

Report to Planning Committee

29 November 2023

Application Reference	DC/23/68420
Application Received	27 June 2023
Application Description	Proposed 11 No. houses and 9 No. self-contained apartments with car parking, enclosed bin store, cycle store and landscaping.
Application Address	Site Of Former 3 And 4 Cardale Street Rowley Regis
Applicant	Sandwell MBC
Ward	Blackheath
Contact Officer	Carl Mercer carl_mercer@sandwell.gov.uk

1 Recommendations

1.1 That, subject to the signing of a section 106 agreement to ensure affordable housing, planning permission is granted subject conditions relating to:

- (i) External materials;
- (ii) Finished floor levels;
- (iii) Employment and skills plan;
- (iv) Contamination;
- (v) Drainage (surface and foul);






- (vi) Energy statement (compliance with submitted info);
- (vii) Boundary treatments (compliance with submitted info);
- (viii) Landscaping (compliance with submitted info);
- (ix) Waste storage (compliance with submitted info);
- (x) Cycle storage (compliance with submitted info);
- (xi) Low NOx boilers;
- (xii) Electric vehicle charging;
- (xiii) Construction environmental management plan;
- (xiv) Removal of permitted development rights; and
- (xv) Retention of parking and manoeuvring areas.

2 Reasons for Recommendations

2.1 The proposal raises no significant concerns from a policy, design or highway perspective and would deliver affordable housing in a sustainable location.

2 How does this deliver objectives of the Corporate Plan?

	Strong resilient communities
	Quality homes in thriving neighbourhoods
	A strong and inclusive economy

4 Context

4.1 The application is being reported to your Planning Committee as a section 106 agreement is required to secure the affordable housing.



- 4.2 To assist members with site context, a link to Google Maps is provided below:

[Cardale Street, Rowley Regis](#)

5 Key Considerations

- 5.1 Material planning considerations (MPCs) are matters that can and should be taken into account when making planning decisions. By law, planning decisions should be made in accordance with the development plan unless MPCs indicate otherwise. This means that if enough MPCs weigh in favour of a development, it should be approved even if it conflicts with a local planning policy.

- 5.2 The material planning considerations which are relevant to this application are:

Government policy (NPPF);
Layout and density of buildings;
Design, appearance and materials;
Access, highway safety, parking and servicing; and
Presumption and the 'titled balance'.

6. The Application Site

- 6.1 The application site is bounded to the northwest by a relatively recent housing development and a Hindu temple. Cardale Street runs to the north east, from which much of the development would be accessed from. The remainder of the proposed housing would be accessed from Park Street, adjacent to an existing carpet warehouse. To the south of the site lies a run of housing which fronts on to Avenue Road.

- 6.2 The site is unallocated in the Development Plan.

7. Planning History

- 7.1 None relevant.



8. Application Details

- 8.1 The applicant proposes 11 houses and nine self-contained apartments for affordable rental. The site would have two access points. A 2.5 storey block of apartments would front Cardale Street, with parking accessed off Cardale Street by a driveway to the rear. The same driveway would serve five, two storey houses. Six houses would be accessed from Park Street, with two sited along the Park Street frontage and four served by a driveway to a cul-de-sac at the rear.
- 8.2 Of the 20 dwellings proposed, there would be one block of nine, one-bedroom apartments; six, two-bedroom and five, three-bedroom houses. Each two-bedroom house would have one off-street parking space, each three-bedroom house would have two spaces, whilst the apartments would each have one allocated space. The houses served off Park Street would also have the use of two off-street visitor spaces. Secure cycle storage for nine bikes is provided adjacent to the apartment block amenity area.
- 8.3 Amended plans have been received to address design and highway issues. The amendments were required to bring the layout in line with the Council's design guidance, raise the internal space proposed, clarify boundary treatments, improve access arrangements and increase parking space sizes.

9. Publicity

- 9.1 The application has been publicised by neighbour notification letter and site notice, with two representations being received.

9.2 Representations

Representations have been received on grounds of drainage and boundary treatments.

These will be addressed in section 13 (Material Considerations).



10. Consultee responses

10.1 Planning Policy

No objection. The proposals raise no significant policy concerns although the applicant should look to demonstrate how policy ENV7 (renewable energy requirement) would be met. A statement has now been submitted which provides details of photovoltaics as part of the development and is conditioned as such.

10.2 Highways

No objection.

10.3 Urban Design

No objection.

10.4 Pollution Control (Contamination)

No objection subject to conditions relating to the final design and specification of gas protection measures and submission of a validation report.

10.4 Pollution Control (Air)

No objection. Electric vehicle charging (EVC) bays, low NOx boilers and construction environmental management plan required by condition.

10.5 West Midlands Police

No objection.



10.6 Staffordshire County Council – Lead Local Flood Authority (LLFA)

Further information required. In my opinion the issues raised are not insurmountable and can be addressed by condition. However, the applicant has submitted further detail which the LLFA is currently considering. The application can still be determined without further comments from Staffordshire as conditions can be applied.

10.7 Severn Trent Water

No objection subject to condition. Seven Trent note the presence of their sewer pipe across the site. The easement is noted on the submitted plan and the scheme has been designed around it.

11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area. The NPPF refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.

11.2 Taking into account the views of the Council's Urban Design officer, I am of the opinion that the scheme is of a good design, in accordance with the design aspirations of the NPPF, as the development would assimilate with the overall form and layout of the site's surroundings.

12. Local Planning Policy

12.1 The following policies of the Council's Development Plan are relevant:

Black Country Core Strategy (BCCS)

CSP4 – Place Making

DEL1 – Infrastructure Provision

HOU2 – Housing Density, Type and Accessibility



HOU3 – Delivering Affordable Housing
TRAN2 – Managing Transport Impacts of New Development
TRAN4 – Creating Coherent Networks for Cycling and Walking
ENV3 – Design Quality
ENV5 – Flood Risk, SuDS and Urban Heat Island Effect
ENV7 – Renewable Energy
ENV8 – Air Quality

Site Allocations and Delivery Development Plan Document (SADD)

SAD H2 – Housing Windfalls
SAD H3 – Affordable Housing
SAD EOS9 – Urban Design Principles

- 12.2 In respect of CSP4 the design of the development is influenced by the context of the local area and would enhance the attributes the area offers in terms of its local character.
- 12.3 Infrastructure provision, in this case EVC bays, would be ensured by condition (DEL1).
- 12.4 Whilst land is identified and allocated in the Development Plan to meet the borough's sustainable housing growth, under policy HOU1 additional housing capacity will also be sought elsewhere through planning permissions on suitable sites. As such, this proposal would assist with providing much needed housing within the borough.
- 12.5 The proposal meets the requirements of policy HOU2 in that it proposes a range of types and sizes of accommodation which would be accessible by walking and sustainable transport to services. The proposal would also achieve good design with minimal amenity impact.
- 12.6 The scheme is entirely comprised of affordable housing which would be ensured by s106 agreement (HOU3 and SAD H3).



- 12.7 Training and recruitment opportunities should be provided as part of any new development (EMP5 and SAD EMP 2). This can be ensured by condition.
- 12.8 Highways raise no objection to the traffic generation attributed to this development (TRAN2).
- 12.9 Sufficient amenity space is provided to allow for cycle parking provision (TRAN4).
- 12.10 The proposal raises no significant concerns in respect of design and is therefore compliant with policy ENV3 and SAD EOS 9.
- 12.11 Drainage can be addressed by the submission of further information and/or a compliance condition (ENV5).
- 12.12 The development would use photovoltaics and is estimated that the energy generated would be 11.71% of the energy demand of the site. This exceeds the 10% requirement of the policy ENV7.
- 12.13 In respect of air quality (ENV8), electric vehicle charging points and low NOx boilers can be ensured by condition.
- 12.14 The proposed dwellings would be a windfall, subject to SAD H2. The proposal meets the requirement of the policy as it is previously developed land, suitable for residential development, and capable of meeting other plan policies.

13. Material Considerations

13.2 Layout and density of buildings / Design, appearance and materials

The Urban Design officer has confirmed that the layout of the proposal is broadly in line with the Council's residential design guidance. The scale of the development would be two storeys, and the proposal would assimilate into the surrounding area.



13.3 Access, highway safety, parking and servicing

The development meets with the approval of the highway authority and parking spaces are in accordance with the requirements of Council design guidance.

13.4 Presumption and the ‘tilted balance’

The ‘tilted balance’ is similar to the normal planning balance but it is only engaged in exceptional circumstances. As the council has less than a five-year housing land supply, relevant local policies are out-of-date. In the most basic sense, the tilted balance is a version of the planning balance that is already tilted in an applicant’s favour. If the tilted balance applies, planning permission should normally be granted unless the negative impacts ‘significantly and demonstrably’ outweigh the positive impacts.

13.5 Other matters

Representations refer to past/existing issues with drainage and the rear boundary along Avenue Road. Foul drainage matters would be dealt with by Severn Trent. In respect of the development, the applicant has noted the presence of the sewer easement within the site and the development would not disturb this asset. Furthermore, the brick boundary wall to the rear of properties along Avenue Road would be retained.

14. Conclusion and planning balance

14.1 All decisions on planning applications should be based on an objective balancing exercise. This is known as applying the “planning balance”. It is established by law that planning applications should be refused if they conflict with the development plan unless material considerations indicate otherwise. This essentially means that the positive impacts of a development should be balanced against its negative impacts.



14.2 On balance the proposal accords with the provisions of relevant Development Plan policies and there are no significant material considerations which warrant refusal of the application.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant policies and there are no material considerations that would justify refusal.

16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.



17. Appendices

Location Plan

Context Plan

M4961(PL)01 L

M4961(PL)02 B

M4961(PL)05 F

M4961(PL)06 D

M4961(PL)07 A

M4961(PL)08 B

M4961(PL)09 A

M4961(PL)10 A

M4961(PL)11 A

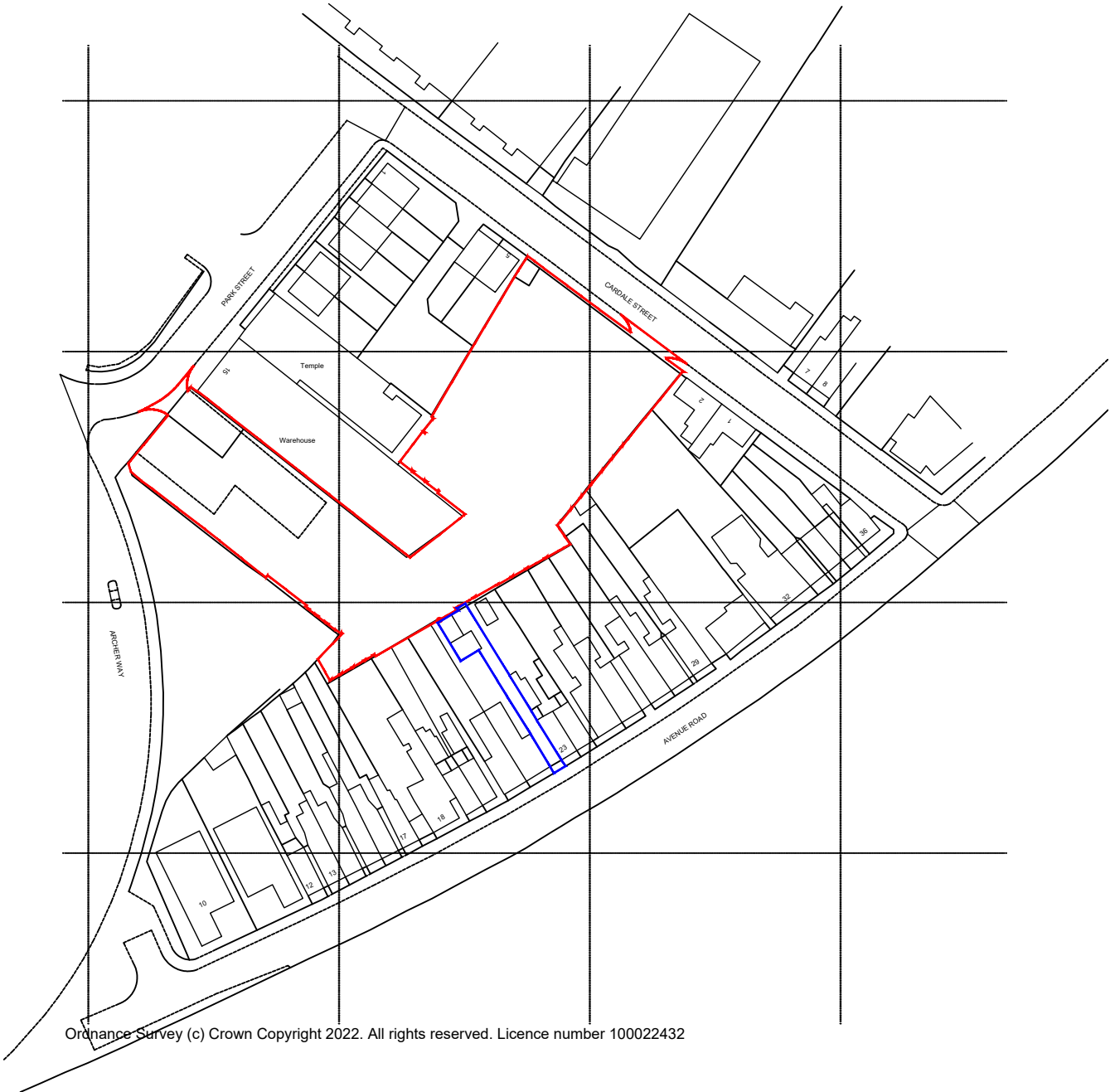
M4961(PL)12 B

M4961(PL)13 A

M4961(PL)14 A

M4961 (PL) 15





Scale 1:1250

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Revision	Date	Details

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Drawing title:		Location Plan	
Drawing Number: (Job number)	M4961	(PL)	100
Scale:	1:1250 @ A4		
Date:	Nov 22		
Drawn by/ checked by:	RW		





SCHEDULE OF ACCOMMODATION

Ref	Accommodation	Area sqm	No
A	1 bedroom 2 person flats	50	9
B	2 bedroom 4 person house	68	6
C	3 bedroom 5 person house	79.2	5
TOTAL			20

