

Report to Planning Committee

24 July 2024

Application reference	DC/24/69156
Application address	Granville Works 104 Station Road Cradley Heath B64 6PW
Application description	Demolition of existing buildings S1-S4, S9 and canopy and proposed 1 No. new detached single storey unit, 1 No. unloading canopy and proposed rear extensions to existing units S5-S8 (Outline application all matters reserved).
Application received	23.02.2024
Ward	Cradley Heath & Old Hill
Contact officer	Mr Andrew Dean andrew_dean@sandwell.gov.uk

1 Recommendations

1.1 That outline planning permission is granted subject to the following conditions:

- i) Reserved Matters for (a) layout (b) scale (c) appearance (d) access (e) landscaping;
- ii) Environmental and construction management plan;
- iii) Foul drainage details;
- iv) Surface water drainage scheme;




- v) Contamination; and
- vi) External lighting scheme.

2 Reasons for Recommendations

- 2.1 The principle of the proposed new storage unit, extension to existing units and replacement unloading canopy are acceptable when considering the buildings would be used for ancillary storage of timber associated with the wider use of the site under the same ownership. Furthermore, the site is located on a significantly lower ground level than surrounding residential properties, the business is established and has been one site for a significant number of years and the majority of the new unit would be constructed on land previously occupied by buildings to be demolished.

3 How does this deliver objectives of the Corporate Plan?

	<p>A strong and inclusive economy</p>
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4 Context

- 4.1 The application is being reported to Planning Committee as six objections to the application have been received.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[Granville Works, Station Road, Cradley Heath.](#)

5 Key Considerations

- 5.1 The site is allocated for housing in the development plan.



5.2 Material planning considerations (MPCs) are matters that can and should be taken into account when making planning decisions. By law, planning decisions should be made in accordance with the development plan unless MPCs indicate otherwise. This means that if enough MPCs weigh in favour of a development, it should be approved even if it conflicts with a local planning policy.

5.3 The material planning considerations which are relevant to this application are:

- Government policy (NPPF);
- Amenity concerns – overlooking/loss of privacy, loss of light and/or outlook and overshadowing;
- Design concerns - appearance and materials, layout and density of building, wider visual amenity and overdevelopment;
- Highways considerations - traffic generation, access, highway safety, parking and servicing;
- Environmental concerns – noise, air quality, pollution and general disturbance;
- Ecology concerns – loss of wildlife, habitat and trees; and

6. The Application Site

6.1 The application site relates to a section of an existing and long-established timber yard (Palmer Timber Limited) which is accessed from Station Road, Cradley Heath. The wider site is boarded by a railway line to the north and residential properties to the east (Sherbourne Road, south (High Haden Road and High Haden Crescent) and west (Beauty Bank). Residential properties are separated from site by woodland with properties on Sherbourne Road, High Haden Road and High Haden Crescent located on a significantly higher ground level. The Woodland surrounding the site is classified as a wildlife corridor and a Site of Local Importance for Nature Conservation (SLINC).



7. Planning History

7.1 The site has been subject to a number of applications for various buildings across the site over its history. The most relevant application reference (DC/13/55673) granted approval for a replacement steel frame clad warehouse which is proposed to be dismantled and repurposed as part of this proposal.

7.2 Relevant planning applications are as follows:

DC/15/58236	Retention of car parking area, 2 No. lighting columns and cycle shelter.	Grant Retrospective Approval. 24.07.2015.
DC/13/55673	Proposed replacement steel frame clad warehouse.	Grant Permission. 16.04.2013.
DC/04/43001	Erection of temporary "Tempastor" building for storage purposes.	Grant Permission. 13.09.2004.
DC/03/40658	Erection of workshop.	Grant Permission. 12.05.2003.
DC/03315	Extension to joinery shop.	Grant Permission Subject to Conditions. 14.04.1976.
DC/02133	Steel portal frame extension to provide timber store.	Grant Permission Subject to Conditions. 30.07.1975.

