
- 17 natural pebble border
- 18 Stone pavours on pedestals
- 19 Full brick reveal
- 20 Aluminium reveal detail with 50mm decorative frame
- 21 Standing seam zinc roof
- 22 Steel structural sections
- 23 Elephant type grating to bicycle deck
- 24 Sliding folding perforated aluminium gates
- 25 Light gauge steel plate to form balustrade to bicycle deck
- 26 Brick wall to boundary with graphic treatment

Issue	Date	By	Chk	Appd
00	26.02.21	MM	CH	HC

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Job Title  
 278-284 Hoe Street

Drawing Title  
 Proposed Typical Bay Details  
 Level 03 - 04

Scale at A1  
 1:20

Discipline  
 Architectural

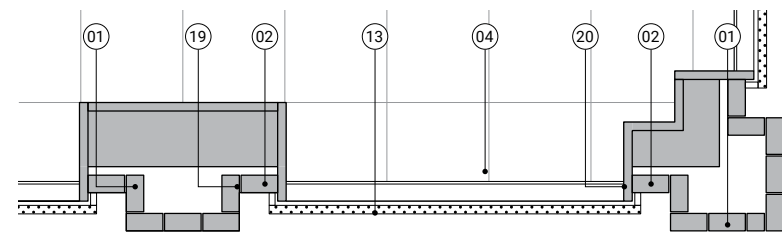
Drawing Status  
 Planning

Job No	Drawing No	Issue
128	HAL-DR-A-GAE-702	00

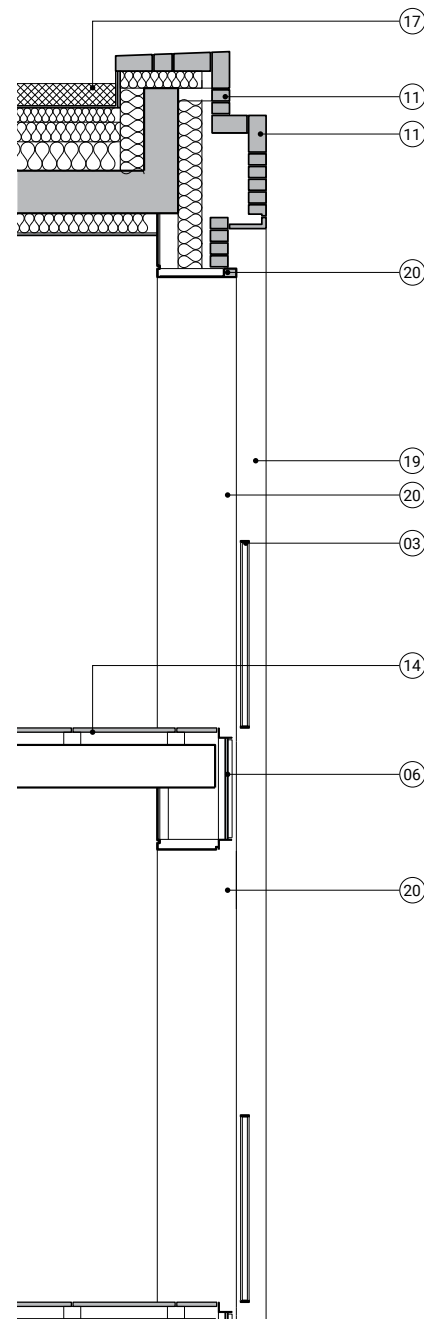




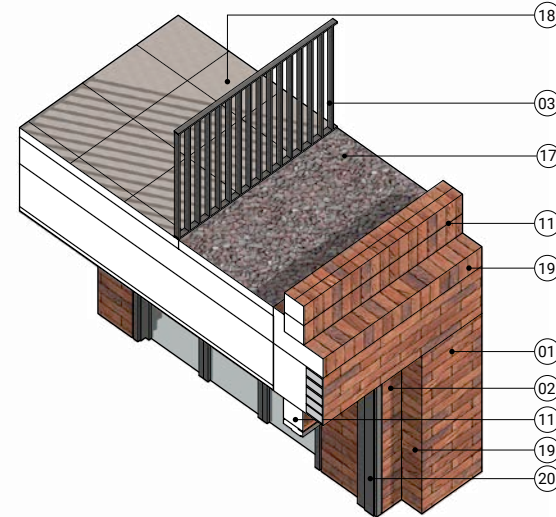
01 Top Floor Bay Elevation



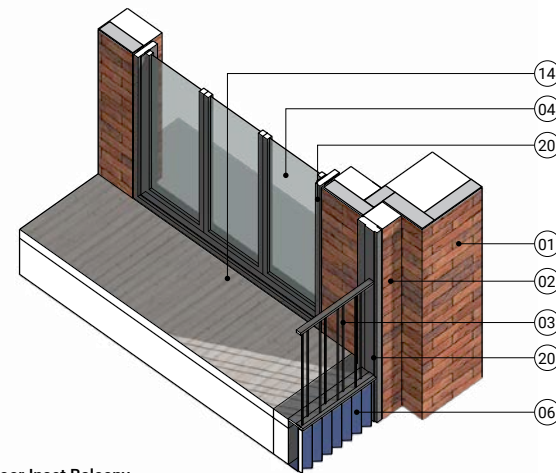
02 Top Floor Bay Plan



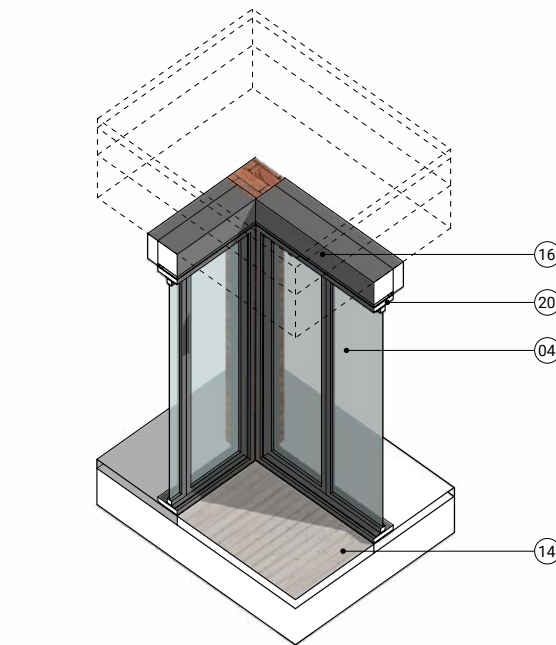
03 Section Through Top Floor



04 Top Floor/Roof Parapet Junction



05 Top Floor Inset Balcony



06 Top Floor Inset Balcony Glazing

**Safety, Health and Environmental Information**

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**Key**

- 01 Vertical brickwork pier
- 02 Inset brickwork
- 03 Metal balustrade
- 04 Aluminium framed glazing
- 05 Glazed brick to lower level
- 06 Ceramic glazed spandrel panel
- 07 Steel structure with metal clad roof to yard
- 08 Metal cladding to cycle store
- 09 Fabric awning
- 10 Decorative metal clad external doors and louvre panels
- 11 Brickwork soldier course
- 12 Brickwork arch
- 13 Projecting balcony fully drained
- 14 Inset balcony fully drained
- 15 Integral external solar shading shutter
- 16 Aluminium panel to top of inset glazing
- 17 natural pebble border
- 18 Stone pavilions on pedestals
- 19 Full brick reveal
- 20 Aluminium reveal detail with 50mm decorative frame
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- 25 Light gauge steel plate to form balustrade to bicycle deck
- 26 Brick wall to boundary with graphic treatment

Issue	Date	By	Checked	Approved
00	26.02.21	MM	CH	HC

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Client  
 Providence Capital Securities