Flats to be common access, 3 storey

Car parking
100% for 1 and 2 bedroom units
200% for 3 bedroom units

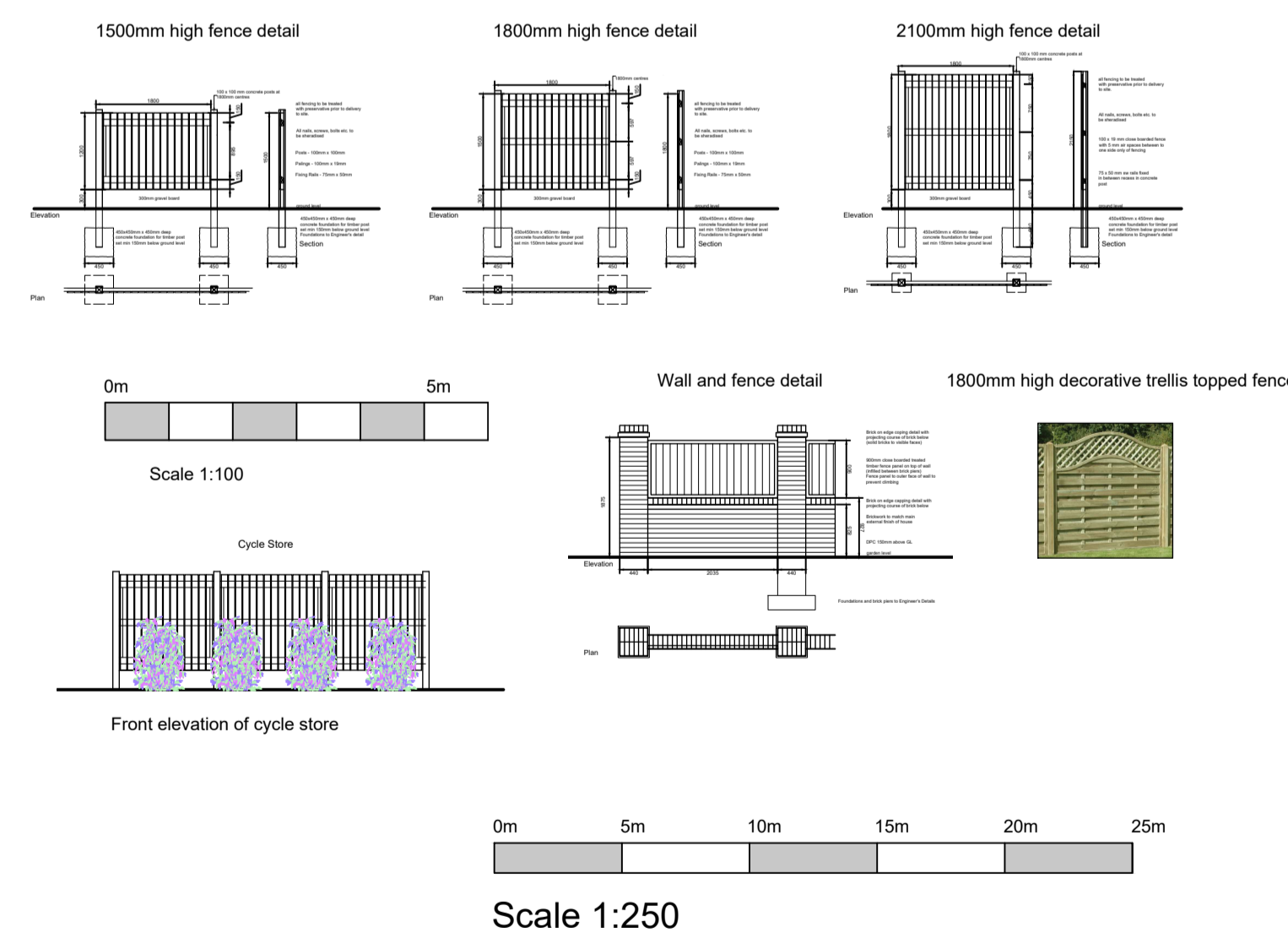
Approx site area 0.35Ha
Density 57 dwellings/Ha

External Works Legend

- Concrete paving flags
- Turfed lawn area
- Low level shrub planting
- Tarmac parking space
- Block paved parking space
- Tarmac highway
- Proposed tree planting
- Indicates provision for future Electric Vehicle charging point

Boundary Treatments

- Type A
900mm high ms railings with letter plate plinth detail
 - Type B
1500mm high vertical board timber fence
 - Type C
1800mm vertical board timber fence
 - Type D
1800mm overall height decorative timber fence combining 300mm trellis to top
 - Type E
900mm high brick wall and piers with 900mm high vertical board timber fence between piers
 - Type F
2100mm high vertical board timber fence
 - Type G
450mm high timber knee rail
- Existing brick wall boundaries are to be retained where indicated. Engineer to assess their condition.



Revision	Date	Details
F	June 23	Fencing details added.
G	July 23	Boundary treatments amended to suit Enrok's comments.
H	Sept 23	Amendments to cycle and refuse stores, parking widths, addition of timber knee rails and EV chargers. Flats amended to 50sqm. All to Planner's comments.
J	Sept 23	Parking spaces to houses dimensioned up.
K	Sept 23	Minor amendments to suit Highways comments.
L	Oct 23	New turning head extended, 700mm service strip added to suit Highways comments.

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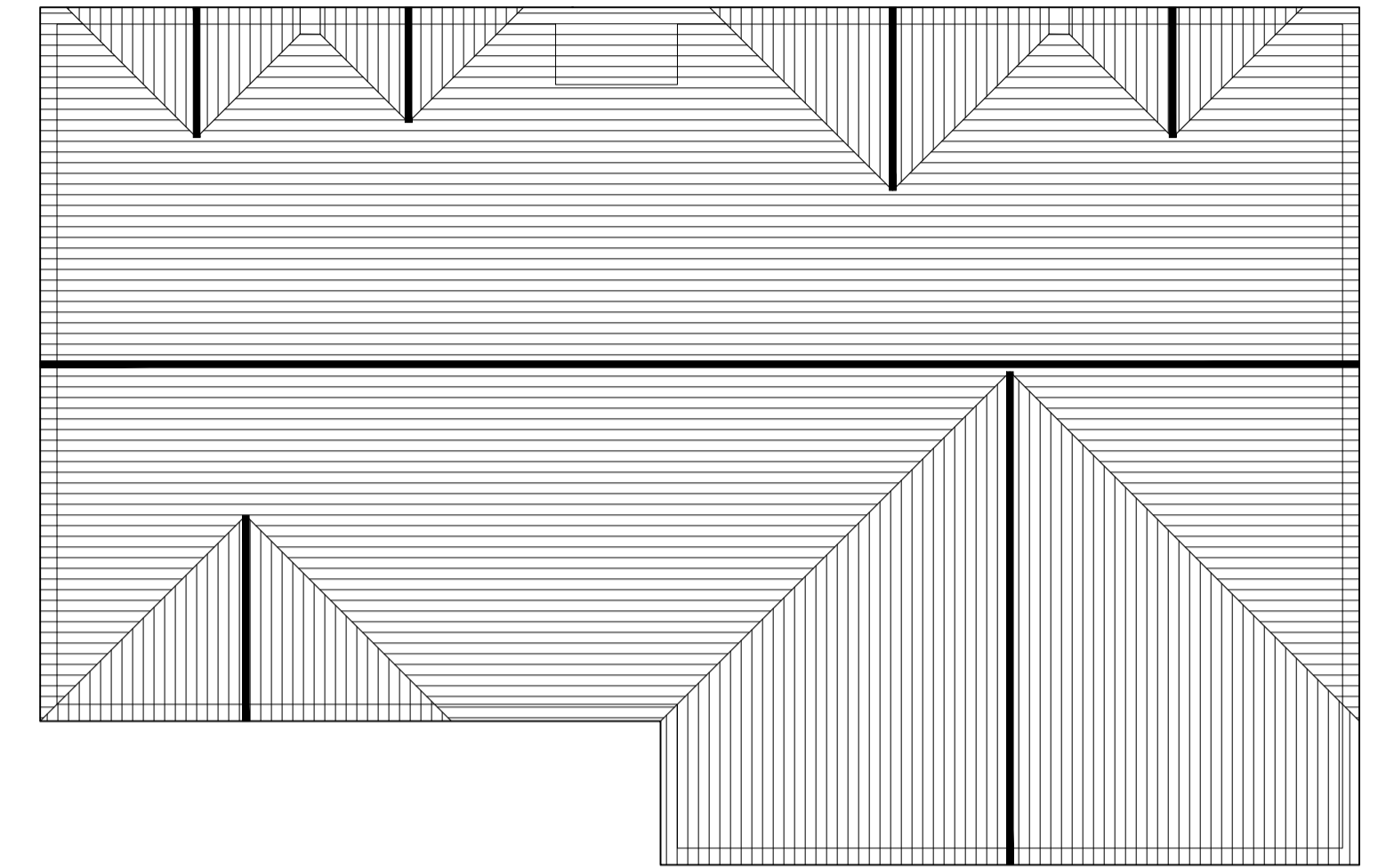
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Drawn by/ checked by:	RW		



First Floor Plan



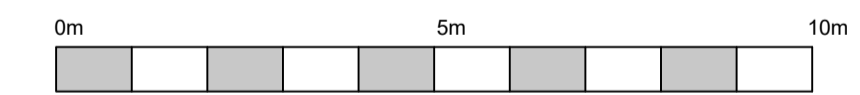
Second Floor Plan



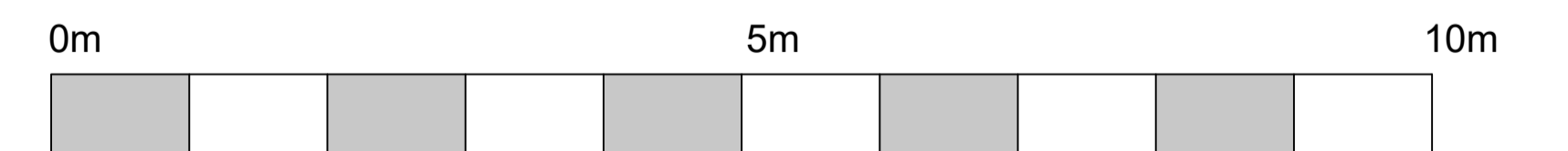
Roof Plan



Ground Floor Plan
Scale 1:50



Scale 1:100



Scale 1:50

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Revision	Date	Details
A	Jan 23	Communal corridor reduced at upper levels at TLA request.
B	Feb 23	Communal corridor reverted back to previous design at TLA request.
C	June 23	Apartment sizes amended at TLA request.
D	June 23	Minor window position changes to suit updated elevations.
E	June 23	Second scale bar added at request of Planning.
F	Sept 23	Apartments increased to 50sqm at request of Planning.

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Drawing Number: (Job number)	M4961	(PL)	05
Revision:	F		
Scale:	1:50/100 @ A1		
Date:	Jan 2023		
Drawn by/ checked by:	RW		



Elevation to Cardale Street
Scale 1:50



Elevation to new access road

- MATERIALS LEGEND
-  Red Multi Brickwork
 -  Red Smooth Brickwork Stack Bond
 -  Through Colour Silicone Render



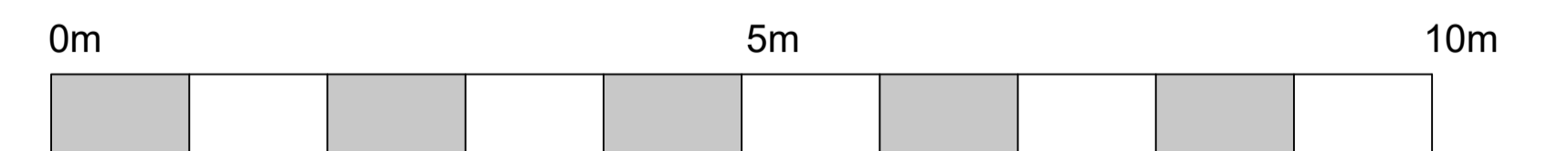
Elevation to car parking
Scale 1:100



Gable Elevation
Scale 1:100



Scale 1:100



Scale 1:50

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Revision	Date	Details
A	Jan 23	Communal corridor reduced at upper levels at TLA request.
B	Jun 23	Changes to elevations to suit reduced floor areas.
C	June 23	Second scale bar added at request of Planning.
D	Sept 23	Elevations amended to suit increase to 50sqm.