8. Application Details

8.1 The outline application with all matters reserved proposes the demolition of two existing storage buildings and canopy and proposed erection of a detached storage unit, an unloading canopy and four proposed rear extensions to existing units labelled S5-S8 on the submitted site plan (indicative only). The proposed buildings would be used for the storage of wood which is currently stored outside, open to the elements, as the existing buildings are full. The indicative site plan proposes the following unit and extension sizes: -



- i) Proposed new unit S4 would have a floor area of 2327m².
- ii) Proposed extension to unit S5 would have a floor area of 217m².
- iii) Proposed extension to unit S6 would have a floor area of 123m².
- iv) Proposed extension to unit S7 would have a floor area of 123m².
- v) Proposed extension to unit S8 would have a floor area of 107m².
- vi) Proposed replacement unloading canopy would have a floor area of 210m².

8.2 The application states there would be a proposed increase of employee numbers by 4 people (making total of 89 employees) and the operating hours would be 07.00 to 17.00 Monday to Friday and 07.00 to 11.00 Saturdays, Sundays and bank holidays.

8.2 An application for outline planning permission allows for a decision on the general principles of how a site can be developed. Outline planning permission is granted subject to conditions requiring the subsequent approval of matters which have been reserved. Reserved matters are those aspects of a proposed development which an applicant can choose not to submit details of with an outline application (i.e. they can be 'reserved' for later determination). In this instance, these matters are access, appearance, landscaping, layout and scale. The applicant intends to leave all such matters to be addressed at a later stage if this initial outline application is approved.

9. Publicity

9.1 The application has been publicised by 39 neighbour notification letters and by site and press notice. Six objections have been received.

9.2 Objections have been received on the following grounds:

- i) Ground stability issues. There have been recent landslides occurring in High Haden Crescent resulting in the loss of rear gardens. Objectors are concerned that further groundwork within the localised area may trigger further landslides.



- ii) Concerns with regards to the applicant removing trees which has caused/ helped with the landslide.
- iii) Noise concerns from the site operation. This will increase as the building moves closer to the boundary as well HGV's operating nearer to the boundary.
- iv) Disruption to wildlife.
- v) Loss of privacy.
- vi) Drainage matters. Objectors have stated that flooding to properties is occurring from the wider site.

Non-material objections have been raised regarding loss of property value.

These objections will be addressed in under paragraph 13 (Material considerations).

10. Consultee responses

10.1 Planning Policy

No objection. The timber yard is currently allocated in the development plan for housing, however, in the emerging Sandwell Local Plan it is proposed to be allocated as a SEC3 site – Local Employment Land allocation. Part of the site is designated as a SLINC and Wildlife corridor on the SAD Policies Map, therefore BCCS Policy ENV1 is applicable. As the proposed development will be taking place on a site that is already industrial in nature it is considered that the proposed development will a minimal impact on the SLINC and wildlife corridor.

10.2 Highways

No objection. Further information in relation to confirmation of car parking for existing and proposed staff and whether trip rates are expected to increase with the proposed development has been requested at reserved matters stage.



10.3 Urban Design

No objection.

10.4 Pollution Control (Contaminated Land)

No objection subject to the standard contaminated land conditions.

10.5 Pollution Control (Noise)

No objection subject to a condition for a method of working statement.

10.6 Pollution Control (Air)

No objection subject to a condition for a construction dust management plan.

10.7 Staffordshire County Council (lead local flood authority)

Further information requested. These matters have been included in the recommendation as a surface water drainage condition.

10.8 Severn Trent Water

No objection subject to conditions in the recommendation relating to foul and surface water drainage.

11. National Planning Policy Framework (NPPF)

11.1 The NPPF sets out government's planning policies for England and how these are expected to be applied.

11.2 The framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.



11.3 The framework promotes sustainable transport options for development proposal and states that developments should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

11.2 The framework states that where a site is affected by contamination or land stability issues, responsibility for securing a safe development rests with the developer and/or landowner.

12. Development Plan Policy

12.1 The following policies of the council's development plan are relevant:

Black Country Core Strategy (BCCS)

DEL2 – Managing the Balance between Employment Land and Housing

EMP1 – Providing for Economic Growth and Jobs

EMP4 – Maintaining A Supply of Readily Available Employment Land

TRAN2 – Managing Transport Impacts of New Development

ENV1 – Nature Conservation

ENV3 – Design Quality

ENV5 – Flood Risk, Sustainable Drainage Systems and Urban Heat Island

Site Allocations and Delivery Development Plan Document (SAD)

H1 – Housing Allocations

EOS9 – Urban Design Principles

EOS10 – Design Quality & Environmental Standards

12.2 Policy ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed indicative layout is considered to be acceptable with no concerns being raised from the urban design team.