Job Title  
 278-284 Hoe Street

Drawing Title  
 Proposed Typical Bay Details  
 Level 16 - 17

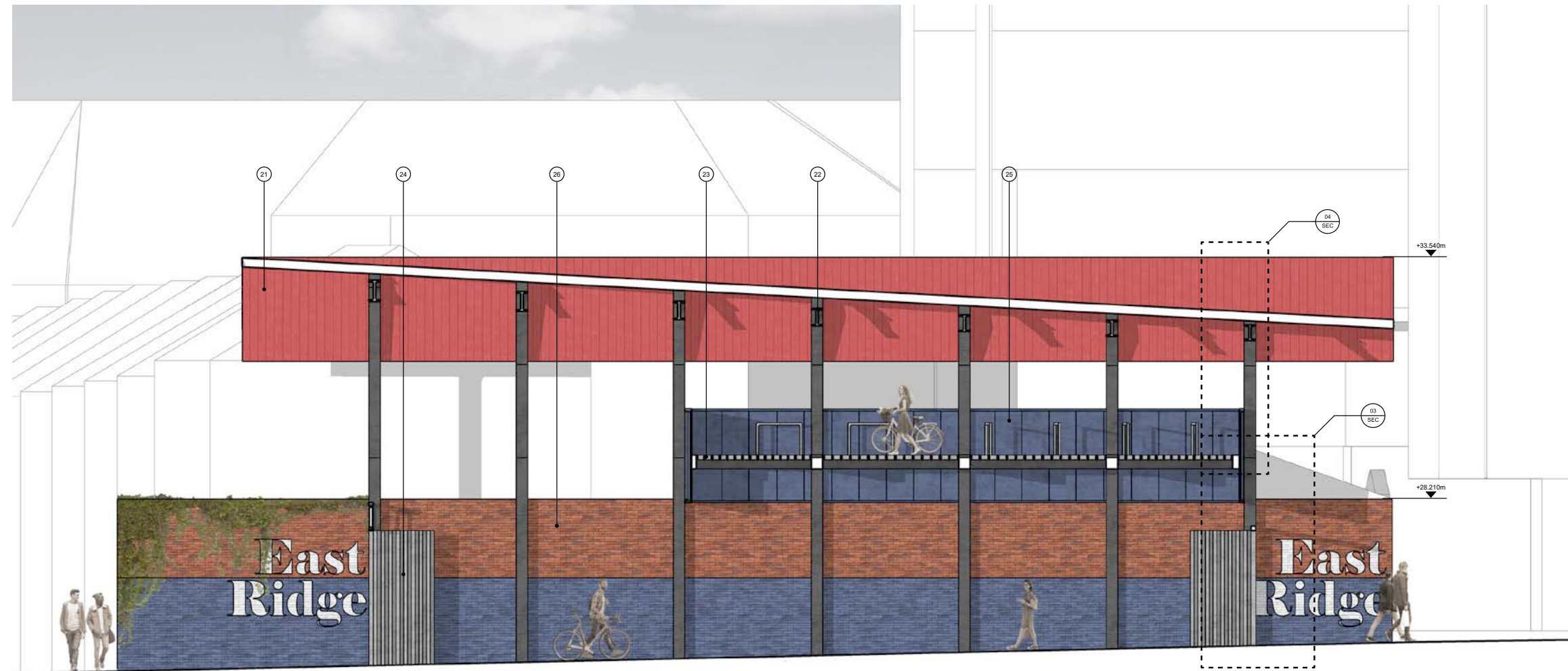
Scale at A1  
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Discipline  
 Architectural

