

# Report to Planning Committee

**23 October 2024**

<b>Application reference</b>	DC/24/69562
<b>Application address</b>	114 Scott Road, Great Barr, B43 6JU.
<b>Application description</b>	Proposed single storey front extension, and single and two storey rear and side extension.
<b>Application received</b>	2 July 2024
<b>Ward</b>	Great Barr with Yew Tree
<b>Contact officer</b>	Anjan Dey <a href="mailto:anjan_dey@sandwell.gov.uk">anjan_dey@sandwell.gov.uk</a>

## 1. Recommendations

That planning permission is granted subject to the following conditions relating to:

- i) External materials shall match those of the existing property;
- ii) Implementation of approved parking spaces and retention thereafter.

## 2. Reasons for Recommendations

- 2.1 The proposal is acceptable as it has no significant impact on the amenity of the surrounding residents and the design and scale assimilates into the surrounding area.

### 3. How does this deliver objectives of the Council Plan?

Living in Sandwell	Safe and affordable homes.
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#### 4. Context

- 4.1 The application is being reported to Planning Committee as the agent is an employee of Sandwell MBC.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[114 Scott Road, Great Barr.](#)

#### 5. Key Considerations

- 5.1 The site is not allocated in the development plan.
- 5.2 Material planning considerations (MPCs) are matters that can and should be taken into account when making planning decisions. By law, planning decisions should be made in accordance with the development plan unless MPCs indicate otherwise. This means that if enough MPCs weigh in favour of a development, it should be approved even if it conflicts with a local planning policy.
- 5.3 The material planning considerations which are relevant to this application are:
- Government policy (NPPF)
  - Planning history (including appeal decisions)
  - Amenity concerns – overlooking/loss of privacy, loss of light and/or outlook and overshadowing
  - Design concerns - appearance and materials, layout and density of building, wider visual amenity and overdevelopment

## 6. The Application Site

6.1 The application site is situated on the north side of Scott Road, Great Barr in a residential area.

## 7. Planning History

7.1 This revised planning application follows refusal of a previous application for proposed two storey front/side and single storey front and rear extensions with loft conversion and roof extension to rear.

7.2 Relevant planning applications are as follows:

DC/24/69149	Description: Proposed two storey front/side and single storey front and rear extensions with loft conversion and roof extension to rear.	Decision and date: Refuse permission 19.06.2024.
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## 8. Application Details

8.1 This revised application is for proposed single storey front extension, single and two storey rear and side extension, as well as loft conversion including a rear dormer. At ground floor level the kitchen and dining room are to be extended, and front lounge is to be extended with a new playroom created also at the front of the property. At first floor level, a new fourth bedroom is to be created along, with a fifth bedroom at roof level with ancillary storage space. The site plan shows that three off road spaces can be provided at the front of the property and there is an existing dropped kerb that serves the property.

- 8.2 Amended plans have been received which improve the scale of the rear dormer so that is proportionate to the existing roof. Furthermore, the depth of the single storey rear extension (flat roof) and two storey rear extension has been reduced to 4 metres from 4.83 metres originally proposed, to reduce its impact on the adjoining property. The single storey extension has also been stepped in away from the boundary to the adjoining neighbour.
- 8.3 Inclusive of the the above changes, the applicant has submitted further amended plans which show the proposed front extension reduced in width and a lowered ridge height to the rear extension.

## **9. Publicity**

- 9.1 The application has been publicised by five neighbour notification letters. One objection has been received that has been submitted by a planning consultant.
- 9.2 Objections have been received on the following grounds:
- i) Poor design - possible terracing effect as the property to the west has built a similar two storey side extension;
  - ii) The proposed side extension is contrary to national planning policy (NPPF) and also local polices/Residential Design SPD; and
  - iii) Concerns re: loss of light and outlook to the rear of their property due to the overbearing nature of the proposals

These objections will be addressed in under paragraph 13 (Material considerations).

The objector has also been consulted on the amended plans without response.

## **10. Consultee responses**

None consulted.

## **11. National Planning Policy Framework (NPPF)**

11.1 The framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.

11.2 The NPPF sets out government's planning policies for England and how these are expected to be applied. Having considered the merits of the proposal, I am of the opinion that the scheme is of a good design and would assimilate into the overall form and layout of the site's surroundings; in accordance with the design principles of the NPPF.

11.3 The framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.

## **12. Development Plan Policy**

12.1 The following policies of the council's development plan are relevant:

### **Black Country Core Strategy (BCCS)**

ENV3 – Design Quality

### **Site Allocations and Delivery Development Plan Document – (SADD)**

SAD EOS 9 - Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be acceptable.