- 12.3 Policy SAD EOS10 requires the design of industrial development to be of a high standard and take into account the design principles set out in policy SAD EOS9. Design details of the proposal would need to be assessed at the reserved matters stage should the planning committee grant outline approval.
- 12.4 Policy EMP1 seeks to ensure a sufficient stock of employment land to meet demand and support growth and diversification of the economy. The proposal complies with this policy by supporting a local business to grow and retain the land for industrial purposes.
- 12.5 Policy EMP4 refers to industrial development in relation to residential properties. The policy seeks any harmful effects of the proposal to be mitigated. In this instance public health have raised no objections to the application.
- 12.6 Policy DEL2 seeks to manage the balance between employment land and housing and policy SAD H1 refers to land allocated for housing. Planning Policy have confirmed in the emerging Sandwell Local Plan that it is proposed to allocated the site as a SEC3 site (Local Employment Land allocation). Furthermore, the proposal is seeking to provide extended storage facilities for the existing business on the site.
- 12.6 TRAN 4 requires schemes to be well connected to aid cycling and walking. The application is for works associated with the site use of the site as a timber yard. The wider site provides cycle parking for staff members.
- 12.7 Policy ENV1 seeks to protect allocated sites from development which could negatively impact upon them. As the proposed development will be taking place on a site that is already industrial in nature it is considered that the proposed development will a minimal impact on the SLINC and wildlife corridor.
- 12.8 Policy ENV5 seeks the incorporation of suitable drainage systems to assist wit reducing the impact of flood and surface water run-off. A



condition for a surface water drainage scheme to be submitted and approved has been included within the recommendation.

13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.2 Amenity concerns

As the application is for outline approval with all matters reserved (access, appearance, landscaping, layout and scale). Amenity concerns in terms of overlooking/ loss of overlooking/loss of privacy, loss of light and/or outlook and overshadowing would be assessed at the reserved matters stage. However, taking into consideration the building would be used for storage purposes only, coupled by the fact the timber yard is on a significantly lower ground level than neighbouring residential properties and is separated from them by an existing/mature woodland, I do not envisage any loss of amenity would occur.

13.3 Design concerns

As the application is for outline approval with all matters reserved, access, appearance, landscaping, layout and scale would be dealt with at reserved matters stage.

13.4 Highways considerations

The Head of Highways has reviewed the proposal and raised no objections to the application on highway safety grounds.

13.5 Environmental concerns

Public Health have reviewed the proposal and raised no objections to the application on noise grounds. Due to the woodland located at the



rear of the building, the opening elements of the storage unit would be facing away from the nearest residents on Sherbourne Road. A condition for a construction management plan to protect neighbours from noise and disturbance during the construction phase has also been included in the recommendation.

In terms of ground stability objections, it should be noted that the land in question where the landslide has taken place does not relate to the application site and falls on adjacent land on a higher ground level not within the ownership of the applicant. The indicative site layout shows the proposal would marginally move closer to the bottom of the slope with a buffer zone in place where vehicles can manoeuvre. It should be noted that this area is already used by the applicant for the storage of wood/ movement of vehicles. Comments relating to land stability issues were raised with the applicant's agent, with the following response from their structural engineer being received. "The currently anticipated foundation solution for the proposed new structures/extended structures is simple pad bases in undisturbed firm clay. There will of course need to be some surface compaction of the ground & construction build-ups to install the new floor slabs and replace external paving – however we see no reason why that should affect the stability of the existing slope". In terms of national policy, the NPPF paragraph 190 states that where a site is affected by contamination or land stability issues, responsibility for securing a safe development rests with the developer and/or landowner. However, to help mitigate the issue of vibrations during construction works, the condition for the construction and environmental management plan has been expanded to include a scheme to minimise vibrations from construction works.

Matters relating to drainage concerns have been conditioned.

