

Report to Planning Committee

29 November 2023

Application Reference	DC/23/68367
Application Received	20 June 2023
Application Description	Proposed two storey side and single storey front/side/rear extensions.
Application Address	57 Valentine Road Oldbury B68 9AH
Applicant	Mr Waqar Ahmed
Ward	Bristnall
Contact Officer	Beth Astley-Serougi Beth_AstleySerougi@sandwell.gov.uk

1 Recommendations

1.1 That planning permission is granted subject to conditions relating to:


- i) External Materials to match the existing property
- ii) The bathroom window on the rear elevation of the single storey rear extension is to be obscurely glazed and retained as such.
- iii) The window located on the first-floor side extensions is to be obscurely glazed and retained as such.



2 Reasons for Recommendations

- 2.1 The proposed development would be of satisfactory design and would not significantly impact on the private amenity of neighbouring properties, in terms of loss of light, outlook and privacy.

3 How does this deliver objectives of the Corporate Plan?

	Quality homes in thriving neighbourhoods
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4 Context

- 4.1 At its last meeting the committee resolved to visit the site. The proposal has received three objections.
- 4.2 To assist members with site context, a link to Google Maps is provided below:

[57 Valentine Road, Oldbury - Aerial View](#)

[57 Valentine Road, Oldbury - Street View](#)

5 Key Considerations

- 5.1 The site is not allocated within the Development Plan.
- 5.2 The material planning considerations which are relevant to this application are:-

Amenity concerns – Overlooking/loss of privacy, loss of light and outlook and overshadowing

Design concerns - appearance and materials, layout and density of building, wider visual amenity and overdevelopment

Highway concerns - Parking



6. The Application Site

6.1 The application site relates to a three bedroom semi-detached property on the northern side of Valentine Road, Oldbury.

7. Planning History

7.1 There is no planning history for this property.

8. Application Details

8.1 The applicant seeks to construct a two-storey side and single storey front/side/rear extensions. After discussion the applicant has withdrawn plans for a roof extension and dormer. The number of bedrooms is to be increased to five.

8.2 The two-storey side (including single storey side) extension would measure as follows: Ground Floor: 7.2m in length at maximum and 2.4m in width at maximum. First Floor: 6.7m in length at maximum and 2.4m maximum in width.

8.3 The single storey front extension would measure as follows: 3.2m in height at maximum, 1m in depth and 2.4m maximum in width.

8.4 The single storey rear extension would measure as follows: 2.9m in height, 5m in length and 5.5m in width at maximum.

9. Publicity

9.1 The application has been publicised by neighbour notification letters with three objections received from residents.

9.2 Objections

Objections have been received on the following grounds:



- i) Loss of privacy to adjacent properties;
- ii) Loss of light to adjacent properties;
- iii) Loss of outlook to adjacent properties.

Non-material objections have been raised regarding loss of view and negative impact upon mental and physical health.

These objections will be addressed in section 13 (Material considerations).

10. Consultee responses

10.1 Canal and River Trust

No objections to the proposed development.

10.2 Highways

The extension would require two off road parking spaces which cannot be accommodated within the existing driveway.

11. National Planning Policy

11.1 National Planning Policy Framework promotes sustainable development but states that local circumstances should be taken into account to reflect the character, needs and opportunities for each area.

11.2 The framework refers to development adding to the overall quality of the area by achieving high quality design, achieving good architecture and layouts.

11.3 The same guidance also promotes sustainable transport options for development proposals and paragraph 111 states that developments should be prevented or refused on highway grounds if there would be an



unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

12. Local Planning Policy

12.1 The following policies of the council's Development Plan are relevant:

ENV3: Design Quality

SAD EOS9: Urban Design Principles

12.2 ENV3 and SAD EOS9 refers to well-designed schemes that provide quality living environments. The proposed layout and design are considered to be broadly acceptable. Although the first floor extension is flush to the original dwelling house, it is considered that due to the orientation of the property and its relationship with adjacent properties that the set down is sufficient enough to create a subservient design whilst ensuring usable space for the applicant.