### **13. Material Considerations**

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

#### **13.2 Amenity concerns – overlooking/loss of privacy, loss of light and/or outlook and overshadowing**

The revised proposal differs from the previously refused application in that the two-storey rear extension adjacent to the objector's property has now been replaced with a single storey extension only. Having visited the site, it is noted that the adjoining property has an open-plan arrangement at ground floor level which allows sufficient light to primary rooms throughout the day. Notwithstanding this, the depth of the single storey rear extension has been reduced to 4 metres to allow a more comfortable arrangement with rear primary windows the adjoining property. It has also been stepped in away from the separating boundary fence by around 400mm, and any breach of the 45-degree code that is used for guidance in such matters would not be to a level that warrants refusal. It is also considered that the depth of the two-storey rear extension at the western side of the property has also been reduced to 4 metres.

#### **13.3 Design Concerns – Terracing effect and Out of Character with surrounding area**

Design, particularly the double storey side extensions in my view now adheres to adopted policies ENV3 (Design Quality) and EOS9 (Urban Design Principles), and also the authority's Residential Design SPD that states such extensions should be subservient to the original dwelling.

The plans show that the two-storey side extension is to be setback at the front elevation, as recommended in the guidance for this type of semi-detached property. It is noted that the neighbour to the west has a similar two storey side extension, but the proposals would not radically alter the character or appearance of the property in my view to a level that would be detrimental to the street scene or character of the area.

- 13.4 The site plan shows that there would still be a gap between 114 and the house to the west; there would not be any shared side walls which is the case with terraced dwellings. It also noted that building lines are staggered along this part of Scott Rd. The extract from the NPPF quoted by the Planning Consultant doesn't specifically relate to domestic extensions, and arguably carries more weight when considering housing developments or minor dwellings in my view.

## **14. Conclusion and planning balance**

- 14.1 All decisions on planning applications should be based on an objective balancing exercise. This is known as applying the “planning balance”. It is established by law that planning applications should be refused if they conflict with the development plan unless material considerations indicate otherwise. This essentially means that the positive impacts of a development should be balanced against its negative impacts.
- 14.2 On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.

## **15. Alternative Options**

- 15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

## 16. Implications

<b>Resources:</b>	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.
<b>Legal and Governance:</b>	This application is submitted under the Town and Country Planning Act 1990.
<b>Risk:</b>	None.
<b>Equality:</b>	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
<b>Health and Wellbeing:</b>	None.
<b>Social Value</b>	None.
<b>Climate Change</b>	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