13.6 Ecology concerns

The Woodland surrounding the site is classified as a wildlife corridor and a Site of Local Importance for Nature Conservation (SLINC). The majority of this falls outside of the redline boundary for the site and



ownership of the applicant. Planning Policy have reviewed the proposal and commented that as the proposed development will be taking place on a site that is already industrial in nature it is considered that the proposed development will have a minimal impact on the SLINC and wildlife corridor. The applicant and objectors state that the woodland and slope surrounding the timber yard is classed as a 'no man's land' with no ownership and therefore no management. The applicant has stated they have employed a tree surgeon to cut down any dead trees which pose a risk of falling onto staff members working on their site. This also includes the cutting of the ivy at the base to protect tree health.

14. Conclusion and planning balance

14.1 All decisions on planning applications should be based on an objective balancing exercise. This is known as applying the "planning balance". It is established by law that planning applications should be refused if they conflict with the development plan unless material considerations indicate otherwise. This essentially means that the positive impacts of a development should be balanced against its negative impacts.

14.2 On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.



16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

Context plan

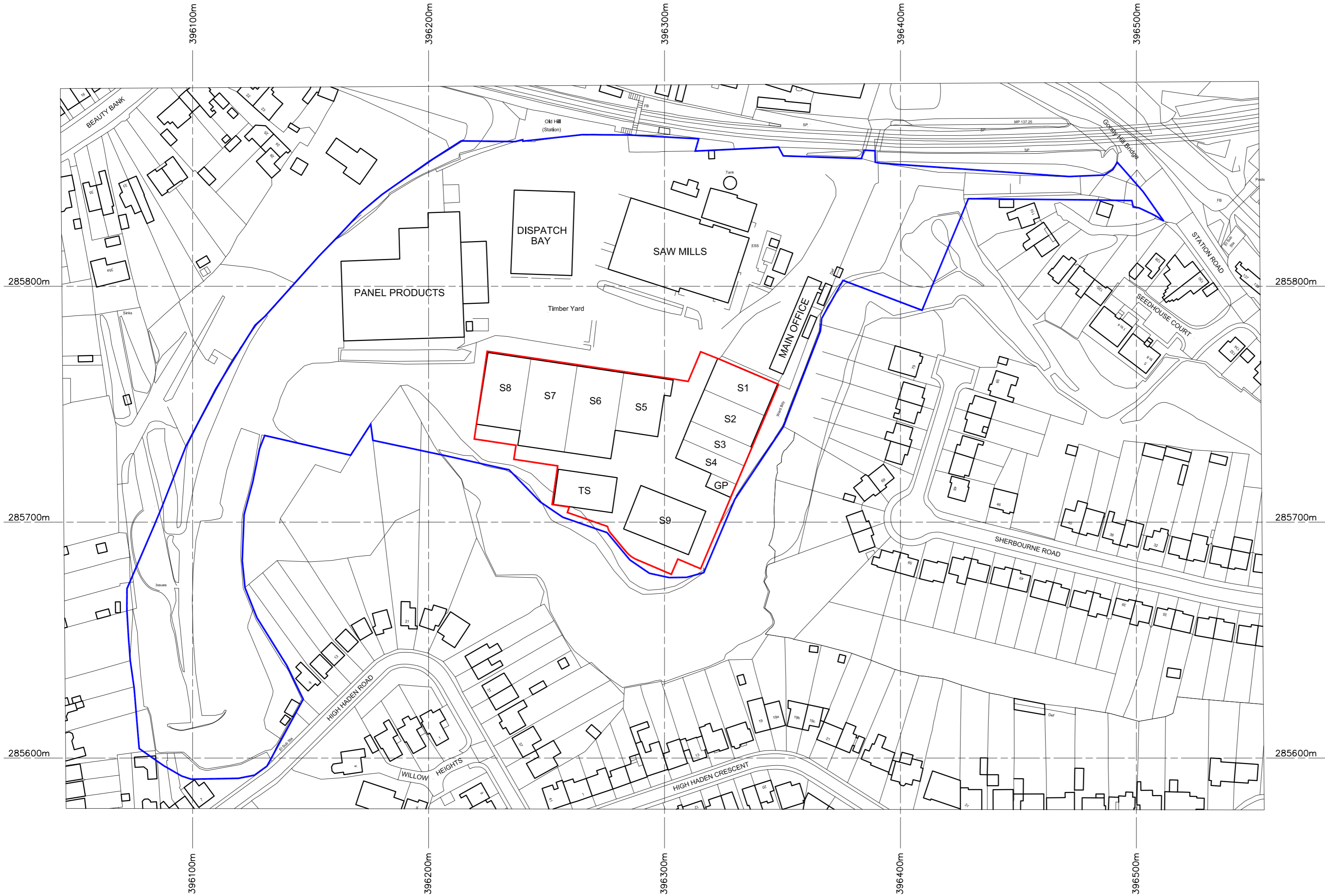
Location plan – 1162:LP REV A (A2)