Drawing Status  
 Planning

Job No	Drawing No	Issue
128	HAL-DR-A-GAE-703	00

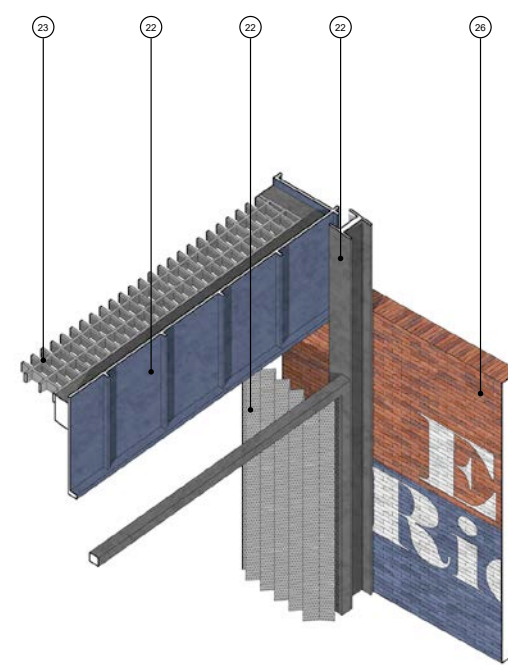




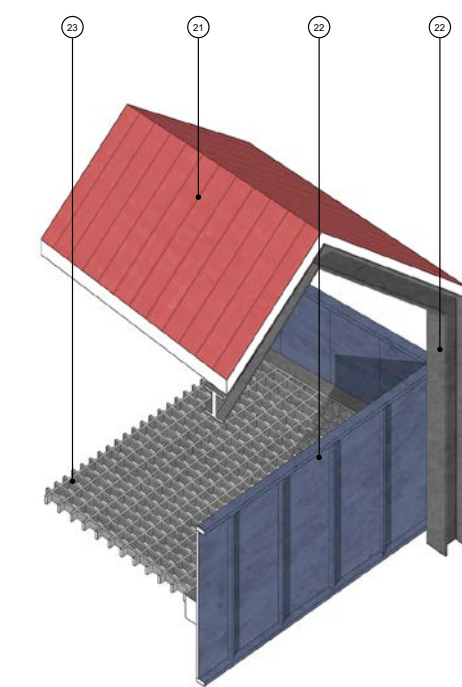
01 Yard Section  
100



02 Yard South Elevation  
150



03 Yard Axonometric Detail 1



04 Yard Axonometric Detail 2

**Safety, Health and Environmental Information**

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- Key**
- 01 Vertical brickwork pier
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  - 03 Metal balustrade
  - 04 Aluminium framed glazing
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  - 10 Decorative metal clad external doors and louvre panels
  - 11 Brickwork soldier course
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  - 26 Brick wall to boundary with graphic treatment

Issue	Date	By	Chk	Appd
01	26.02.21	JC	CH	HC

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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