## 17. Appendices

### 17.1 Plans for consideration

Location Plan – 1

Amended ground/first floor & loft plan - 03 Rev D

Amended proposed elevations plan – 04 Rev D

Site Plan – 01 Rev G



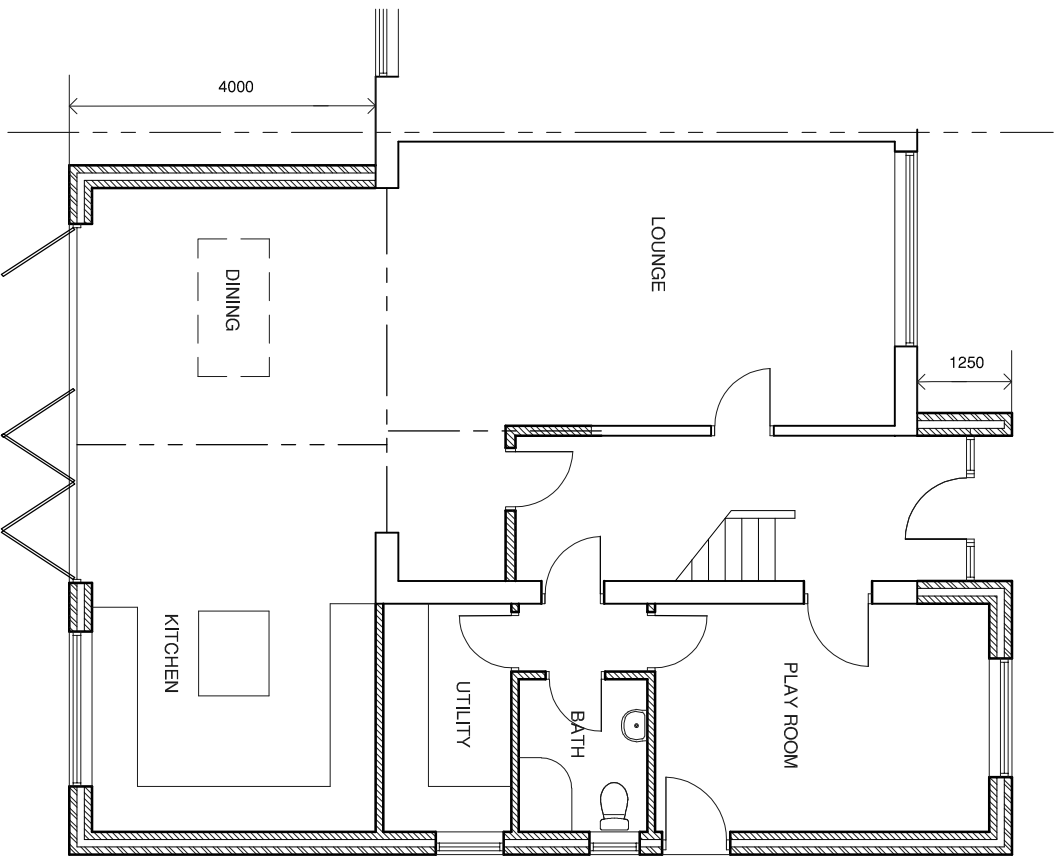


### 114 Scott Road, Birmingham, B43 6JU

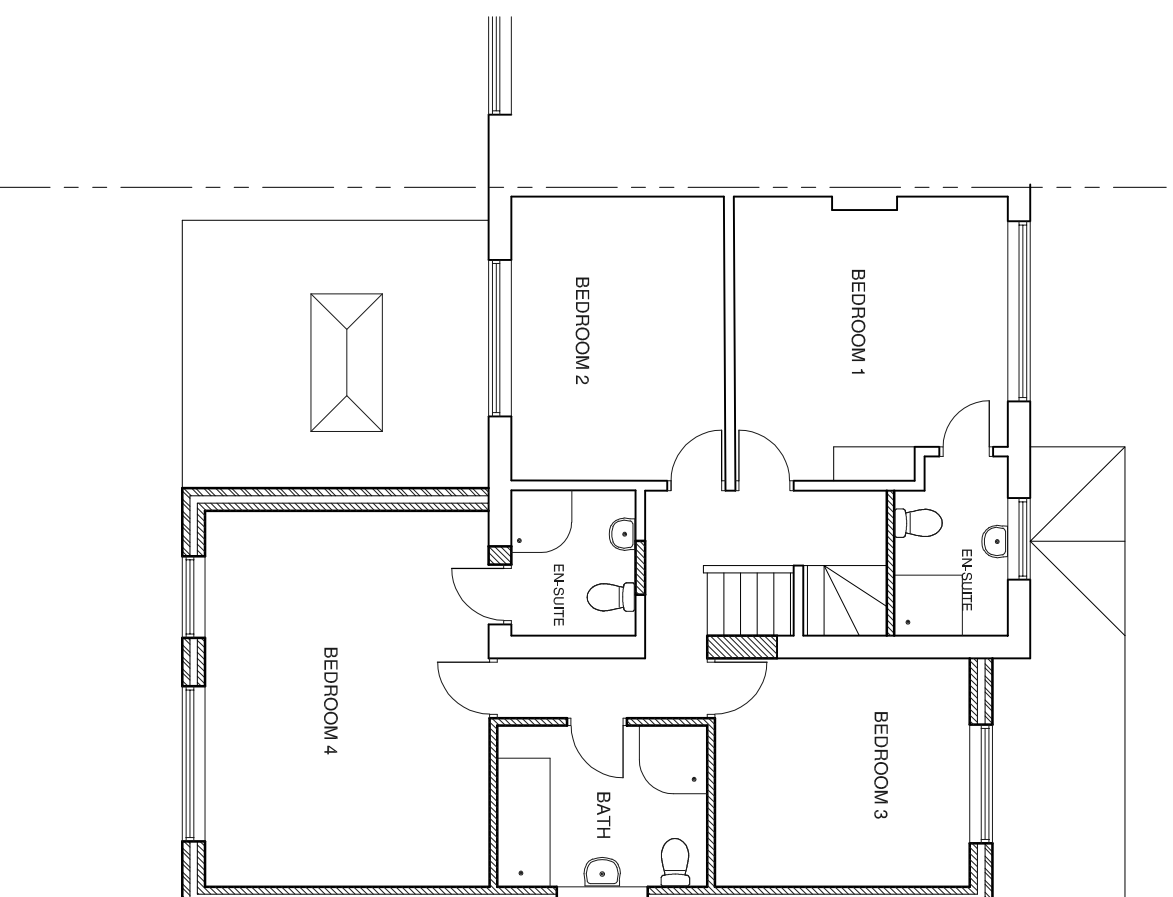


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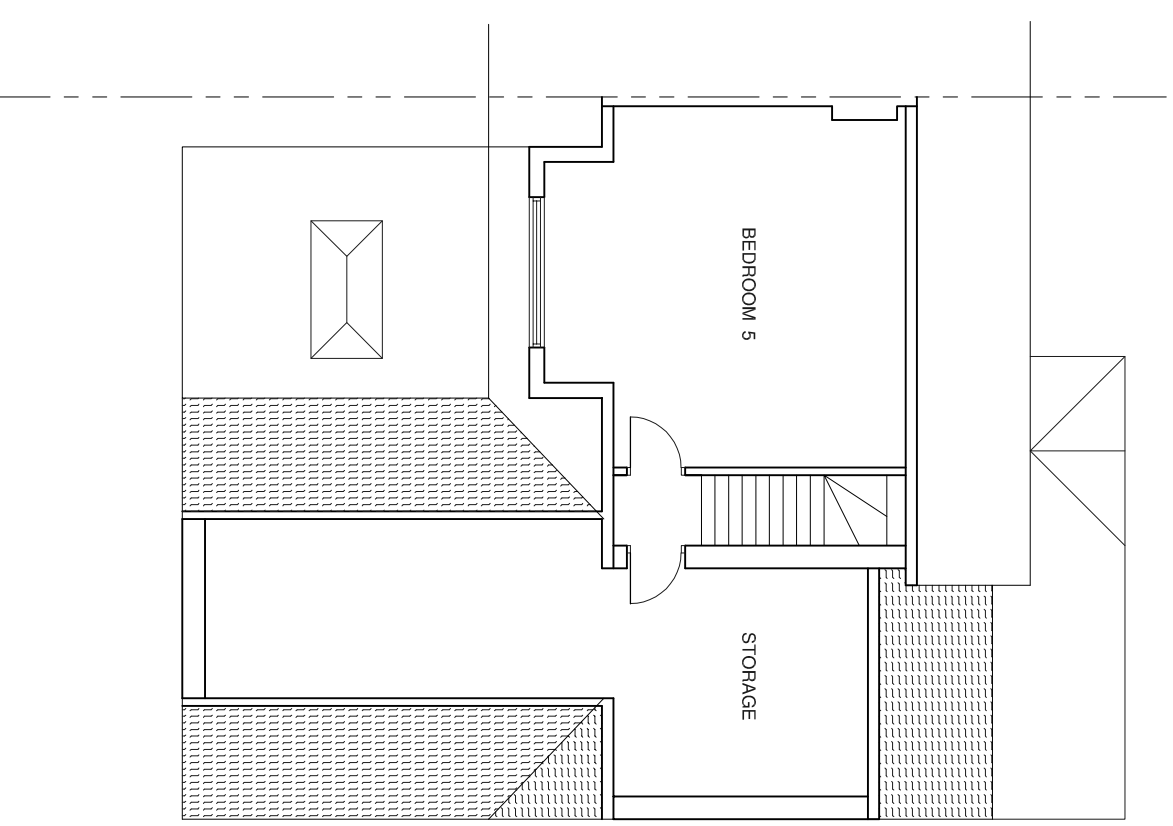