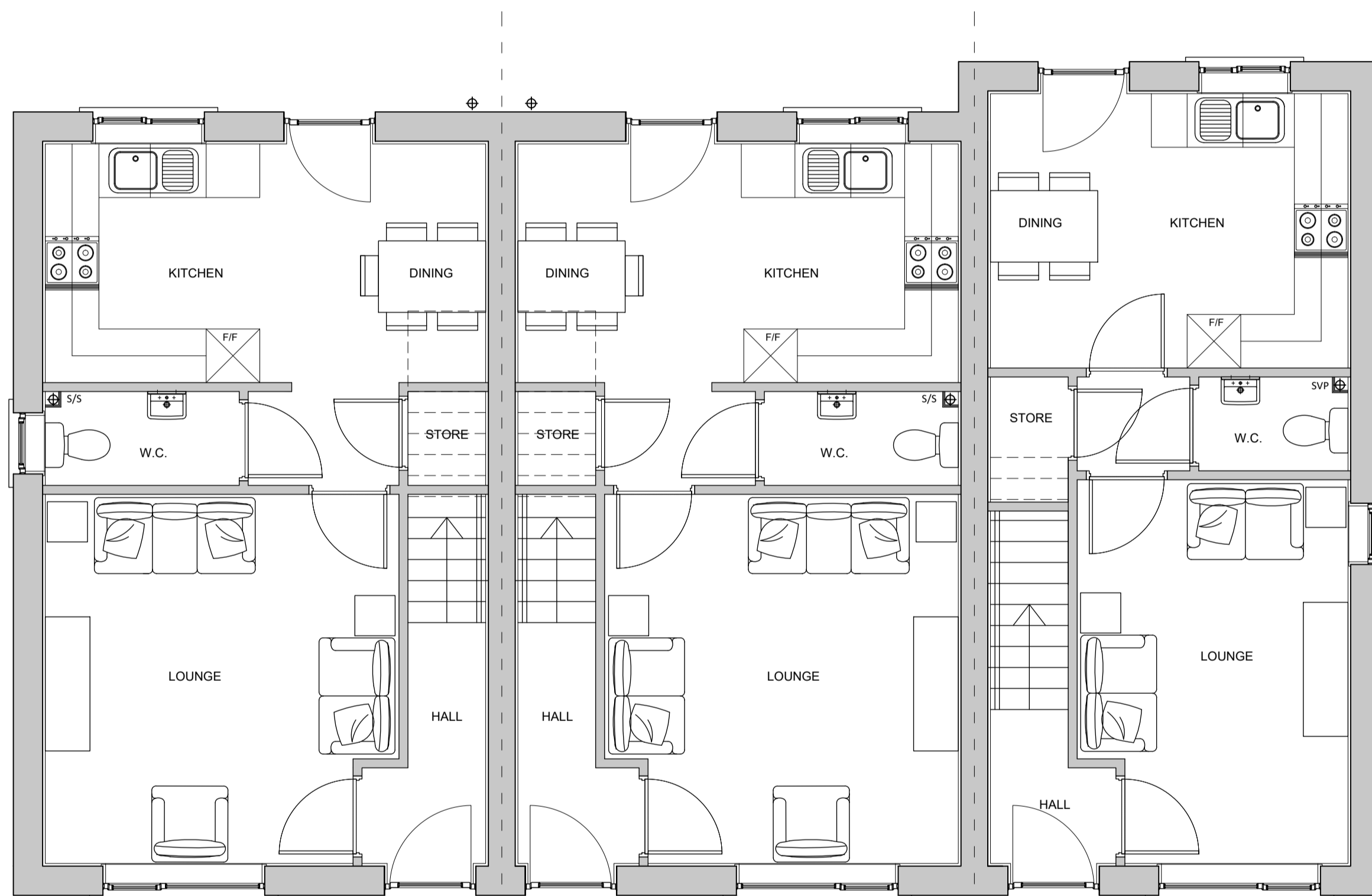
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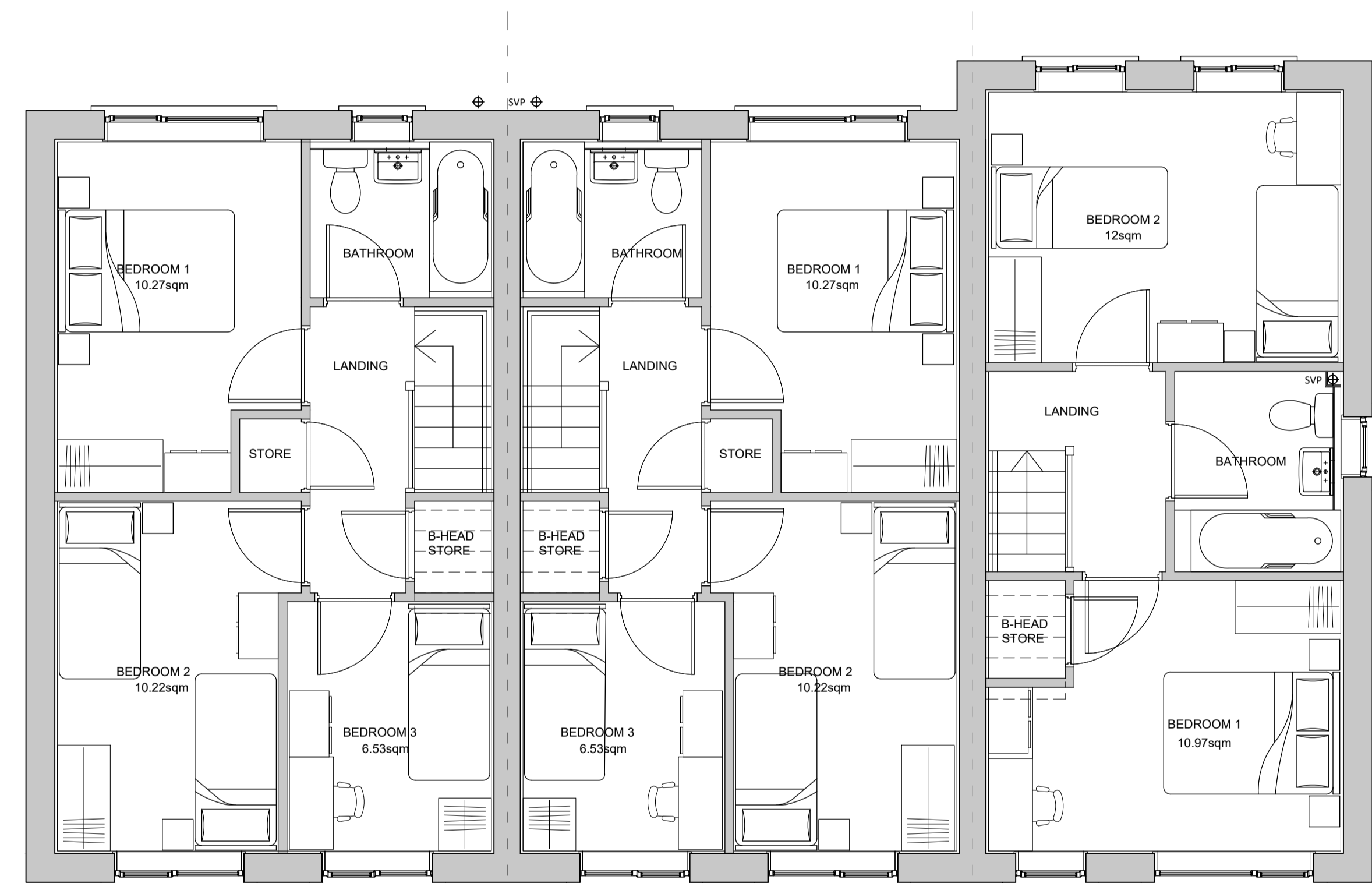
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11 (C)

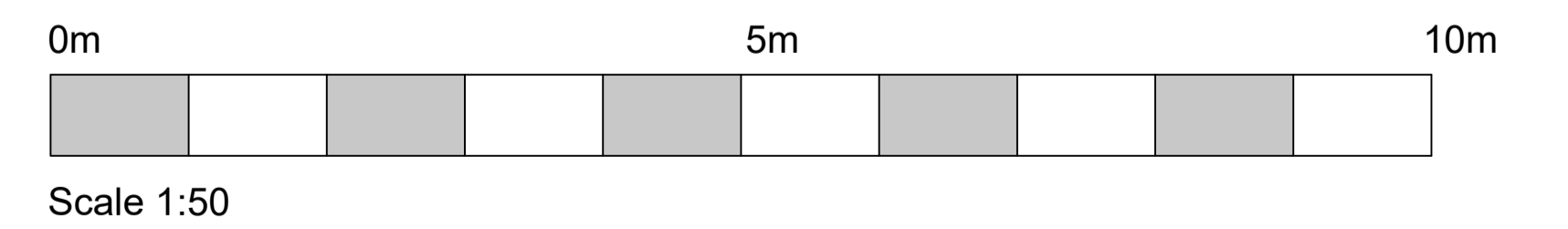
10 (B)



Ground Floor Plan



First Floor Plan



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A	June 23	Drawing issued for Planning.

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Drawing Number: (Job number)	M4961	(PL)	07
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Date:	Jan 2023		
Drawn by/ checked by:	RW		
Revision:	A		

Type B
2 bed 4 person house @ 68sqm

Type C
3 bed 5 person house @ 79.2sqm

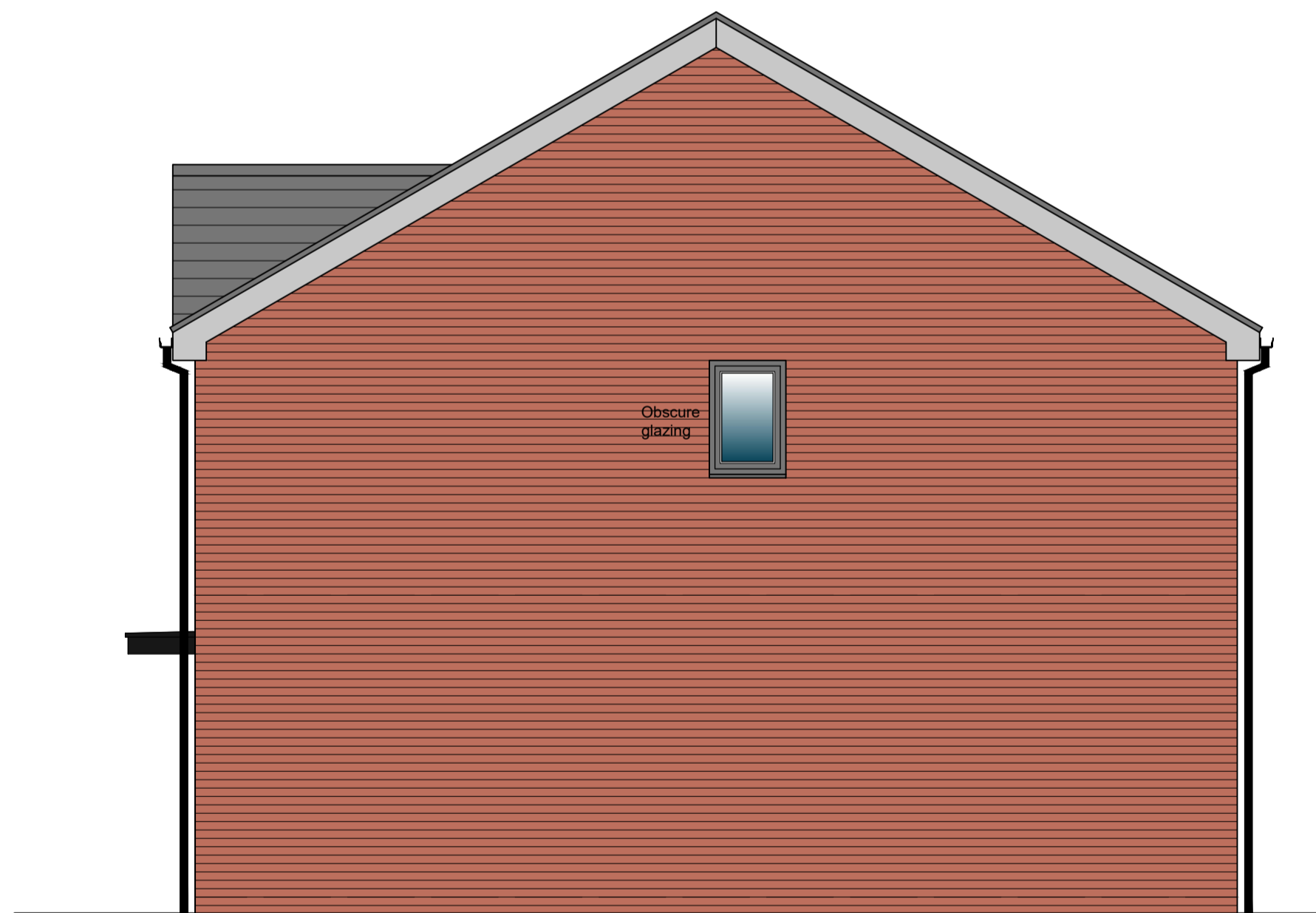
Cardale Street
Rowley Regis



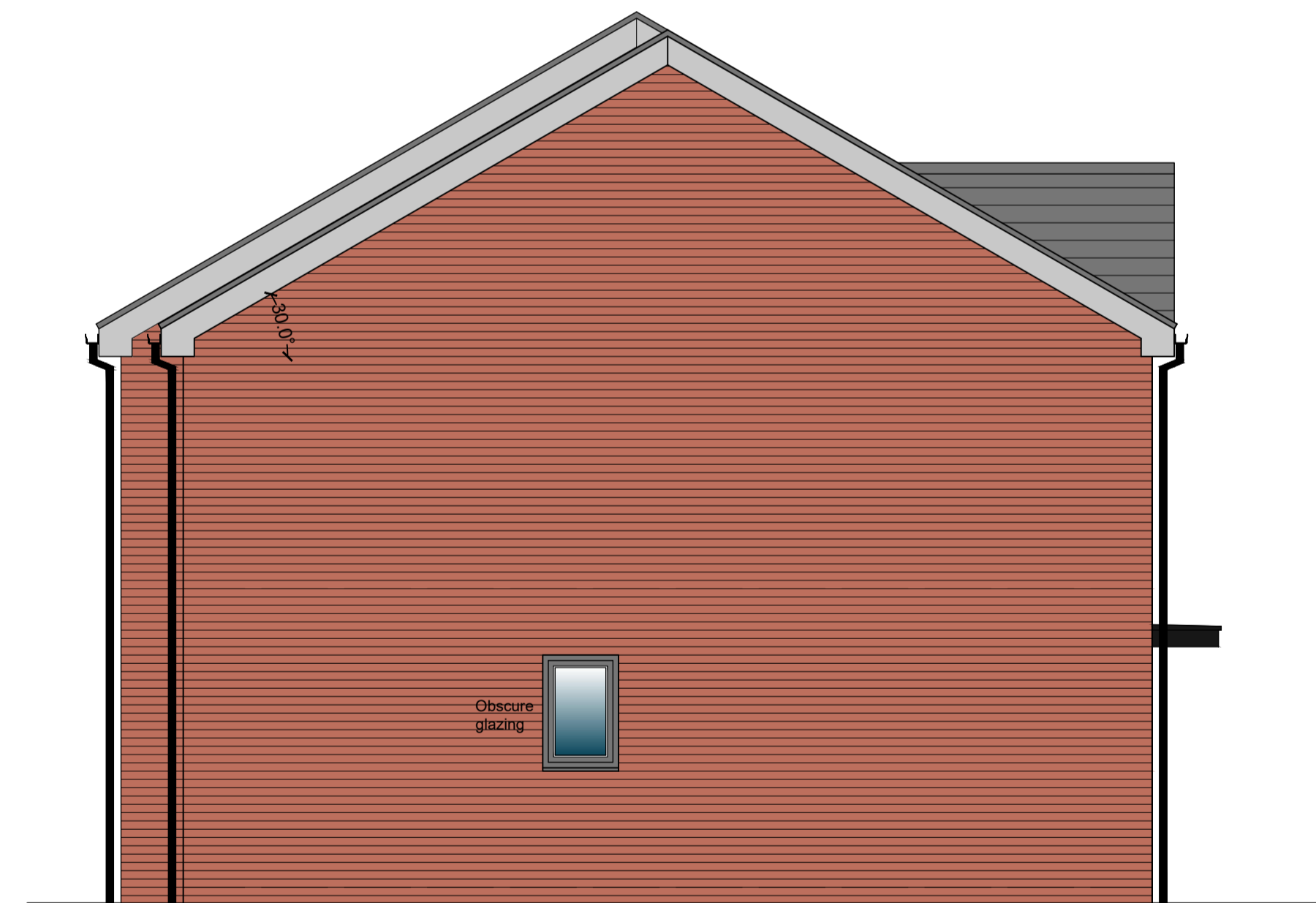
Front Elevation



Rear Elevation






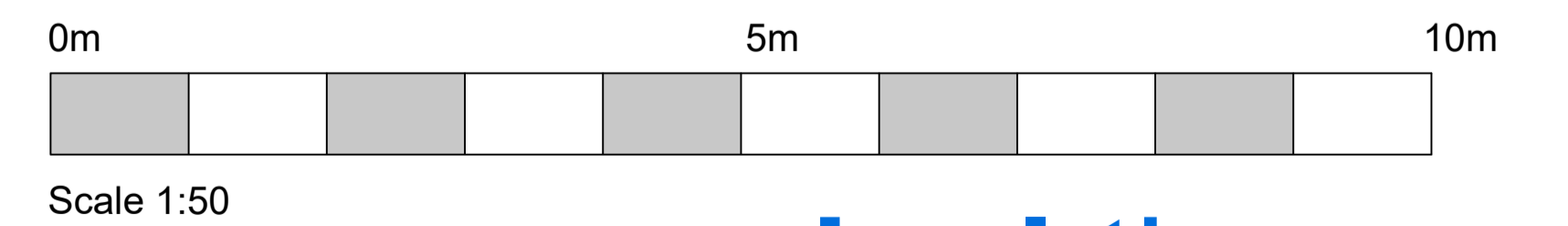
Gable Elevation to Plot 13



Gable Elevation to Plot 14

MATERIALS LEGEND

	Red Multi Brickwork
	Red Smooth Brickwork Stack Bond
	Through Colour Silicone Render



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A	June 23	Drawing issued for Planning.