Existing site plan - 1162:20 REV A (A1)

Proposed site plan - 1162:21 REV D (A1)

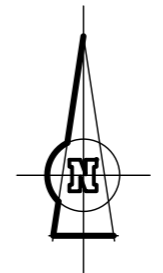
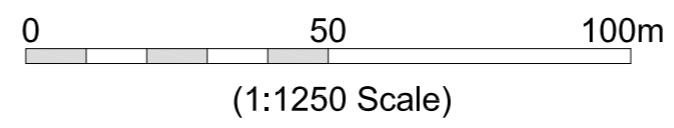


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PALMER TIMBER LTD
LOCATION PLAN scale 1:1250



REV 'A' APPLICATION SITE BOUNDARY UPDATED 04.04.2024

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10 Redlake Drive, Stourbridge
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JOB:
 Proposed development at
 Granville Works, Station Road
 Cradley Heath, B64 6PW

TITLE:
 Scheme Drawing
 Location Plan

CLIENT:
 Palmer Timber Ltd

Architectural services | Building management | Development consultants

DRAWING No: 1162:LPa
DATE: February 2024
SCALE @ A2: 1:1250
DRAWN BY: ZP

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- LEGEND:**
- EXISTING BUILDINGS
 - EXISTING BRAMBLE SCRUB AREAS
 - OTHER LAND IN THE SAME OWNERSHIP
 - APPLICATION SITE BOUNDARY

SITE PLAN SCALE 1:200

0 5 10 20m

(1:200 Scale)

REV 'A' APPLICATION SITE BOUNDARY UPDATED AND BRAMBLE SCRUB AREAS ADDED 04.04.2024

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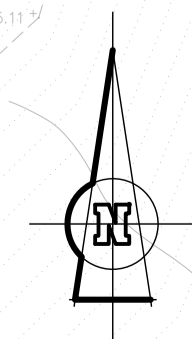
JOB:
 Proposed development at
 Granville Works, Station Road
 Cradley Heath, B64 6PW

TITLE:
 Survey Drawing
 Existing Site Plan

CLIENT:
 Palmer Timber Ltd

Architectural services | Building management | Development consultants

DRAWING No: 1162:20a
DATE: January 2024
SCALE @ A1: 1:200
DRAWN BY: ZP



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- LEGEND:**
- EXISTING BUILDINGS
 - PROPOSED BUILDINGS
 - EXISTING BRAMBLE SCRUB AREAS TO REMAIN
 - 21sqm OF EXTG. BRAMBLE SCRUB AREAS TO BE REMOVED
 - OTHER LAND IN THE SAME OWNERSHIP
 - APPLICATION SITE BOUNDARY
 - BUILDINGS TO BE DEMOLISHED