Ground Floor Plan scale 1:100

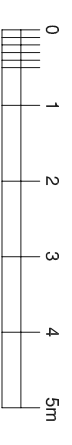


First Floor Plan scale 1:100

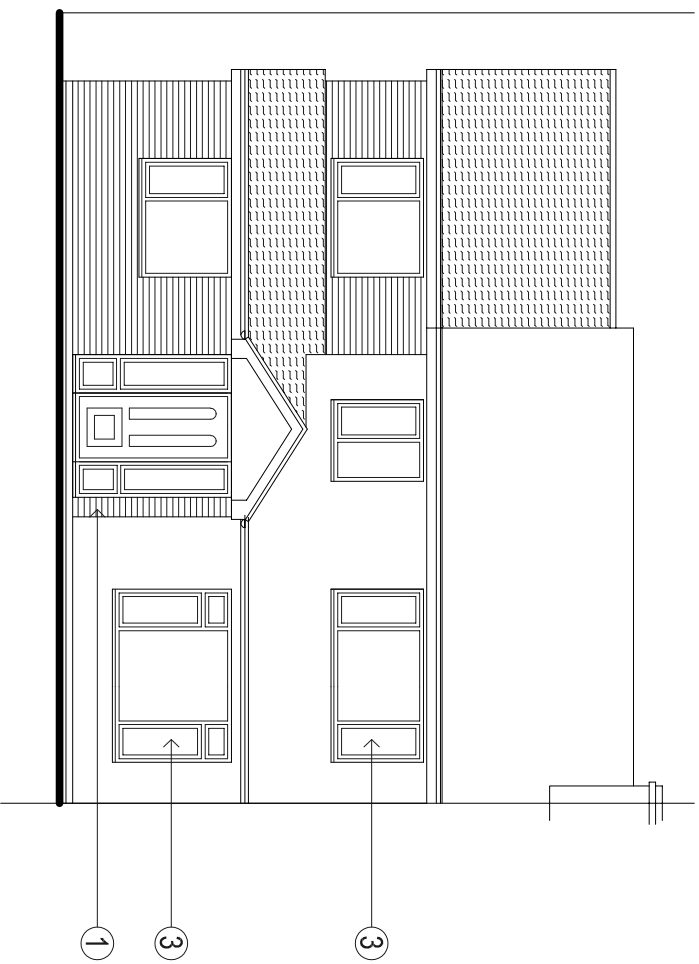


Loft Floor Plan scale 1:100

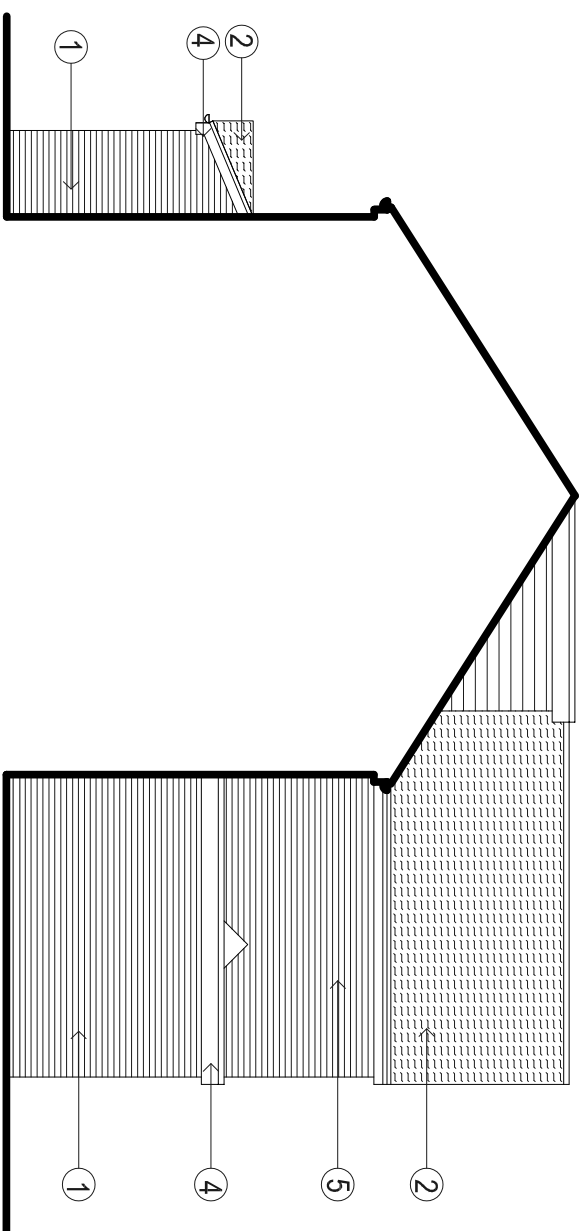
- Rev D Lounge extension removed 11/10/24
- Rev C Rear extension reduced to 4m 12/09/24
- Rev B Extension reduced and dormer lowered 30/08/24
- Rev A Updated following planning objections 01/07/24



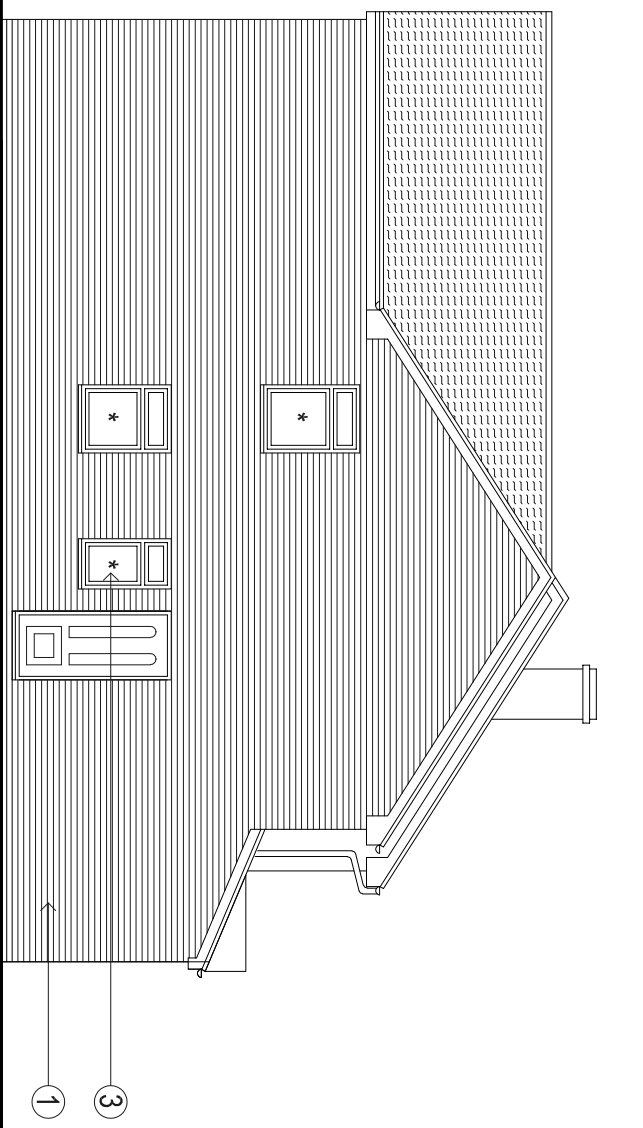
DATE Feb 24	OWNER	LOCATION 114 Scott Road, Great Barr, Birmingham B43 6JU	TITLE <b>Proposed Plans</b>	DRAWINGS PREPARED FOR LOCAL AUTHORITY APPROVALS ONLY. FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE. THE WORKS MAY BE SUBJECT TO THE PARTY WALL ACT 1996. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL NECESSARY STEPS ARE TAKEN TO COMPLY WITH THE ACT IF SO REQUIRED.	NUMBER <b>03</b>	REVISION <b>D</b>
SCALE 1:100 @A3	PROJECT Proposed extensions					