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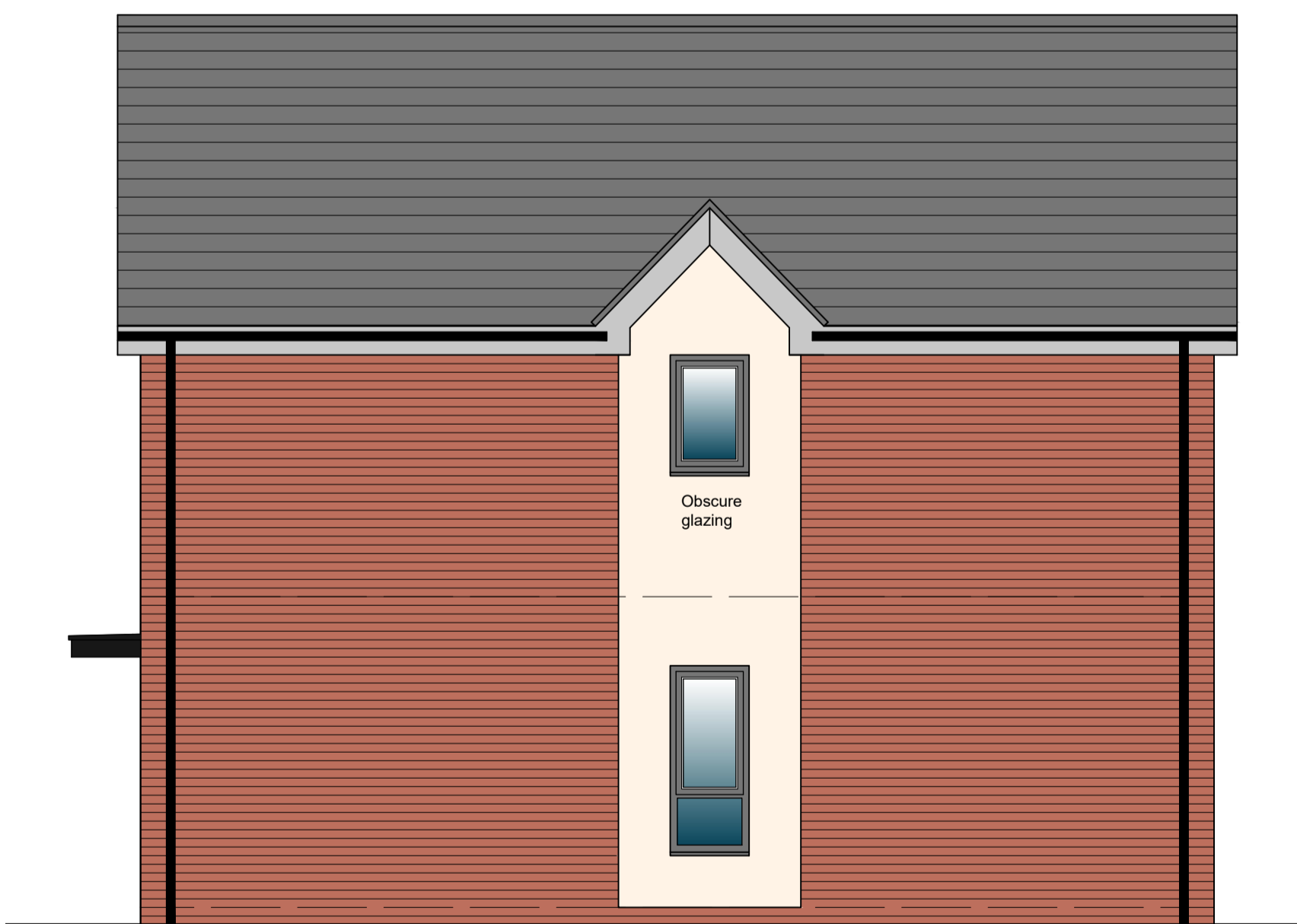
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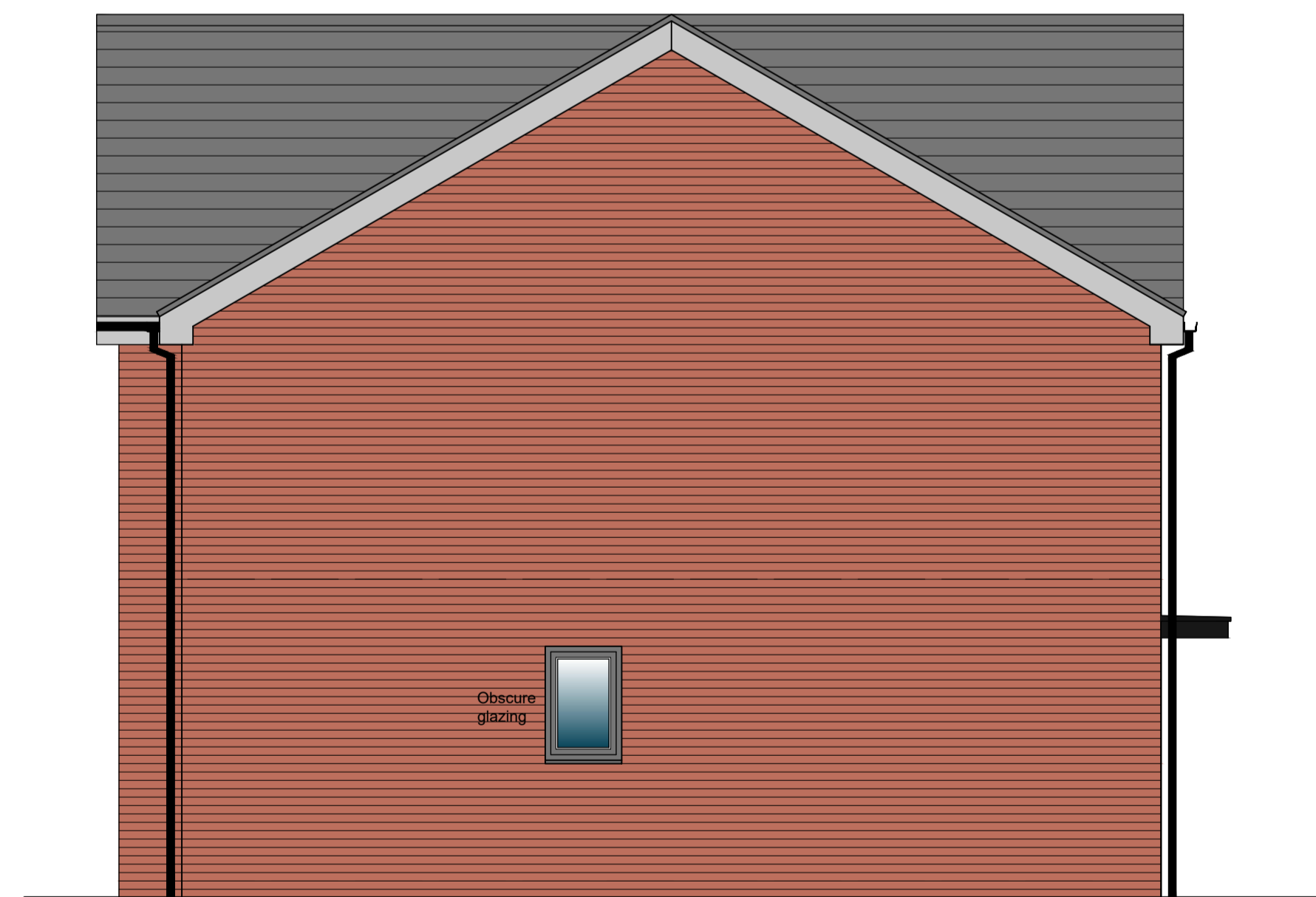
Front Elevation



Rear Elevation

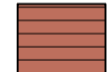
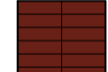



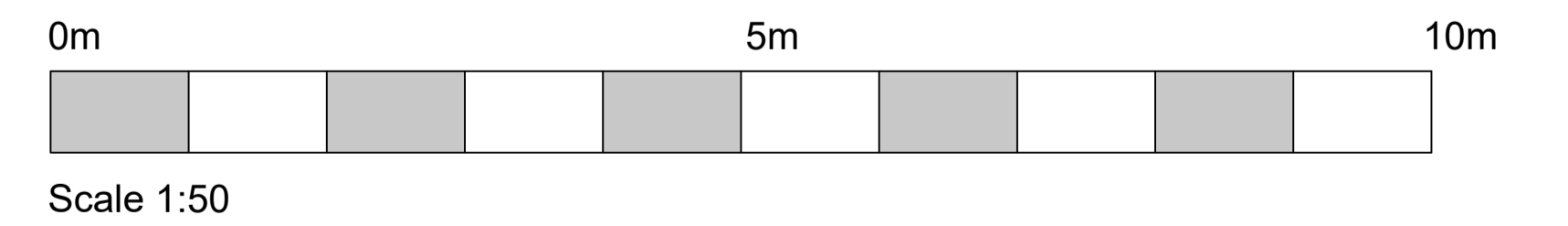
Gable Elevation to Plot 10



Gable Elevation to Plot 12

MATERIALS LEGEND

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-  Through Colour Silicone Render



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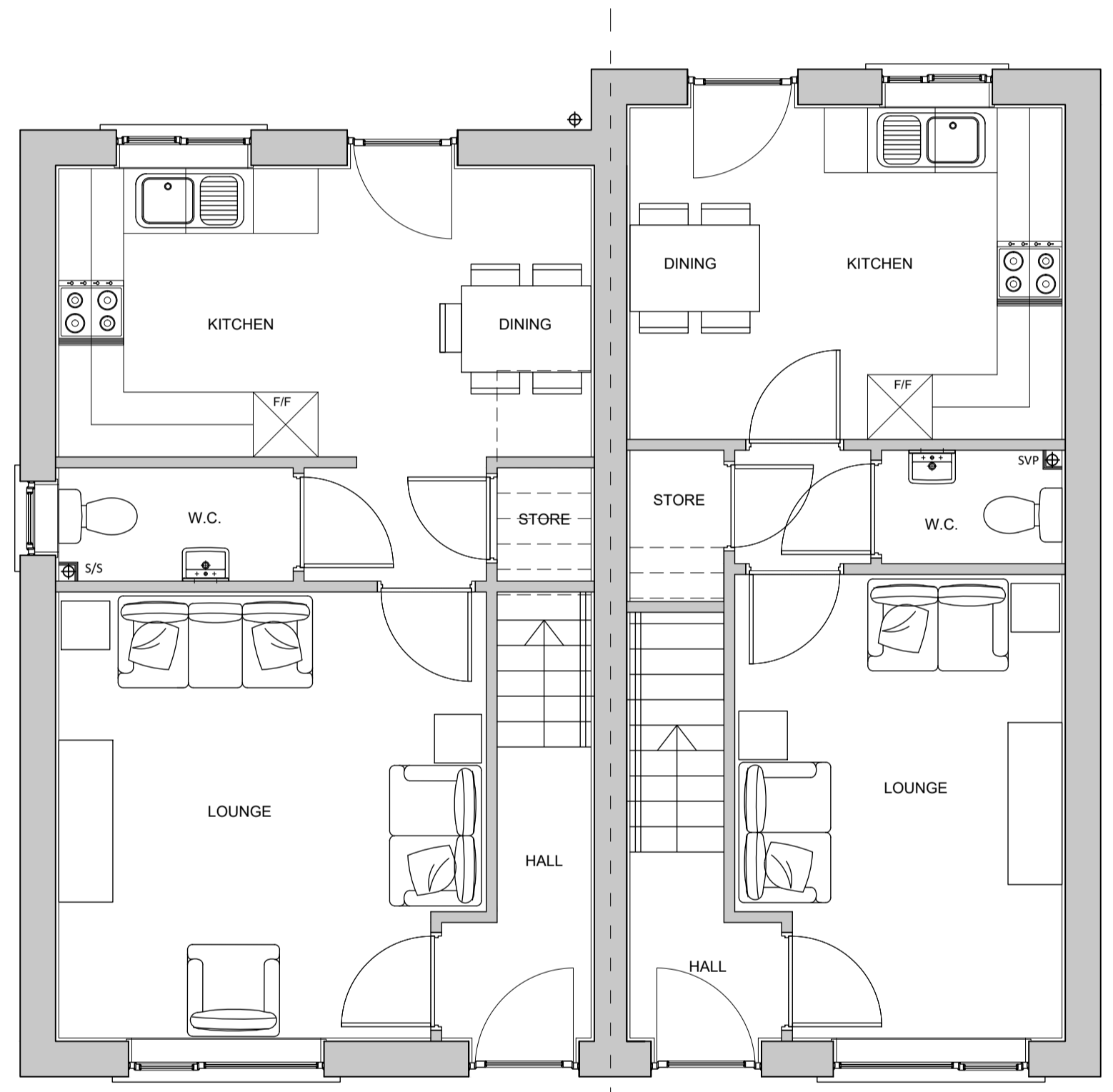
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A	June 23	Drawing issued for Planning.
B	June 23	Scale bar added at request of Planning.