Drawing Title  
**Proposed Yard Details - Levels 00 - 01**

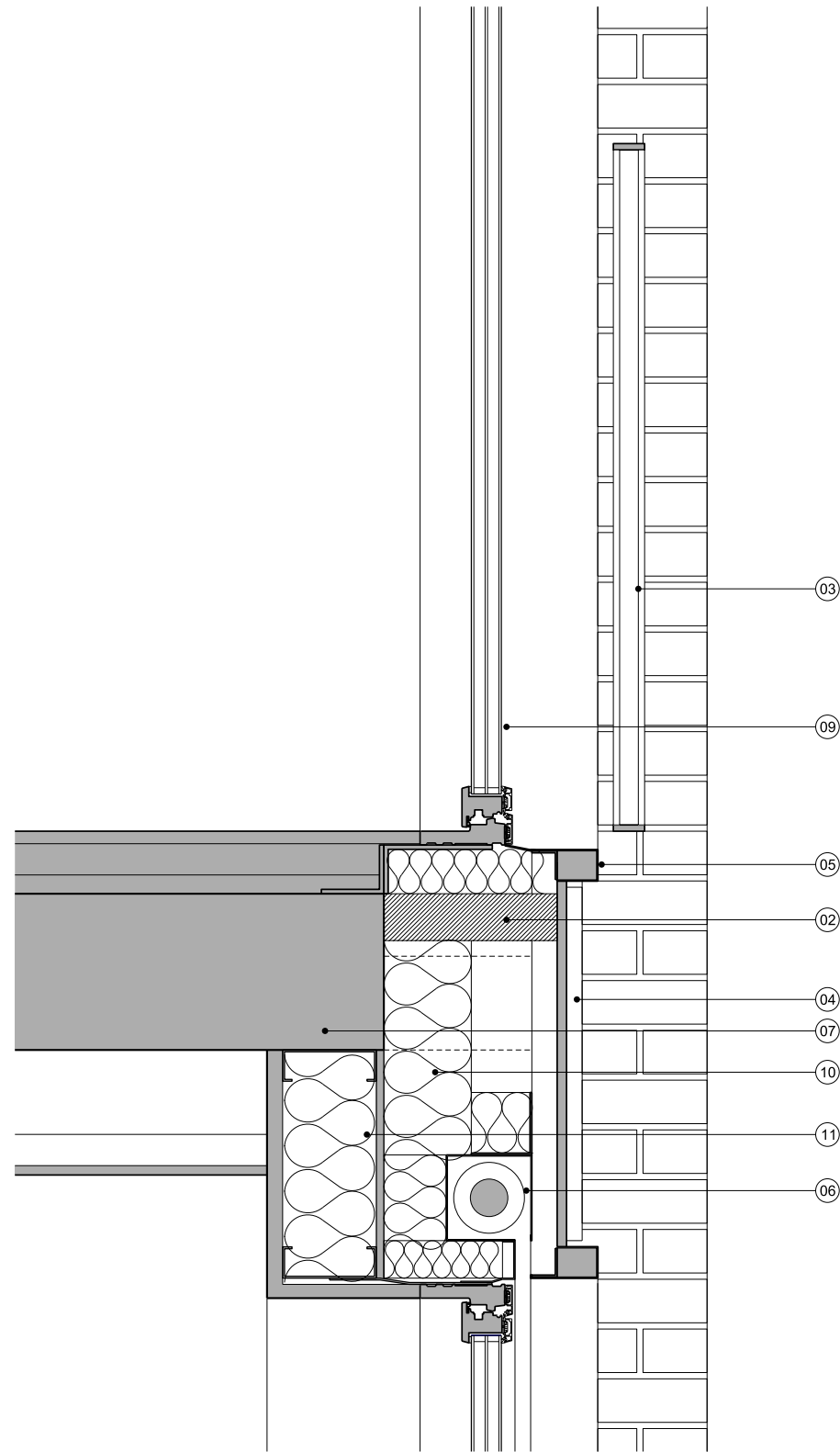
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Discipline  
**Architectural**