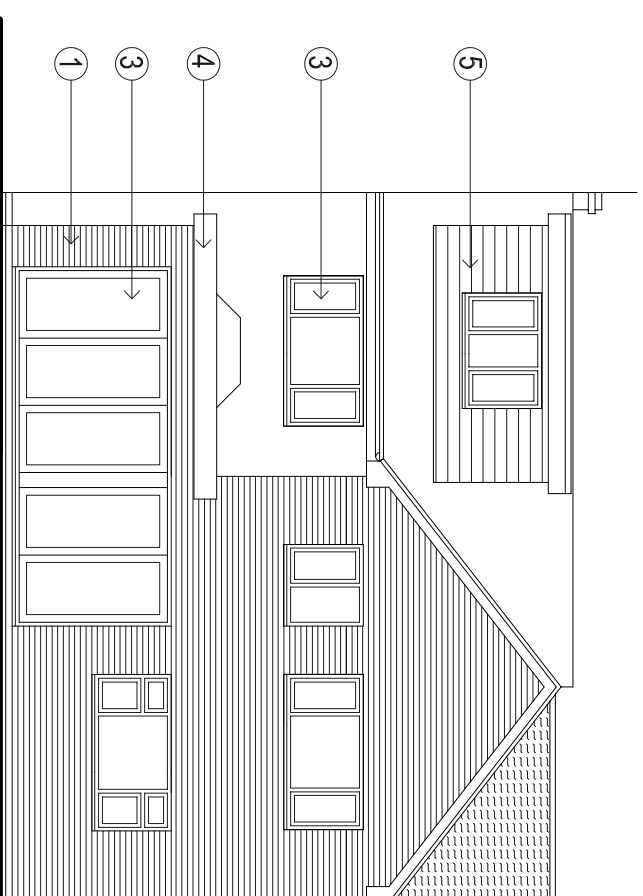
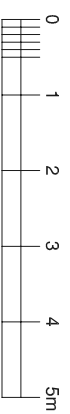
Front Elevation scale 1:100



Side Elevation scale 1:100



Side Elevation scale 1:100



Rear Elevation scale 1:100

**Proposed External Materials**

- ① Red textured facing brickwork to new external walls
- ② Red/brown plain clay tiles to new main roof with half round tiles to ridges to match existing.
- ③ Grey PVC-u double-glazed windows and doors
- ④ White PVC-u fascia and soffit boards
- ⑤ A1 rated timber-effect plank cladding

\* PVC-u double-glazed windows to side elevation to have obscured glass

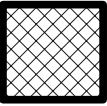



All proposed external materials to closely match existing in form, colour, size and texture

DATE Feb 24	OWNER	LOCATION 114 Scott Road, Great Barr, Birmingham B43 6JU	TITLE <b>Proposed Elevations</b>	DRAWINGS PREPARED FOR LOCAL AUTHORITY APPROVALS ONLY. FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE. THE WORKS MAY BE SUBJECT TO THE PARTY WALL ACT 1996. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL NECESSARY STEPS ARE TAKEN TO COMPLY WITH THE ACT IF SO REQUIRED.	NUMBER <b>04</b>	REVISION <b>D</b>
SCALE 1:100 @A3	PROJECT Proposed extensions					