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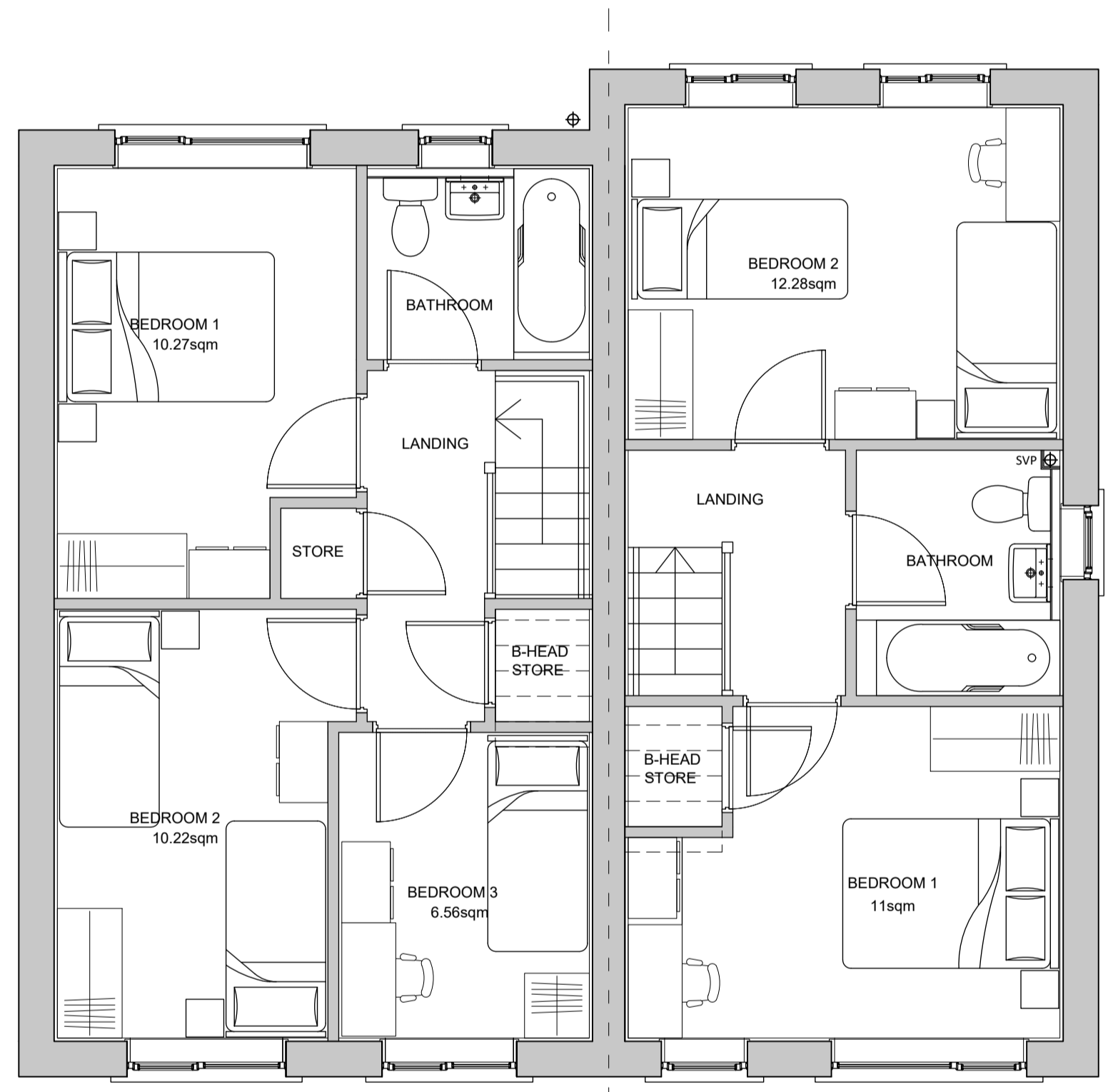
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14 (C)

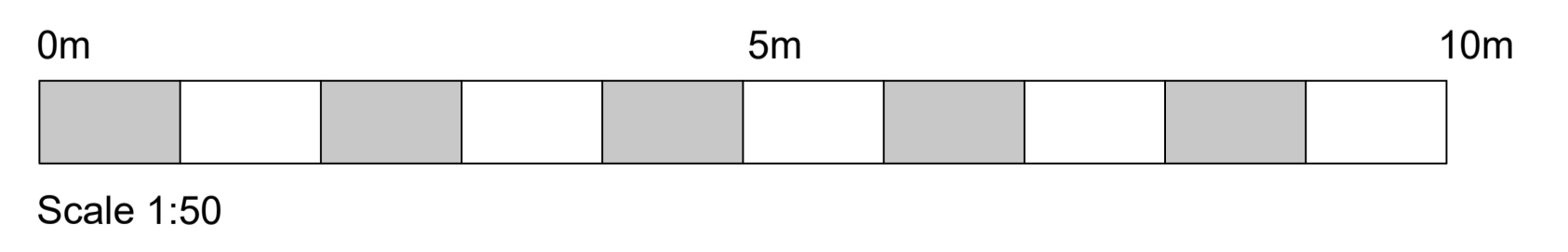
13 (B)



Ground Floor Plan



First Floor Plan

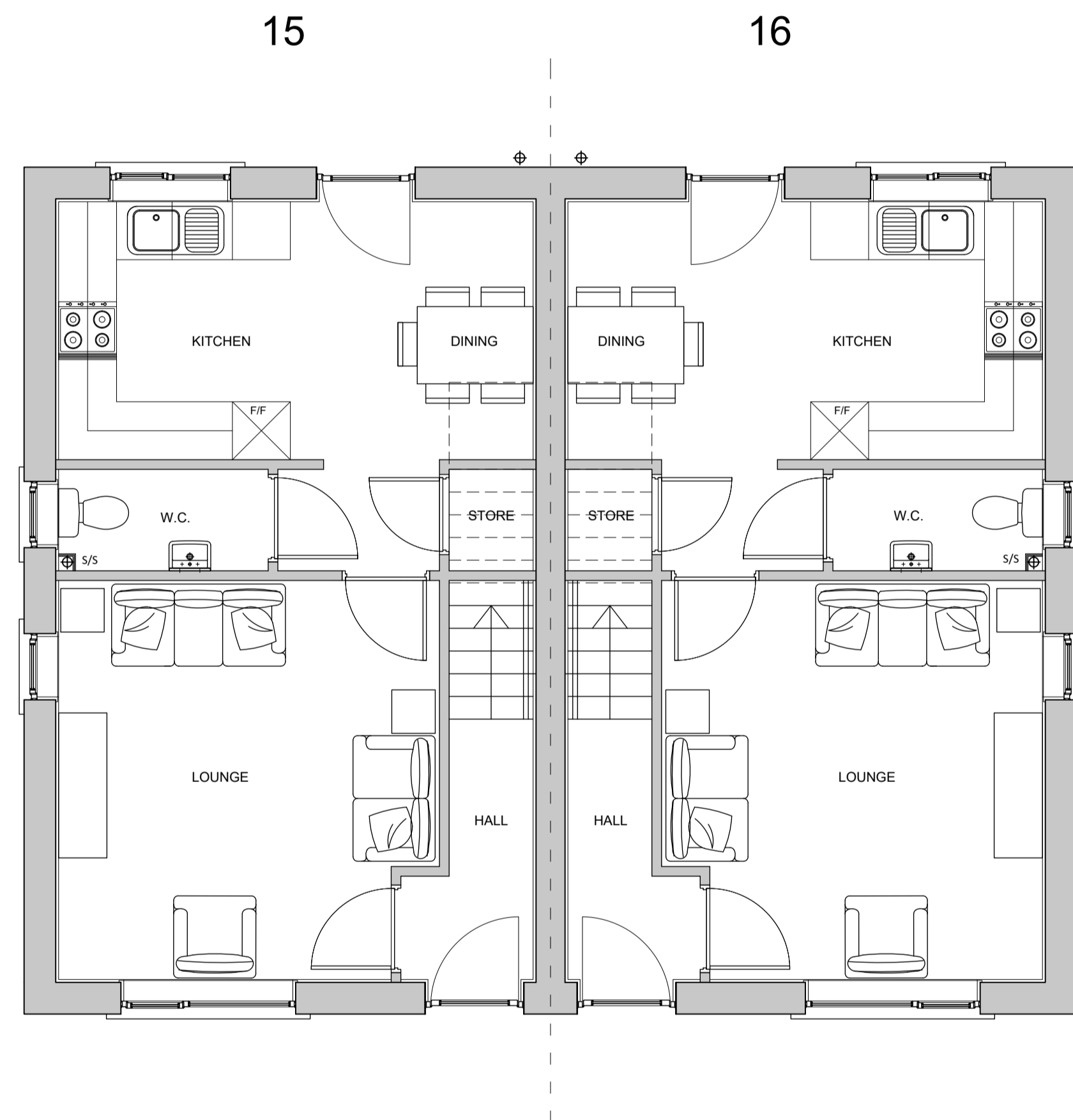


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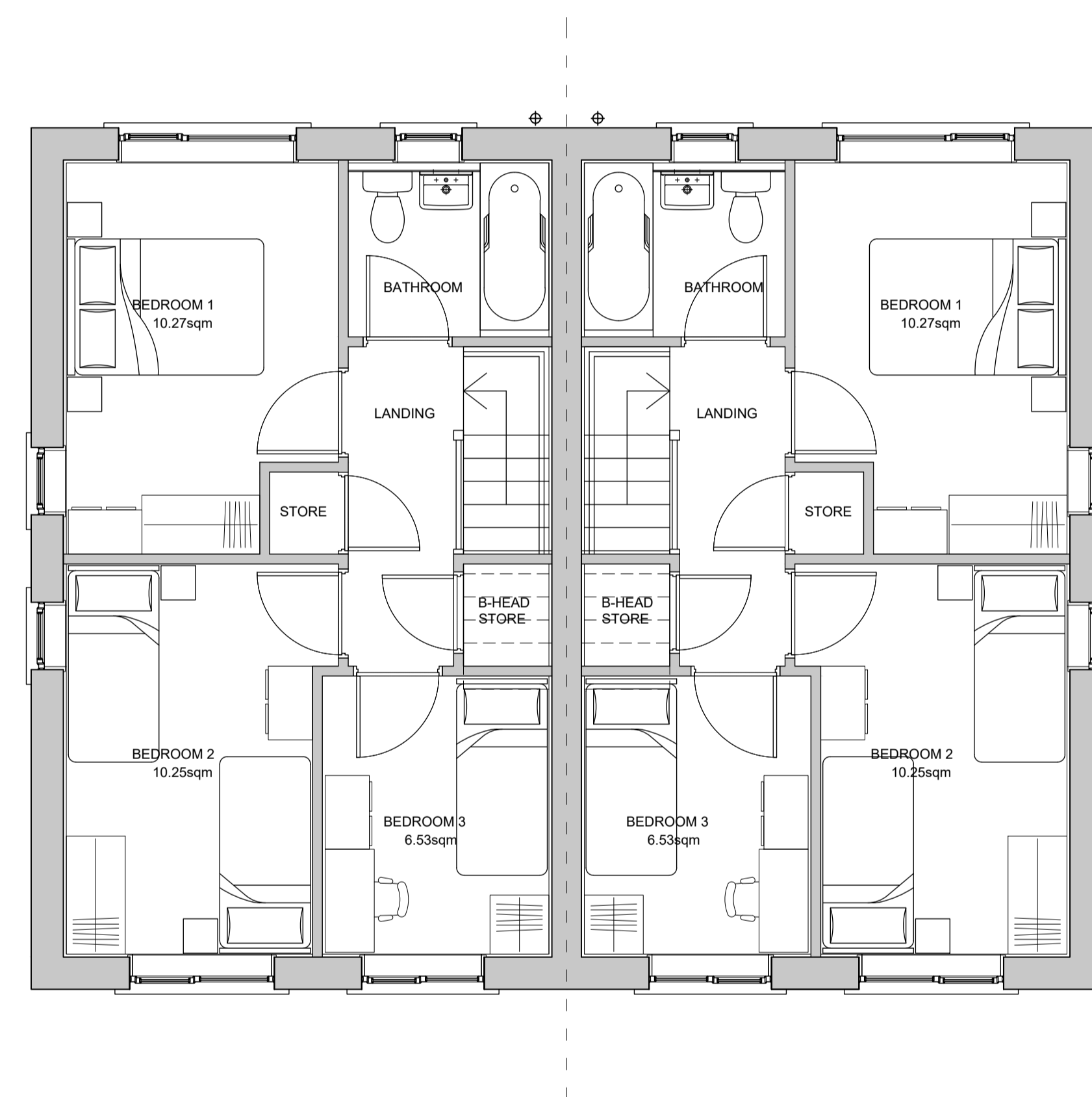
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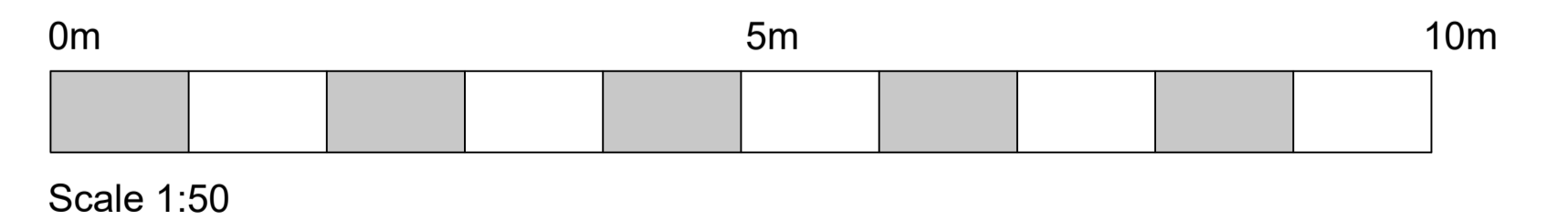
Client:	Taylor Land Associates		
Job:	Cardale Street, Rowley Regis		
Drawing title:	Floor Plans Plots 13-14		
Drawing Number: (Job number)	M4961	(PL)	09
Revision:	A		
Scale:	1:50 @ A1		
Date:	Jan 2023		
Drawn by/ checked by:	RW		



Ground Floor Plan



First Floor Plan



Revision	Date	Details
A	June 23	Drawing issued for Planning.