Drawing Status  
**Planning**

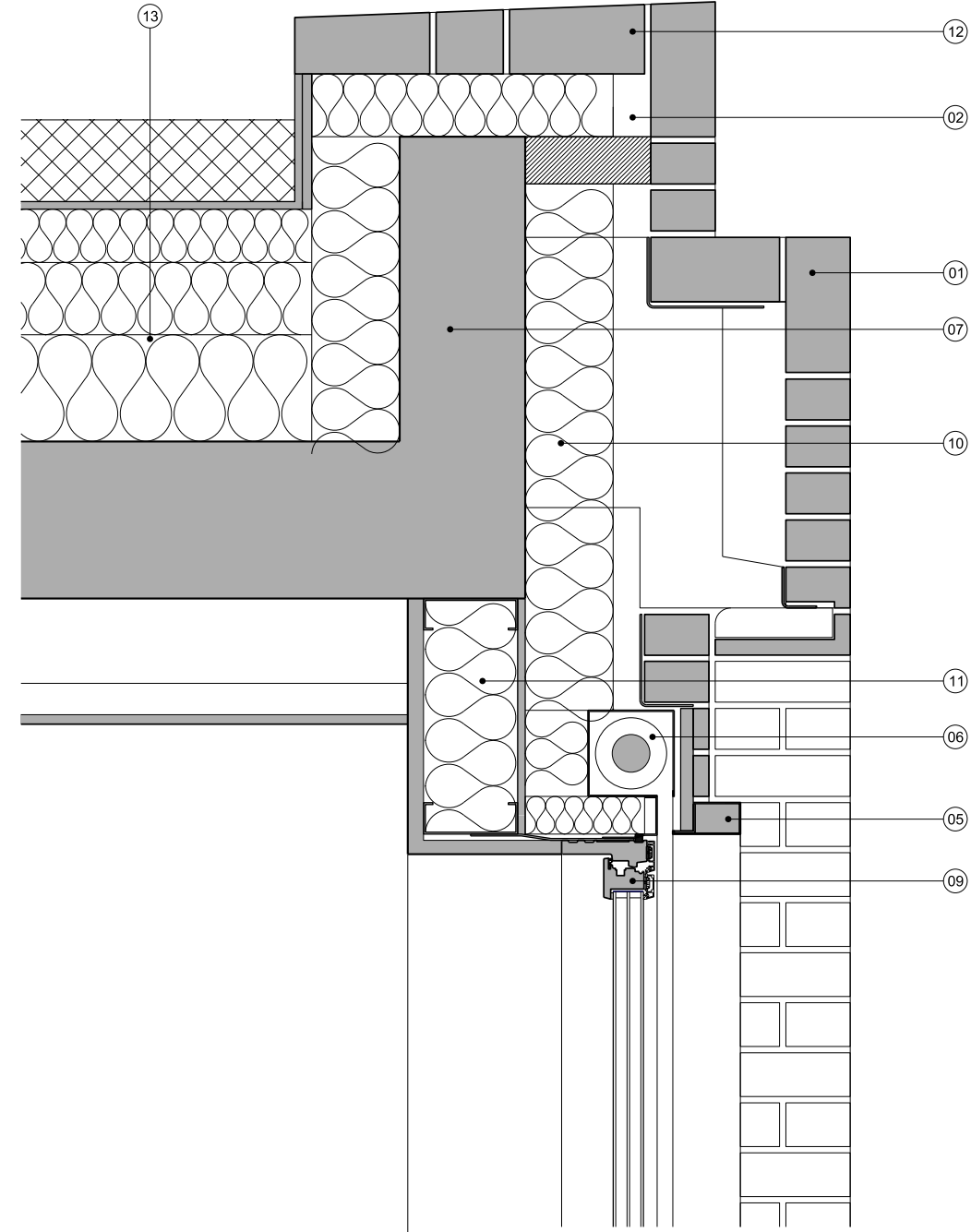
Job No	Drawing No	Issue
128	HAL-DR-A-GAE-704	00





**Detail 01**  
Typical Apartment Detail - External Wall Window / Spandrel Detail

**Note:**  
Concept details for planning purposes only, not for construction.  
All materials and products shown are indicative only.



**Detail 02**  
Typical Apartment Detail - External Wall Window / Parapet Detail

**Note:**  
Concept details for planning purposes only, not for construction.  
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**Key**

- 01 Facing brick tied back to structure
- 02 Fire barrier
- 03 Metal balustrade
- 04 Ceramic glazed spandrel panel fixed back to steel sub frame
- 05 Aluminium frame around window
- 06 Metal roller shutter concealed behind spandrel panel
- 07 Concrete structure
- 08 Structural thermal break
- 09 High quality windows to achieve thermal, acoustic and G-values as set out in consultant documentation
- 10 50mm air void, 140mm insulation, breather membrane and 12mm sheathing board
- 11 150mm insulated SFS with 2 layers of plasterboard
- 12 Brick coping on support
- 13 3 layers of insulation (170mm, 115mm and 85mm), 12mm waterproofing membrane and roof finish as per HAL roof drawing
- 14 Porcelain tile finish to balcony
- 15 PPC Steel angle to edge of balcony
- 16 Balcony structure

Issue	Date	By	Chkd	Appd
00	26/02/21	CH	HC	HC

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Client  
**Providence Capital Securities**