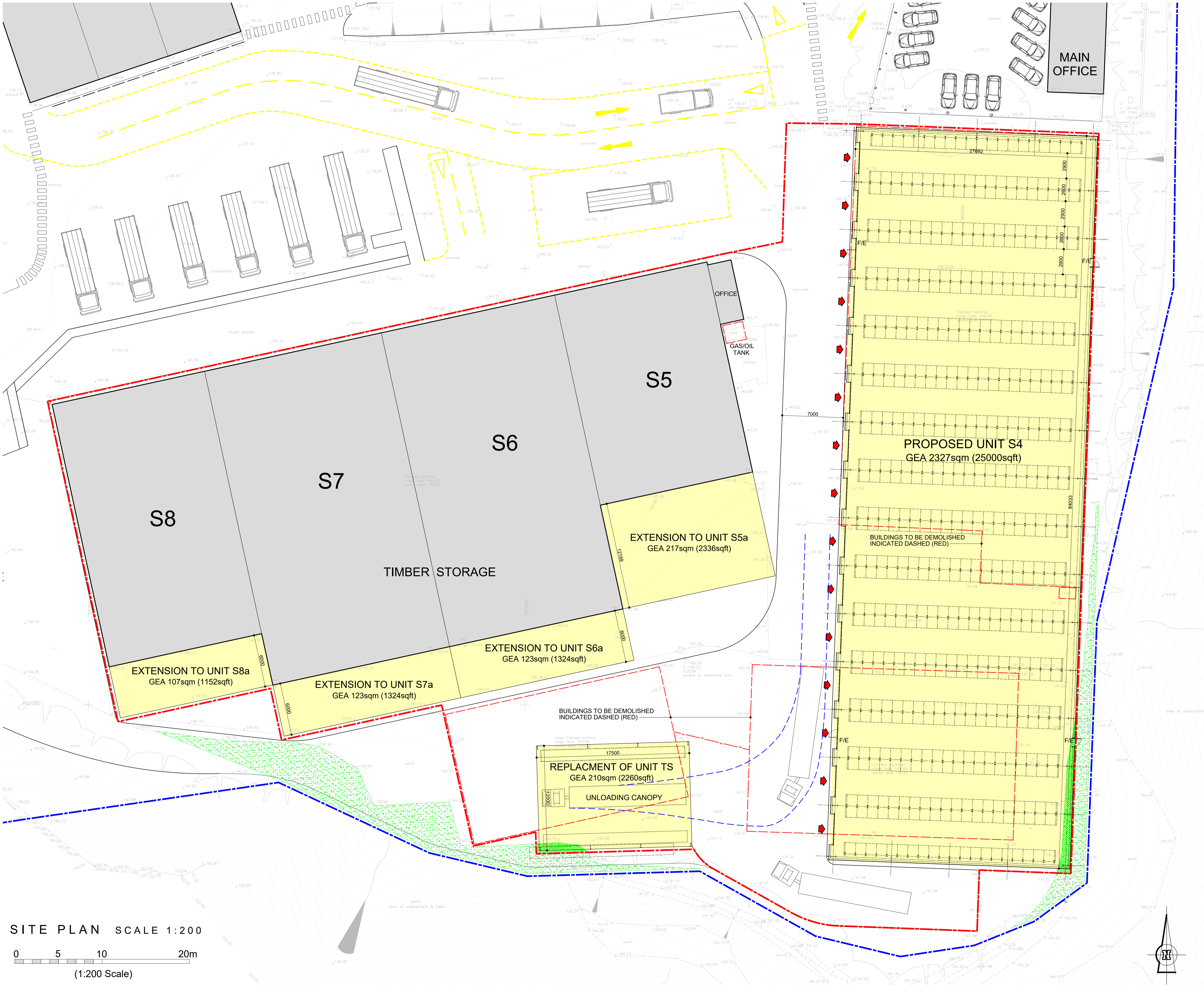
SCHEDULE OF AREAS:

BUILDINGS TO BE DEMOLISHED

S1, S2, S3, S4, GP	1345sqm
S9	584sqm
TS	383sqm
TOTAL	2312sqm

PROPOSED BUILDINGS

S4	2327sqm
TS	210sqm
SSa	217sqm
S6a	123sqm
S7a	123sqm
S8a	107sqm
TOTAL	3107sqm



INDICATIVE ONLY

REV 'D'	UNLOADING CANOPY AND SITE BOUNDARY CLASH OF INFORMATION RESOLVED	28.04.2024
REV 'C'	APPLICATION SITE BOUNDARY UPDATED AND BRAMBLE SCRUB AREAS ADDED	04.04.2024
REV 'B'	DRAWING UPDATED FOR PLANNING	09.02.2024
REV 'A'	UNLOADING CANOPY ADDED	31.01.2024