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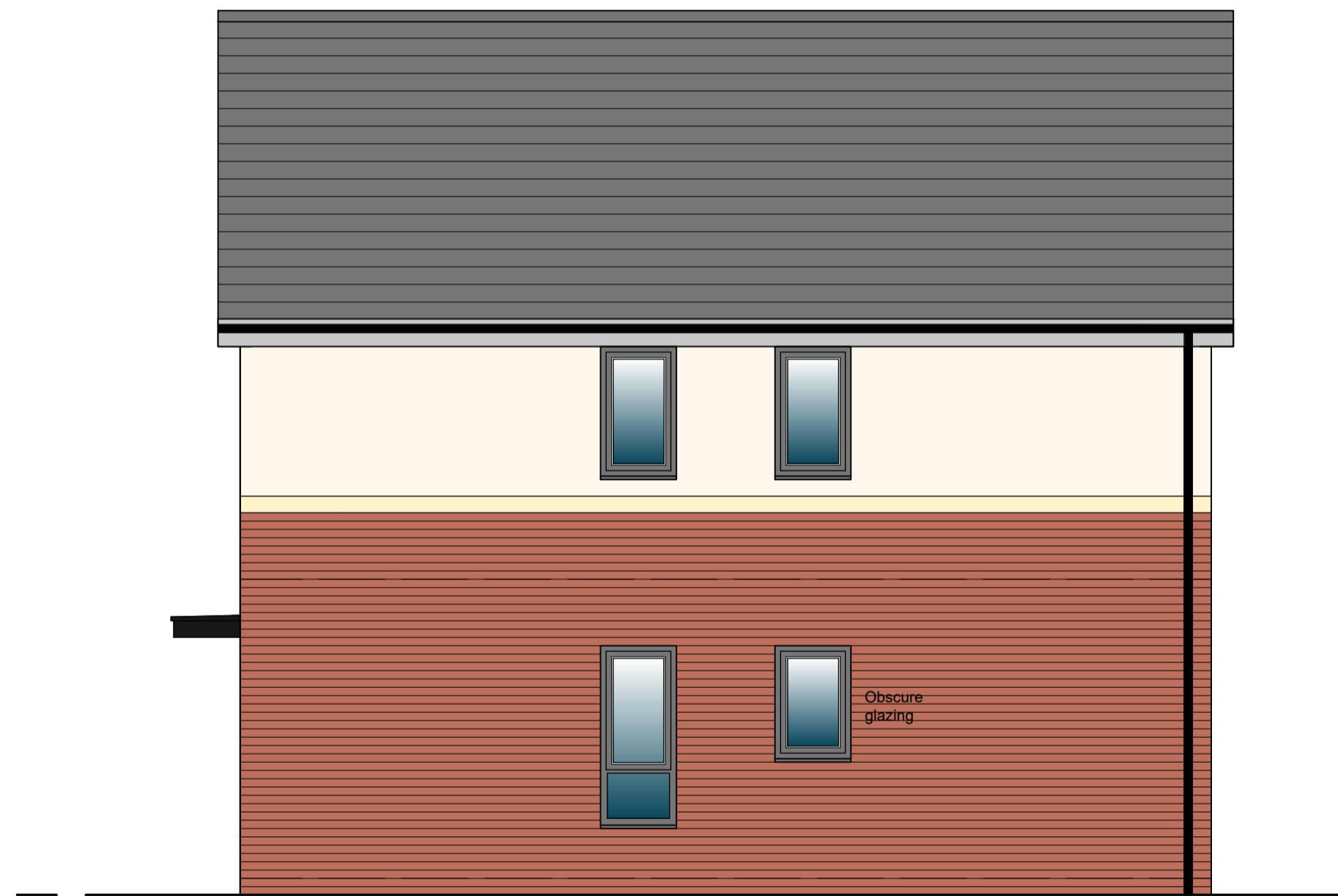
Client:	Taylor Land Associates		
Job:	Cardale Street, Rowley Regis		
Drawing title:	Floor Plans Plots 15-16		
Drawing Number: (Job number)	M4961	(PL)	11
Scale:	1:50 @ A1		
Date:	Jan 2023		
Drawn by/ checked by:	RW		



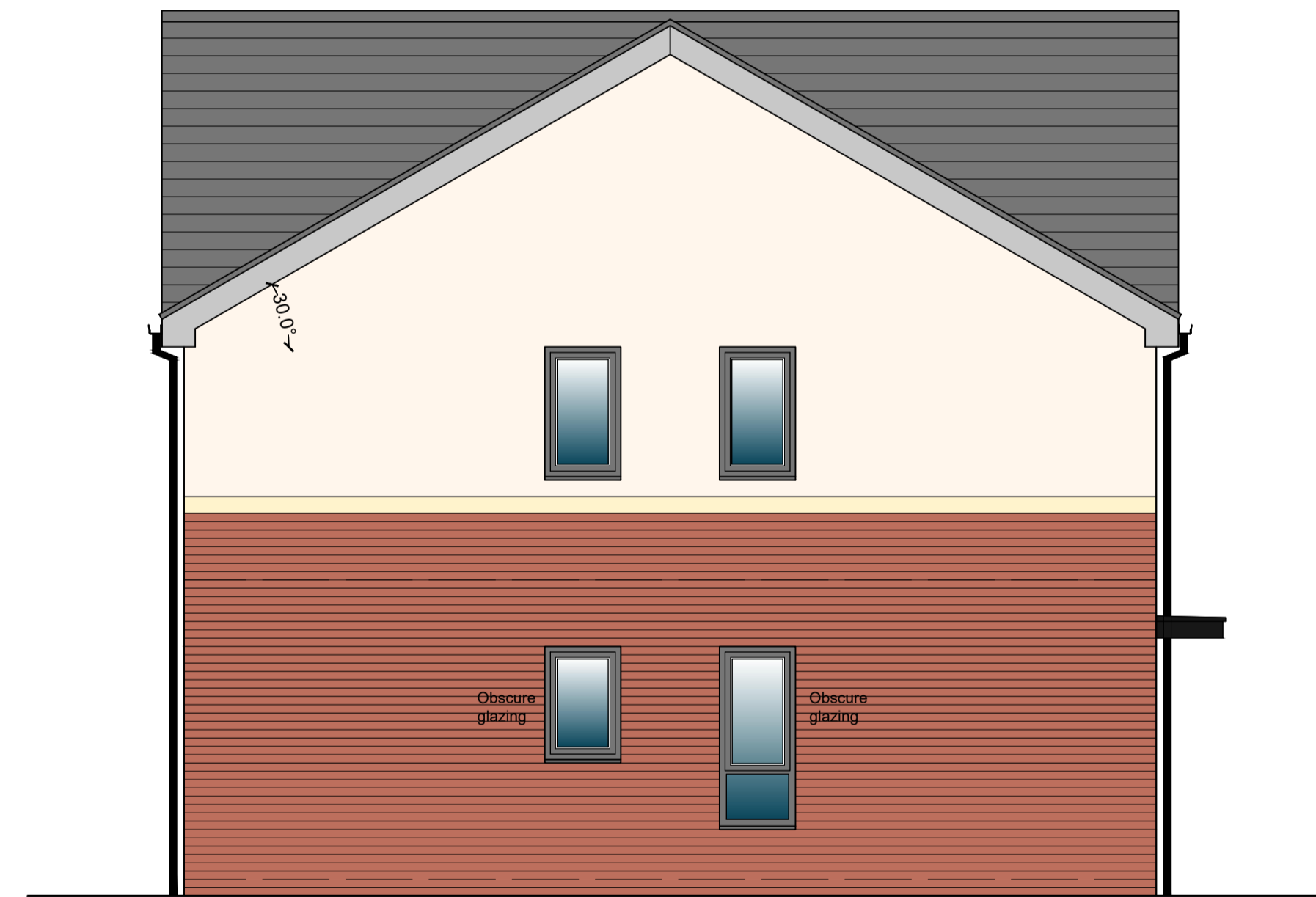
Front Elevation



Rear Elevation






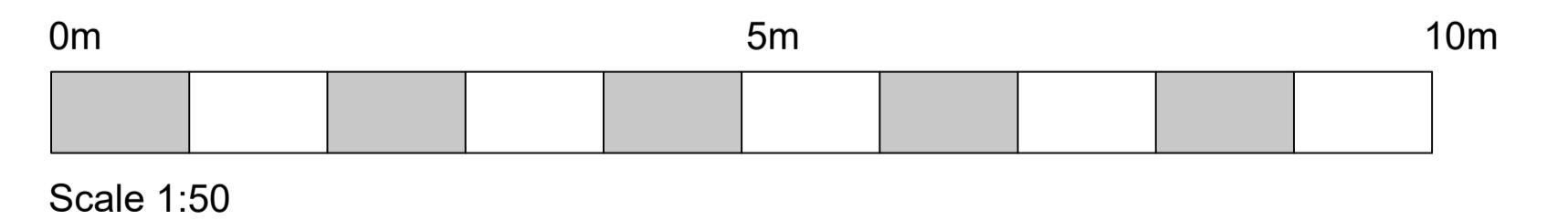
Gable Elevation to Plot 15



Gable Elevation to Plot 16

MATERIALS LEGEND

	Red Multi Brickwork
	Red Smooth Brickwork Stack Bond
	Through Colour Silicone Render

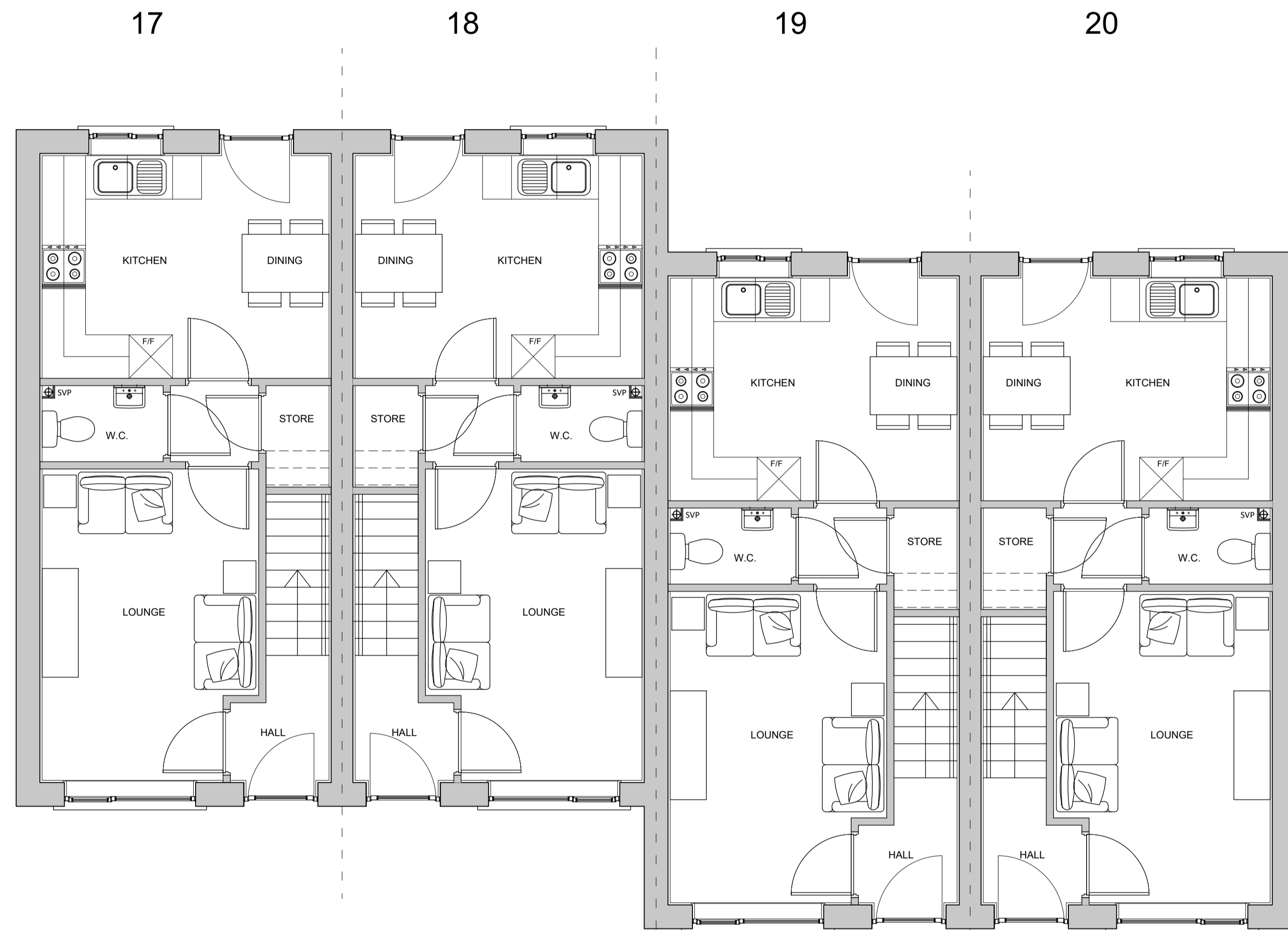


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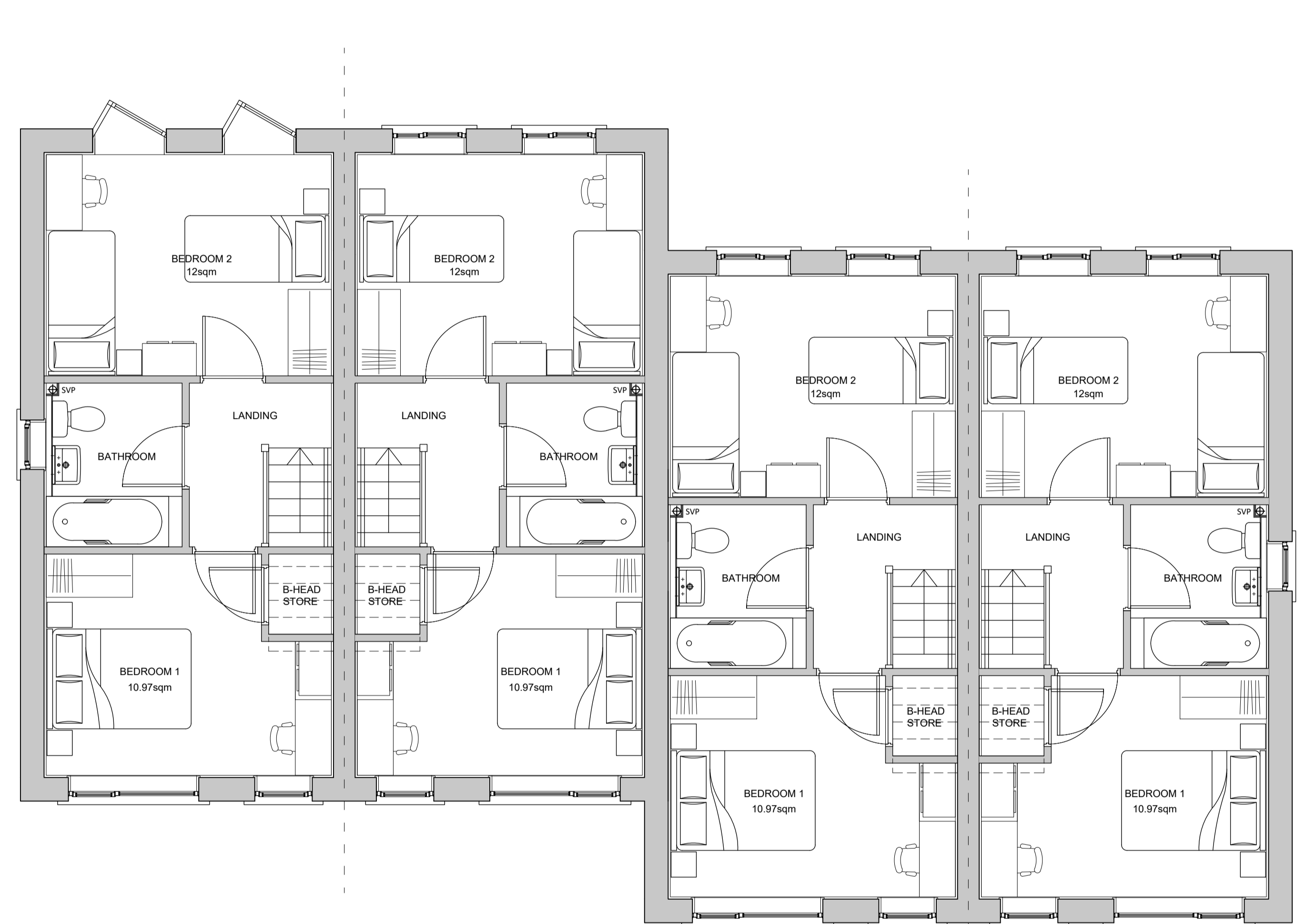
Revision	Date	Details
A	June 23	Drawing issued for Planning.
B	Sept 23	Render continued round gable at request of Planners.