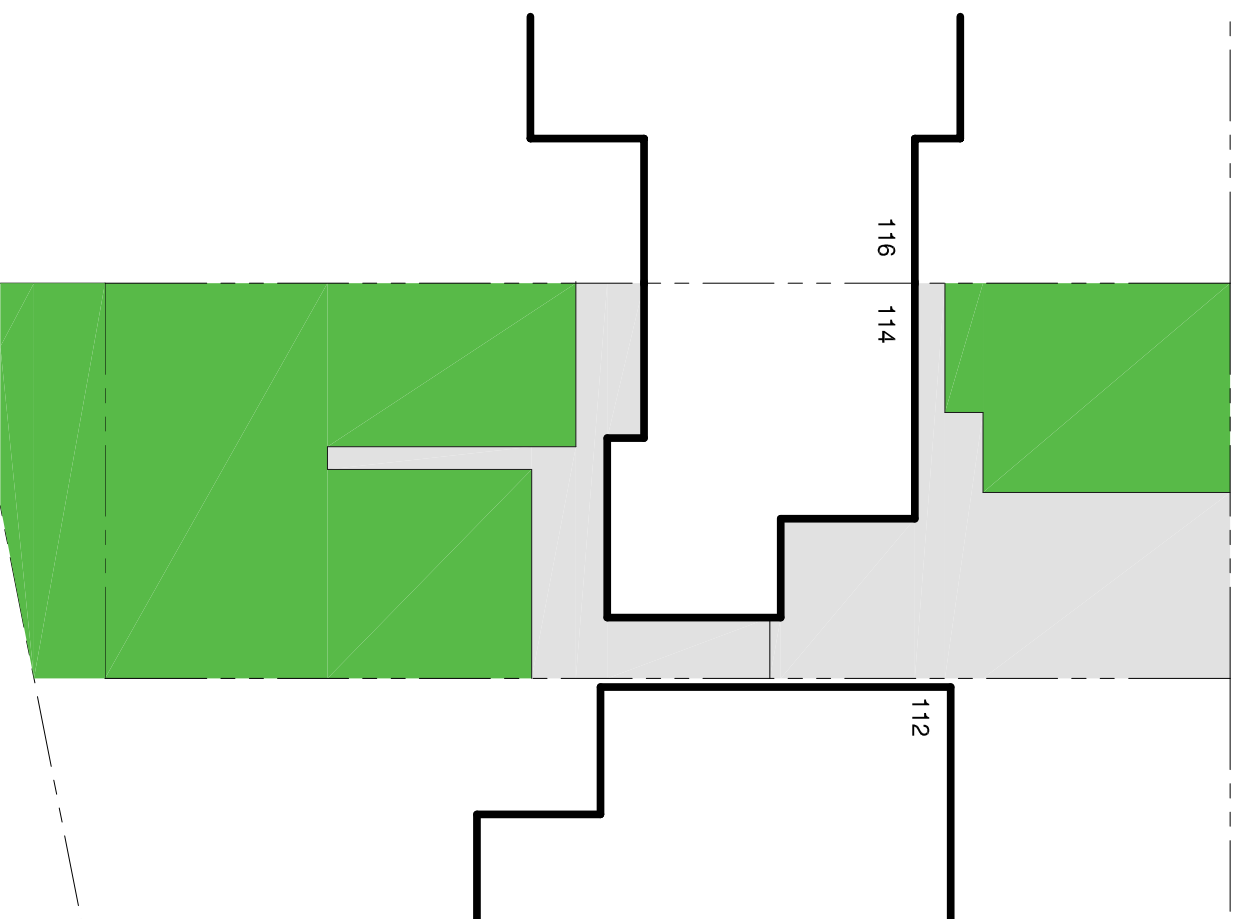
- Rev D Ridge height to extension reduced 11/10/24
- Rev C Rear extension reduced to 4m 12/09/24
- Rev B Extension reduced and dormer lowered
- side elevation updated 30/08/24
- Rev A Updated following planning objections 01/07/24