Job Title  
**278-284 Hoe Street**

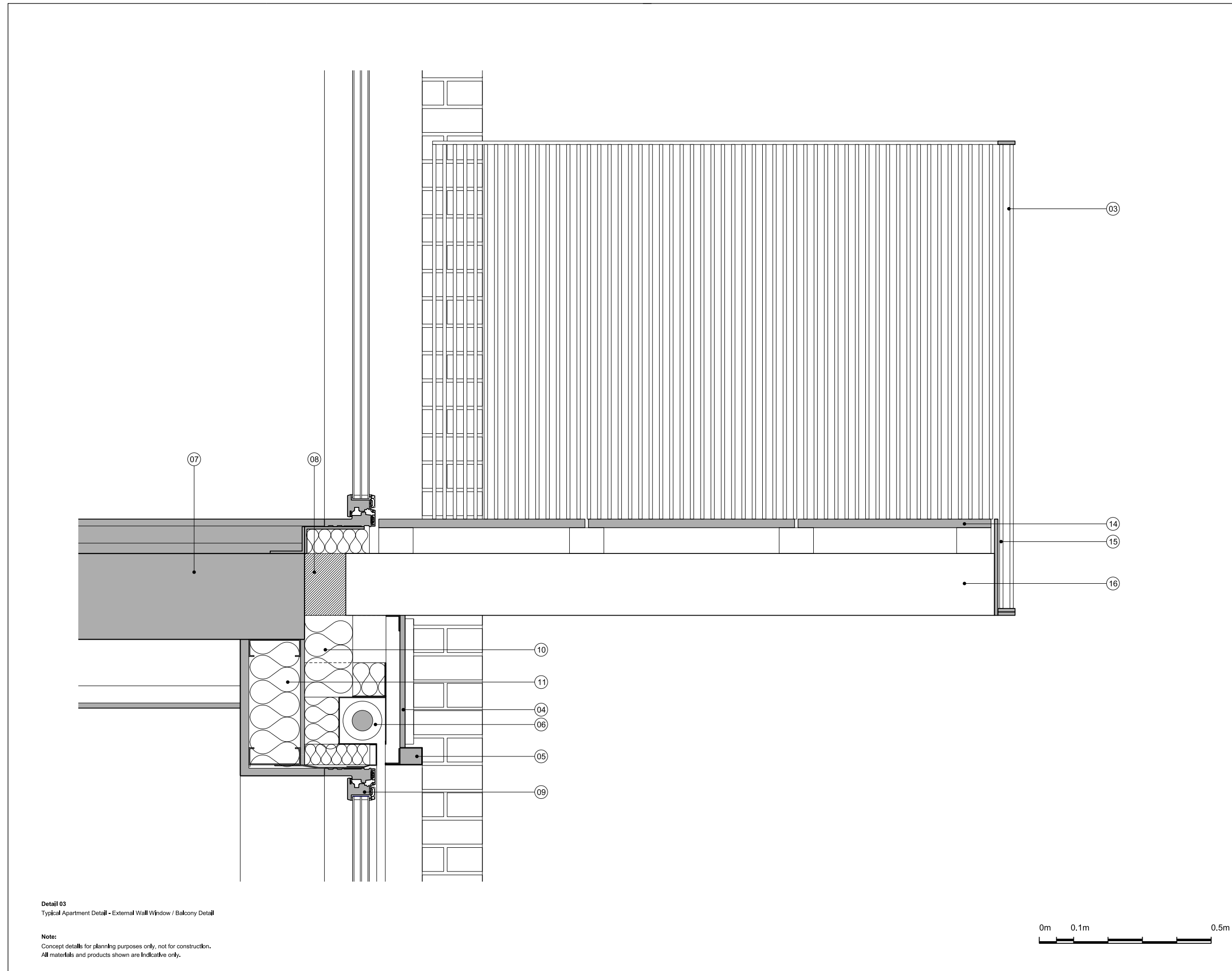
Drawing Title  
**Typical Sketch Details Sheet 01**

Scale at A1  
**1:25**

Discipline  
**Architectural**

Drawing Status  
**Planning**

Job No	Drawing No	Issue
128	HAL-DR-A-DET-501	00



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- 14 Porcelain tile finish to balcony
- 15 PPC Steel angle to edge of balcony
- 16 Balcony structure

**Detail 03**  
Typical Apartment Detail - External Wall Window / Balcony Detail

**Note:**  
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Issue	Date	By	Chd	HC	HC
00	25/02/21				

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Client  
**Providence Capital Securities**

Job Title  
278-284 Hoe Street

Drawing Title  
Typical Sketch Details Sheet 02

Scale: at A1  
1:5

Discipline  
Architectural

Drawing Status  
Planning

Job No	Drawing No	Issue
128	HAL-DR-A-DET-502	00