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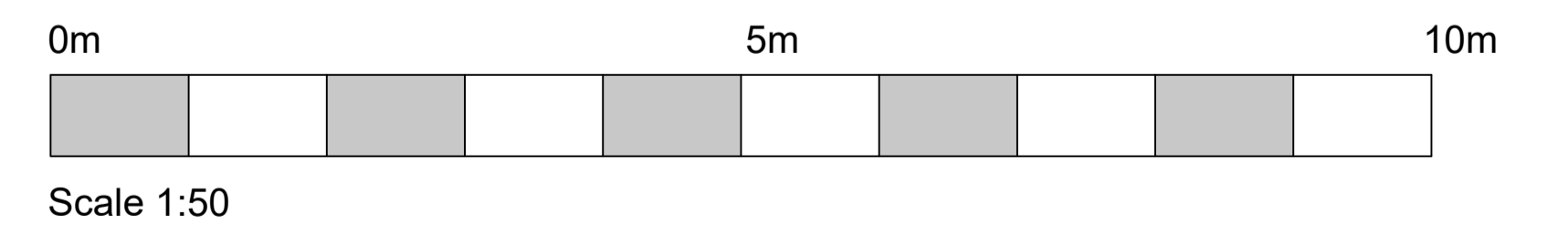
Client:	Taylor Land Associates		
Job:	Cardale Street, Rowley Regis		
Drawing title:	Elevations Plots 15-16		
Drawing Number: (Job number)	M4961	(PL)	12
Scale:	1:50 @ A1		
Date:	Jan 2023		
Drawn by/checked by:	RW		



Ground Floor Plan



First Floor Plan



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Revision	Date	Details
A	June 23	Drawing issued for Planning.

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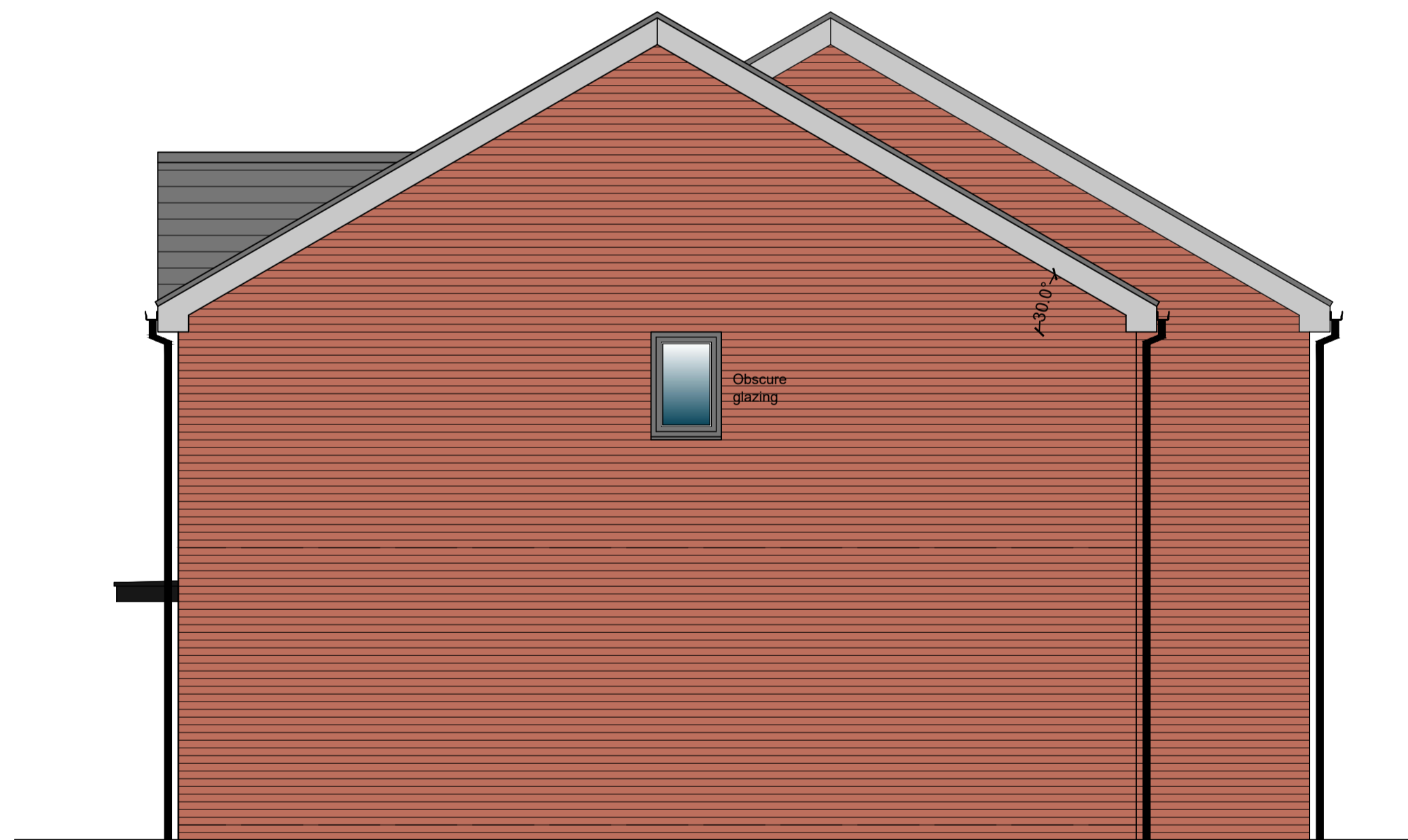
Client:	Taylor Land Associates		
Job:	Cardale Street, Rowley Regis		
Drawing title:	Floor Plans Plots 17-20		
Drawing Number: (Job number)	M4961	(PL)	13
Scale:	1:50 @ A1		
Date:	Jan 2023		
Drawn by/ checked by:	RW		



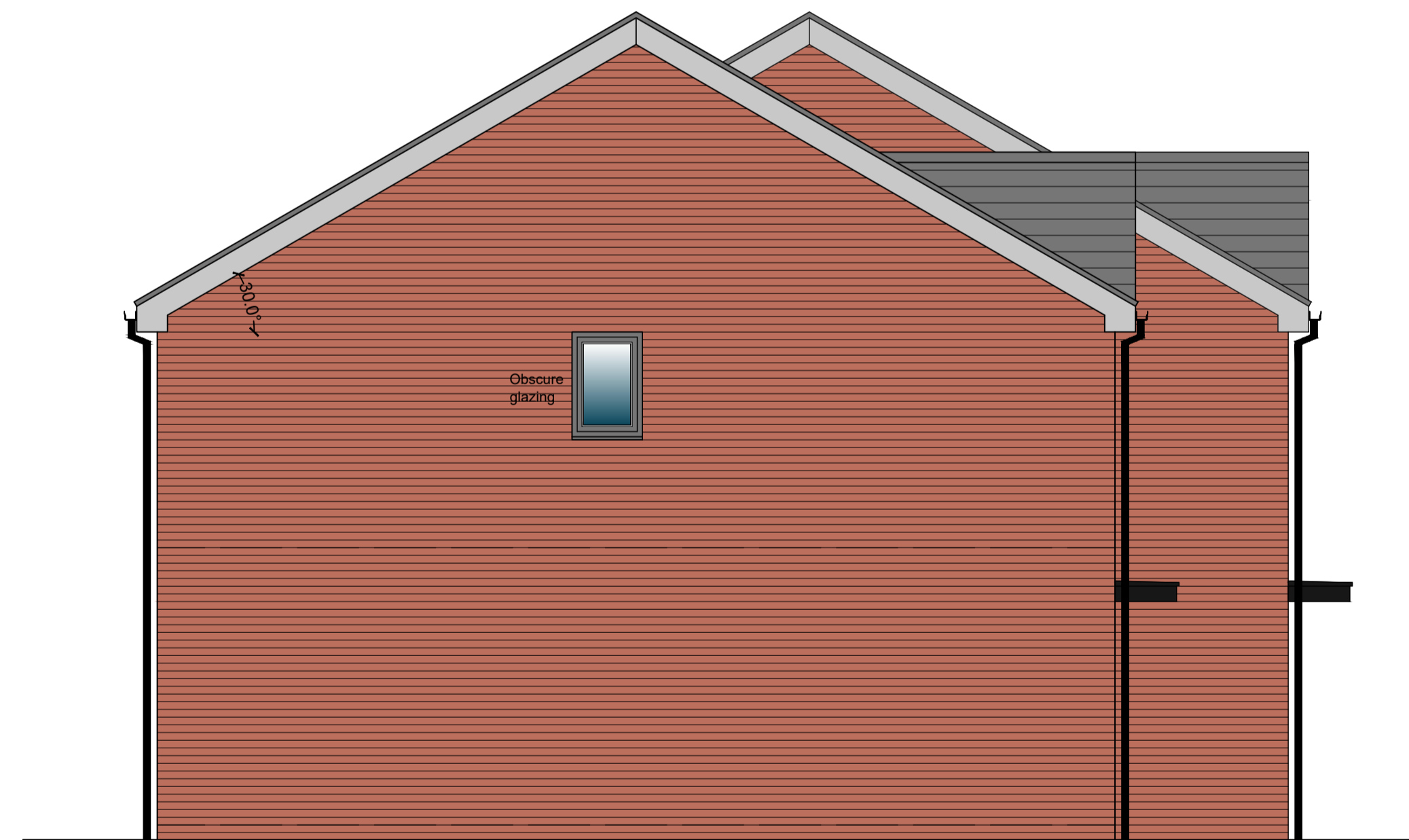
Front Elevation



Rear Elevation






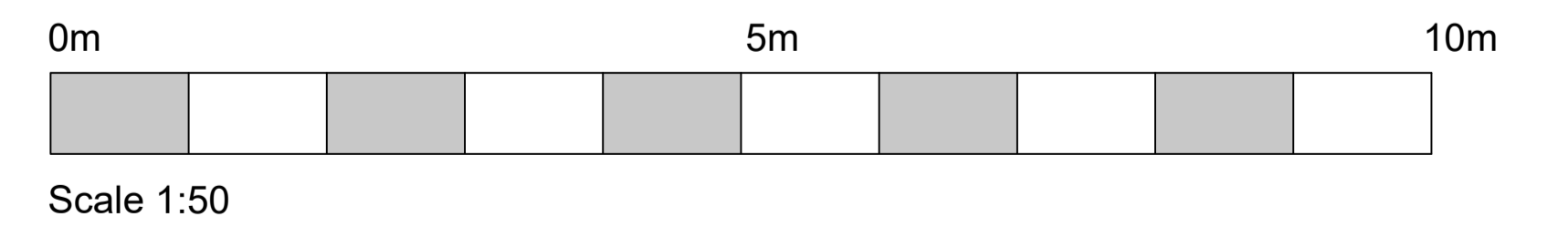
Gable Elevation to Plot 20



Gable Elevation to Plot 17

MATERIALS LEGEND

	Red Multi Brickwork
	Red Smooth Brickwork Stack Bond
	Through Colour Silicone Render



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Revision	Date	Details
A	June 23	Drawing issued for Planning.

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Client:	Taylor Land Associates			
Job:	Cardale Street, Rowley Regis			
Drawing title:	Elevations Plots 17-20			
Drawing Number: (Job number)	M4961	(PL)	14	Revision: A
Scale:	1:50 @ A1			
Date:	Jan 2023			
Drawn by/checked by:	RW			



Street Scene along Cardale Street
Scale 1:100



Scale 1:100

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Revision	Date	Details

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Client:	Taylor Land Associates		
Job:	Cardale Street, Rowley Regis		
Drawing title:	Cardale Street Elevation		
Drawing Number: (Job number)	M4961	(PL)	15
Scale:	1:100 @ A1		
Date:	Jun 2023		
Drawn by/checked by:	RW		

legend

- new grassed / turfed areas
- allocation areas- no seed or turf required
- proposed tree planting refer to schedule
- shrub planting refer to schedule
- Concrete paving flags
- Turfed lawn area
- Tarmac parking space
- Block paved parking space
- Tarmac highway



Planting Schedule

Abbreviation	Species	Height	Girth	Specification	Pot Size	Number of Plants
BJ	Betula utilis jacquemontii	350-425cm	12-14cm	Heavy Standard: 3x	RB	5
BP	Betula pendula	350-425cm	12-14cm	Heavy Standard: 3x	RB	2
MT	Malus tschonoskii	350-425cm	12-14cm	Heavy Standard: 3x	B	1
PAM	Prunus 'Amanogawa'	350-425cm	12-14cm	Heavy Standard: 3x	RB	4
PCC	Pyrus calleryana 'Chanticleer'	300-350cm	12-14cm	Heavy Standard: 3x	B	3
PP	Prunus padus	350-425cm	12-14cm	Heavy Standard: 3x	B	1
SA	Sorbus aucuparia	350-425cm	12-14cm	Heavy Standard: 3x	B	3
TCG	Tilia cordata 'Greenspire'	350-425cm	12-14cm	Heavy Standard: 3x	B	2
						21

POT SIZE= B- Bareroot, RB- Rootball, C- Container, L-Litre

Shrubs	Species	Specification	Height	Pot size	Density	Number of Plants
CAB	Ceanothus 'Autumnal Blue'	30-100cm	10L	3/m ²		6
CET	Ceanothus thyrsiflorus repens	20-30cm	3L	6/m ²		8
CSB	Cornus alba 'Sibirica'	80-100cm	10L	3/m ²		32
CVG	Calluna vulgaris 'Gold Haze'	30-40cm	2L	10/m ²		6
ESQ	Euonymus fortune 'Silver Queen'	30-40cm	3L	6/m ²		34
GDC	Griselinia littoralis 'Dixon's Cream'	60-80cm	10L	3/m ²		6
HMT	Hypericum x moserianum 'Tricolor'	30-40cm	3L	6/m ²		74
HMW	Hebe 'Mrs Winder'	30-40cm	3L	6/m ²		71
KP	Kerria japonica 'Plentiflora'	60-80cm	10L	3/m ²		26
LNB	Lonicera nitida 'Baggesen's Gold'	40-60cm	5L	6/m ²		26
MAP	Mahonia aquifolium 'Apollo'	30-40cm	3L	6/m ²		84
RIMG	Rosa 'Red Max Graf'	30-40cm	3L	6/m ²		10
RO	Rosmarinus officinalis	40-60cm	5L	6/m ²		50
VD	Viburnum davidii	30-40cm	3L	6/m ²		28
VOS	Viburnum opulus 'Sterile'	40-60cm	10L	3/m ²		20
						481

Specimens	Species	Specification	Height	Girth	Pot Size	Density	Number of Plants
BBS	Buxus sempervirens	Supplied as a ball	30-40cm		10L	Counted	12
JVS	Juniperus virginiana 'Skyrocket'		80-100cm		7.5L	Counted	18
MC	Mahonia x media 'Charity'		80-100cm		25L	Counted	12
							42

SENSORY PLANTS

Abbreviations	Botanical Name	Sensory Value	Number of Plants
COS	Cosmos atrosanguineus	Sight	20
HMA	Hakonechloa macra 'Aureola'	Sight	
LAV	Lavandula angustifolia 'Vera'	Smell	44
PUV	Pulsatilla vulgaris	Sight	12
STP	Stipa barbata	Touch/Sound	24
			100

HEDGES

Abbreviations	Species	Specification	Height	Girth	Pot Size	Density	Number
BS	Buxus sempervirens	Double staggered row	30-40cm		5L	6/m	28
PLO	Prunus laurocerasus 'Otto Lukyeri'	Double staggered row	60-80cm		5L	4/m	226

Preparing for topsoiling
Grading and cultivation shall be in accordance with BS 4428:1989 section 4. Subsoil that is to receive topsoil shall, whether obviously overcompacted or not, be thoroughly broken up by hand, by heavy rotavator, by subsoiler or tined equipment with adequate passes made to thoroughly break up the surface to a depth of 150mm, cleared of all large stones, bricks, perennial weeds, tree roots (excluding living tree roots), coarse vegetation and other extraneous matter.