SCOTT ROAD

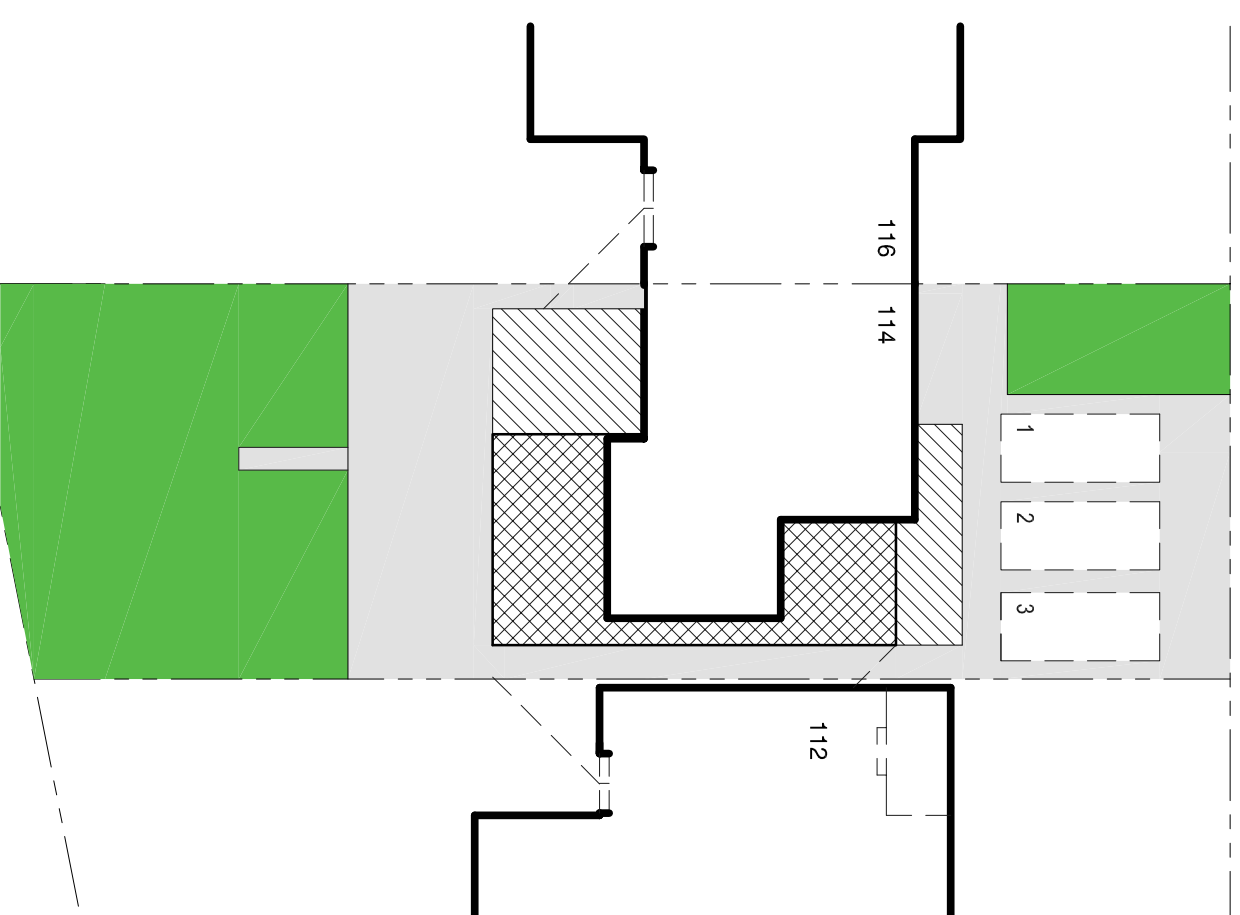
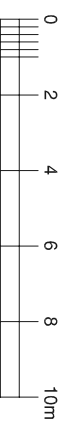
Key to Hatching

-  Proposed two-storey extension
-  Proposed single-storey extension
-  Handstanding for parking pathways & patio at rear
-  Soft landscaping/turf

SCOTT ROAD



Existing Site Plan scale 1:200



Proposed Site Plan scale 1:200

- Rev G Front lounge extension omitted 11/10/24
- Rev F 3 Car parking spaces denoted 16/09/24
- Rev E Rear extension reduced to 4m 12/09/24
- Rev D Extension reduced and dormer lowered 30/08/24
- Rev C Boundary line emended 24/07/24
- Rev B Updated following planning objections 01/07/24
- Rev A 1:200 scale bar added. Reference bar removed

DATE Feb 24	OWNER	LOCATION 114 Scott Road, Great Barr, Birmingham B43 6JU	TITLE Existing & Proposed Site Plans	DRAWINGS PREPARED FOR LOCAL AUTHORITY APPROVALS ONLY. FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALE. THE WORKS MAY BE SUBJECT TO THE PARTY WALL ACT 1996. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL NECESSARY STEPS ARE TAKEN TO COMPLY WITH THE ACT IF SO REQUIRED.	NUMBER 01	REVISION G
SCALE 1:200 @A3	PROJECT Proposed extensions					

## **DC/24/69562**

### List of conditions

- i) The external materials used in the development hereby permitted shall match in colour, form and texture those of the existing building unless otherwise agreed in writing by the local planning authority.
- ii) The development shall not be brought into use until the approved space for the parking of vehicles has been provided. When provided the approved space for the parking, loading, unloading and manoeuvring of vehicles shall be retained as such.