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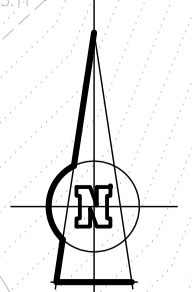
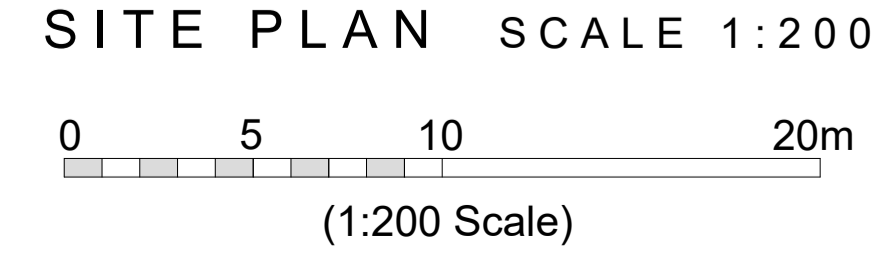
JOB:
Proposed development at
Granville Works, Station Road
Cradley Heath, B64 6PW

TITLE:
Scheme Drawing
Proposed Site Plan

CLIENT:
Palmer Timber Ltd

Architectural services | Building management | Development consultants

DRAWING No: 1162:21d
DATE: January 2024
SCALE @ A1: 1:200
DRAWN BY: ZP



Site photos – DC/24/69156





List of conditions

DC/24/69156

- i) The development hereby permitted shall not be commenced until details of the reserved matters have been submitted to and approved by the local planning authority. The reserved matters are:- (a) layout (b) scale (c) appearance (d) access (e) landscaping.
- ii) In the case of any reserved matters application for approval shall be made not later than the expiration of three years beginning with the date of this permission.
- iii) The development hereby permitted shall be begun not later than whichever is the later of the following dates:-
 - a) the expiration of two years from the final approval of the reserved matters or,
 - b) in the case of approval on different dates, the final approval of the last such matter to be approved.
- iv) Before the development is commenced, including any works of demolition or site preparation, a construction environmental management plan shall be submitted to and approved in writing by the local planning authority. The statement shall provide for: the parking of vehicles of site operatives and visitors; loading and unloading of plant and materials; storage of plant and materials used in constructing the development; measures to control the emission of dust and dirt during demolition and construction; a scheme to minimise vibrations from construction works, delivery, demolition and construction working hours. The approved construction method statement shall be adhered to throughout the construction period for the development.
- v) Before the development is commenced details of drainage works for the disposal of foul sewage shall be submitted to and approved in writing by the local planning authority. The approved drainage works shall be implemented before the development is first occupied or brought into use and thereafter retained.

- vi) Before the development is commenced further details of drainage works for the management of surface water shall be submitted to and approved in writing by the local planning authority. The required details relate to [drainage method; hydraulic calculations; exceedance; maintenance; water quality; construction environment management plan outlining how surface water will be managed throughout the construction phase; and finished floor levels] - <https://www.staffordshire.gov.uk/environment/Flood-Risk-Management/Information-for-planners-and-developers.aspx>. The approved drainage works shall be implemented before the development is first occupied or brought into use and thereafter retained.
- vii) Before the development is commenced a desktop study will be undertaken to assess the risk of the potential for on-site contamination. If the desktop study identifies potential contamination, a further detailed site investigation will be carried out to establish the degree and nature of the contamination and its potential to pollute the environment or cause harm to human health. Where necessary, details of remediation measures shall be provided. Details of the desktop study, site investigation and remediation measures shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. All works must conform to Land Contamination Risk Management (LCRM) 2020 (EA, 2020) methods and protocols and be carried out by a competent person: (<https://www.gov.uk/government/publications/land-contamination-risk-management-lcrm>). In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken, and where remediation is necessary a remediation scheme must be prepared and shall be submitted to and approved in writing by the local planning authority. Where remediation works have been carried out in

pursuance with the preceding conditions, a post remediation report shall be submitted to and approved in writing by the local planning authority before the development is first occupied. The post remediation verification report should detail the remedial works undertaken and demonstrate their compliance. The report should be produced in accordance with Land Contamination Risk Management (LCRM) 2020 (EA, 2020)

- viii)
 - a) Before the development is brought into use an external lighting scheme to shall be submitted to and approved in writing by the local planning authority.
 - b) The approved lighting scheme shall be implemented before the development is first occupied or brought into use and shall be thereafter retained.