Subsoil grading
Subsoil shall only be graded after loosening as above, and this shall be undertaken by the use of a tractor and blade grader on large areas and by a small mechanical grader or by hand on small areas. Ground shall at no time be traversed by heavy machinery, for grading or any other purpose after subsoiling and/or topsoiling has taken place.

Making up levels
When subsoil is deposited in low lying areas to raise formation levels, it shall be lightly consolidated and left broken up ready to receive topsoil. Imported topsoil shall be natural subsoil free from metal, concrete or organic material with any one dimension greater than 100mm. All imported fill material shall be approved by the Landscape Architect prior to spreading on site.

Supply of topsoil
Topsoil to be supplied shall be approved by the Landscape Architect and details of the source of supply shall be provided in order that inspection may be made before delivery commences. Topsoil shall conform to BS 3882: 2015. Recommendations and classification for topsoil, clause 4.1a. The soil shall be free of weeds, roots or perennial weeds, pests, diseases, debris, tree roots, sticks, subsoil and foreign matter and shall be capable of being broken down to a fine tilth.

Temporary topsoil heaps
The depositing of temporary heaps of topsoil shall be so arranged that possible damage to existing grass, plants, farmacemans, paving etc. is avoided. Unless otherwise agreed by the Landscape Architect, temporary soil heaps shall be on protected ground. Such protection shall take the form of tarpaulins, plastic sheets, boards or similar covering. If damage does occur, it shall be made good at the contractor's own expense. Areas excavated to receive topsoil but have not had the base loosened shall not be used as temporary off loading areas. If the bottom of the excavation has been loosened off, loading on these areas is permissible.

Spreading topsoil
Prior to topsoil replacement the formation level shall be cleared of all stones, rubbish, debris with any one dimension greater than 75mm. Areas to be seeded or turfled shall be covered by topsoil 100mm thick and areas to be planted shall be covered by topsoil 400mm thick. Topsoil shall be spread in an evenly consolidated layer and shall be left cleared of all roots, stones and debris with any one dimension greater than 50mm throughout its depth. Unless otherwise stated the finished level shall be 25mm above adjacent hard areas. No topsoil shall be spread until the subsoil grade has been inspected by a Landscape Architect.

PLANTING
Cultivation
Planting areas shall be rotovated to a depth of 225mm in the original ground, or where the ground is compacted, ripped and rotovated. Pick off stones, bricks, timber and all other debris arising which have any dimensions greater than 50mm and remove off site to tip. Do not cultivate across any drain where the stone is flush with the ground surface.

Soil improvers
Where directed composts, fertilisers or other additives shall be incorporated into the soil. Spent mushroom compost or similar shall be spread to the specified thickness and incorporated, by rotovating, into the top 150mm. Fertilisers, organic or inorganic, shall be raked into the top 25mm.

Rejection of plants
All plant material should comply with the minimum requirements in BS 3936-1: 1992 Specification for trees and shrubs and BS 3936-4: 2007 Specification for forest trees. Any plant material, which in the opinion of the Landscape Architect, does not meet the requirements of the Specification, or is unsuitable, or defective in any other way, will be rejected. The minimum specified sizes in the plant schedule will be strictly enforced. The contractor shall replace all plants rejected at his own cost.

Planting
All plant material shall generally be planted between November and March in open cool weather. Planting shall not take place in frosty, snowy or waterlogged conditions. Where approved, pot or container grown plants may be planted outside the described season, but adequate watering shall be supplied. Torn or damaged roots and branches shall be cleanly pruned prior to planting.

Planting of shrubs, transplants and shrubs
The nature of the material to be planted is variable and the contractor shall allow for planting to be properly carried out in all cases as described in BS 4428: 1989 section 7 amenity tree planting, section 8 Woodland planting and section 9 Planting of shrubs, herbaceous and bulbs. All plants shall be planted at same depth, or very slightly deeper, as they were grown. Roots shall not be bent, broken or forced into inadequate pits or notches. Plants shall be upright, firmed in and wind resistant, with no air pockets around roots. All pots and root wrappings shall be carefully removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to tip. Plants shall be planted at the specified centres. On steep slopes this shall be in the horizontal measure.

Tree planting within soft landscape areas
Trees shall conform to BS: 3936-1: 1992 and be planted in tree pits of the following sizes unless directed otherwise:
Feathered trees - 900 x 900 x 450
Selected standards - 1000 x 1000 x 600
Heavy standards/Extra heavy standards - 1200 x 1200 x 600
Excavated subsoil or stone shall be carted off site to tip. The bottom 250mm of the pit shall be dug and broken up. The bottom of the pit shall be backfilled with subsoil (site or imported) to comply with BS 8601: 2013. The top 300mm of the pit shall be backfilled with imported topsoil as specified unless directed otherwise.

Compost for planting pits
Compost shall be a proprietary product, bark based incorporating fertilisers and improving additives. The type of compost shall be approved before its delivery on site, and the details of the product shall be supplied. Cambark planting compost is approved. Where directed compost shall be added to and mixed with topsoil backfill at the following rates:
Feathered trees - 40 litres
Selected standards - 60 litres
Heavy standards/Extra heavy standards - 80 litres

Stakes for trees
Stakes shall be peeled round softwood, pointed, minimum diameter 75mm. The stakes shall be driven into the base of the tree pit prior to placing the tree and backfilling.
Stakes shall in general have a clear height above the finished ground level as follows unless directed otherwise:
Feathered trees - 750mm (one tie)
Heavy standards/Extra heavy standards - 1200mm (2 stakes, one tie each)
The stake shall be long enough to drive until they hold the tree firmly without rocking.

Tree ties
Ties for bareroot trees, shall be approved rubber nail-on type with cushioned spacer such as Toms, or other equal and approved. Nails shall be flat headed galvanised and shall hold the ties securely into the stakes. Ties shall not be over tight on the tree stems. Ties available from J Toms Limited, Wheeler Street, Headcorn, Ashford, Kent, TN27 9SH.
Feathered Type - 04 (one tie)
Selected standards - Type L1 (one tie per stake)
Heavy standards/Extra heavy standards - Type L3 (one tie per stake)

Ties for rootball and container grown trees shall be 50mm rubber tree belts in a figure of eight around the tree. Fixed to the stake with two flat head galvanised nails.
Feathered - one belt
Selected standards/Extra heavy standards - two belts
Heavy standards/Extra heavy standards - two belts

Planting of trees
The tree shall be set upright and at the same depth as grown in the nursery, the roots shall be spread out (bareroot) and the soil followed by compost topsoil mixture, backfilled. Backfilling should be done to ensure close contact between roots and by firming in layers (bareroot). The soil shall be left level and tidy, any subsoil clods, bricks or stones over 50mm arising, collected and carted off site.

Mulching
A 75mm compacted layer of medium grade pulverised bark, with a particle size of not more than 100mm and containing no more than 10% fines, shall be spread to form a continuous layer covering the whole of the bed, or in the case of standard trees within grass shall be in the form of a circle of 600mm diameter around the base of the tree. Whips and transplants shall be mulched in the form of a 300mm diameter circle around the base of the tree. Where trees are planted within grass a circular hemp mulch mat is required beneath the layer of mulch at the diameter stated above, secured with fixing pegs. The tree pit surface shall be as big as possible.

TURFING
Soil preparation and cultivation
All areas to be turfled shall be cultivated to a depth of at least 100mm, all weeds, stones and refuse larger than 50mm shall be removed to Contractor's tip, and shall be brought to a fine tilth. Allow for hand cultivation where machine work is not possible.

Turf
Turf shall be extra-quality meadow turf and shall comply to BS 3969: 1999 A41: 2013 and shall be laid in accordance with BS 4428: 1998, section 6, Turfing. The Contractor shall supply a sample of the turf he proposed to use for approval of the Landscape Architect and shall ensure that all turves are similar to the approved sample. The Contractor shall inform the Landscape Architect of the location of the supply, so that turf can be inspected prior to lifting.

Season
Turf shall be laid when weather and soil conditions are suitable and, where possible, preference should be given to autumn and early winter operations. No turf shall be laid in exceptionally dry or frosty weather or in other unsuitable weather conditions.

Delivery and stacking
For large areas, turf shall be delivered at appropriate intervals throughout the work so as to avoid stacking for long periods.

Laying
No turf shall be laid until the soil preparation has been satisfactorily completed by being brought to an even tilth and firmness. Turves from the stack shall be wheeled to turf layers on planks laid closely side by side. Adequate timber planks shall be used to support operatives and barrows, and provide access. The turves shall be laid in consecutive rows with broken joints (stretcher bond), closely butted and to the correct levels. The turf shall be laid off planks working over turves previously laid. Where necessary, the turves shall be lightly and evenly firmed with wooden beaters, the bottom of the beaters being frequently scraped clean of accumulated soil or mud. A dressing of finely sifted topsoil shall be applied and well brushed into the joints. Any inequalities in finished levels owing to variation in turf thickness or uneven consolidation of soil shall be adjusted by raking and/or packing fine soil under the turf. A roller shall not be used. The finished levels of the turf shall conform to the levels indicated, allowing for final settlement. Turf edges and margins shall be laid with whole turves. Turves adjoining buildings, walls or fences shall be taken to the face of the structure, giving complete covers.

Laying around trees
Turf shall not be laid to within 300mm of any tree trunk.

Watering
The Contractor shall be responsible for the replacement of any scorched turf. All necessary watering shall be carried out with sprinklers or oscillating sprays so as not to wash soil out of joints. If shrinkage occurs and the joints open, fine topsoil shall be brushed in and well watered.

PROTECTION TO EXISTING TREES
The recommendations in BS 5837: 2012, *Trees in Relation to Design, Demolition & Construction* must be complied with at all times. No pruning, lopping, felling or severance of roots is to take place without prior consent of the local authority.
Any work to the existing trees is to be carried out by a qualified tree surgeon. The position and construction of protective fencing shall be agreed with the local authority prior to any site works commencing.
Under no circumstances must any materials be stored under the canopy of existing trees, and no cement, diesel oil or stored near them.
No vehicles should pass under the canopy of existing trees.
No fires should be lit in close proximity to existing trees.
No ropes, cables, services or notice boards shall be fixed to existing trees.
Under no circumstances should the levels around existing trees be either raised or reduced.
Scaffolding may only be erected within protected areas if it is done so in accordance with BS 5837.
Any excavations under existing tree canopy spreads shall be done by hand.

MAINTENANCE
All maintenance to be carried out up to handover to the adopting authority/ householder from the date of planting and turfing to ensure successful establishment. All dead, diseased, damaged plants must be replaced during this time unless the local Planning Authority states, in writing, any variation to this.

Weeding
All beds to be kept weed free by hand weeding. Beds to be forked over as necessary to keep loose topsoil approved cambers with no hollows.

Pruning
At appropriate time, prune plants to remove dead, dying or diseased wood and suckers to promote healthy growth and natural shape.

Watering
The Contractor shall ensure that sufficient water is applied to maintain healthy growth.

Litter
Site to be kept free of litter.

Grass cutting
The initial cut shall be carried out when first growth is apparent, blades set 20mm above ground. The Contractor shall continue cutting at appropriate intervals during the growing season and maintain 40mm high sward until grass areas are handed over. Watering, weeding, cutting, repair of all erosion and settlement and re-seeding as necessary to establish a uniform and healthy stand of grass shall continue until handover to the householder.

Revision	Date	Details
A	Jan 23	Indicative finished floor levels added for drainage work to commence.
B	Oct 2023	Amendments to match revised Site Layout plan

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Client:	Taylor Land Associates
Job:	Cardale Street, Rowley Regis
Drawing title:	Landscaping Proposals
Drawing Number:	M4961 (PL) 02
Revision:	B
Scale:	1:250 @ A1
Date:	February 2023
Drawn by/ checked by:	

Notes

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Drawings must not be scaled. Work to figured dimensions only

- Any existing details which are shown on this drawing are for guidance only and are to be checked on site by the contractor. Any variations are to be recorded and reported to the Engineer immediately.
- Design is subject to Building Regulation, Sewage Undertaker and Highways Department approval.
- Before work commences contractor should consult the Engineer and the SI report regarding any contamination issues. All necessary Health and Safety measures to be taken.
- All subgrade structures and unconsolidated material, within the construction width of the highway, are to be removed.
- Cover levels for manholes are approximate only and should be adjusted to match surrounding levels.
- The developer shall take CBR test of road formation levels and results to be made available to the Engineer for approval.
- Approved weedkiller to be applied as recommended to footway formation and sub-base. Application by trained operative wearing PPE and complying with COSHH requirements.
- Any soft spots discovered after proof rolling shall be removed and replaced with suitable engineering fill.
- The surface tolerances to the sub base layer thickness should be no more than +5mm or -30mm.
- New road levels to tie in smoothly with existing road. Levels to be confirmed prior to construction and reported to the Engineer. Architect to confirm if not required.
- Tarmac road construction to comply with BS.EN.130108. Threshold drainage is required where levels fall towards a building entrance.
- Yard Gully positions are indicative and should be adjusted on site to suit proposed levels.
- All gully positions to suit low points and to be trapped.
- Drainage channel detailed design to be undertaken by manufacturers.



External Levels Strategy

KEY

- x 134.000 - Existing Levels
- + 155.000 - Proposed Levels
- F.F.L 155.000 - Finished Floor Level
- Retaining Feature

NO ALLOWANCE HAS BEEN MADE FOR TANKING OR EXPOSED BRICKWORK ON THIS STRATEGY

REV	DATE	AMENDMENT	BY

MUCKLOW & HARRIS
CONSULTING CIVIL & STRUCTURAL ENGINEERS

DRAWING STATUS: **PRELIMINARY**

CLIENT

PROJECT
**Cardale Street,
Rowley Regis**

TITLE
External Levels Strategy

DATE 14.09.23	DRAWN DJH
SCALE 1:200	CHECKED RAA
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