13. Material Considerations

13.1 National and local planning policy considerations have been referred to above in Sections 11 and 12. With regards to the other material considerations, these are highlighted below:

13.2 Amenity concerns

With regards to the neighbouring property to the left of the applicants property, it is considered that the floor plans demonstrate that the ground floor and first floor side extensions would not significantly impact any loss of light for habitable windows to an extent that would warrant a refusal. The single storey rear extension is comprised of a flat roof with roof lantern and therefore has been designed sympathetically to limit any possible negative impact on neighbouring properties regarding loss of light or outlook. Therefore, it is my view that the ground floor side and rear extensions would not result in any significant loss of light to the adjoining semi-detached property nor other adjacent properties.



There is one window on the side elevation of the proposed first floor development and one toilet window on the ground floor rear extension both of which are recommended to be conditioned to be obscurely glazed and retained as such. It is therefore considered the privacy of the adjacent properties will be maintained.

The first-floor side extension is sympathetic to any possible impact upon neighbouring properties and does not project further than the existing rear elevation of the property. It is therefore considered that there will not be a significant impact upon loss of outlook or light for neighbouring properties.

The front extension will not impact the off-road parking provision at the property to an extent that I consider to warrant a refusal. I consider there to be an ability that parking provision could be accommodated on street without unduly affecting the amenity of residents, the movement of pedestrians and the free passage of vehicles.

13.3 Design concerns

In my opinion, the design of the extensions proposed is broadly satisfactory and I do not consider this would result in any undue harm to the character of the area. The side extension has been set down from the highest point of the roof. This results in a subordinate design to the original dwelling house. Due to the orientation of the applicant's property and its' relationship with neighbouring properties I do not consider the need for the set back of the first floor to be essential in achieving a subordinate design.

Amended plans have been received in which the applicant has omitted plans for a roof extension and loft conversion. This has ensured that the amended plans would not be overly dominant, erode legibility of the street scene nor result in an imposing design upon the neighbouring properties.



The front extension I do not consider to erode the original character of the dwelling house, nor will it impact the visual amenity of the surrounding area. The window proposed will assimilate with the original character of the dwelling house.

Furthermore, I do not consider the proposed development to constitute overdevelopment of the plot considering the level of remaining outdoor amenity space to the front and rear of the property.

13.4 Highway concerns – parking

It is noted that highways have raised concerns about insufficient parking to serve the property following the conversion of the existing garage, however the garage as current falls below standards for garage parking and so could not accommodate a parking space. The property as current is a 3 bed with the proposed increasing to a 4 bed, both 3 and 4 bed properties require two off road parking spaces. It is therefore considered that the development will have no greater impact on the highway than existing and would fail the tests of the NPPF in terms of causing a severe impact on the highway.

14. Conclusion

On balance the proposal accords with the provisions of relevant development plan policies and there are no significant material considerations which warrant refusal that could not be controlled by conditions.

15 Alternative Options

15.1 Refusal of the application is an option if there are material planning reasons for doing so. In my opinion the proposal is compliant with relevant polices and there are no material considerations that would justify refusal.



16 Implications

Resources:	When a planning application is refused the applicant has a right of appeal to the Planning Inspectorate, and they can make a claim for costs against the Council.
Legal and Governance:	This application is submitted under the Town and Country Planning Act 1990.
Risk:	None.
Equality:	There are no equality issues arising from this proposal and therefore an equality impact assessment has not been carried out.
Health and Wellbeing:	None.
Social Value	None.
Climate Change	Sandwell Council supports the transition to a low carbon future, in a way that takes full account of the need to adapt to and mitigate climate change. Proposals that help to shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure, will be welcomed.

17. Appendices

Location Plan - 1

Amended Proposed Floor Plans - **WA223-02 REV C**

Amended Proposed Elevation Plans - **WA223-03 REV C**

Existing Floor and Elevation Plans - **WA223-01**



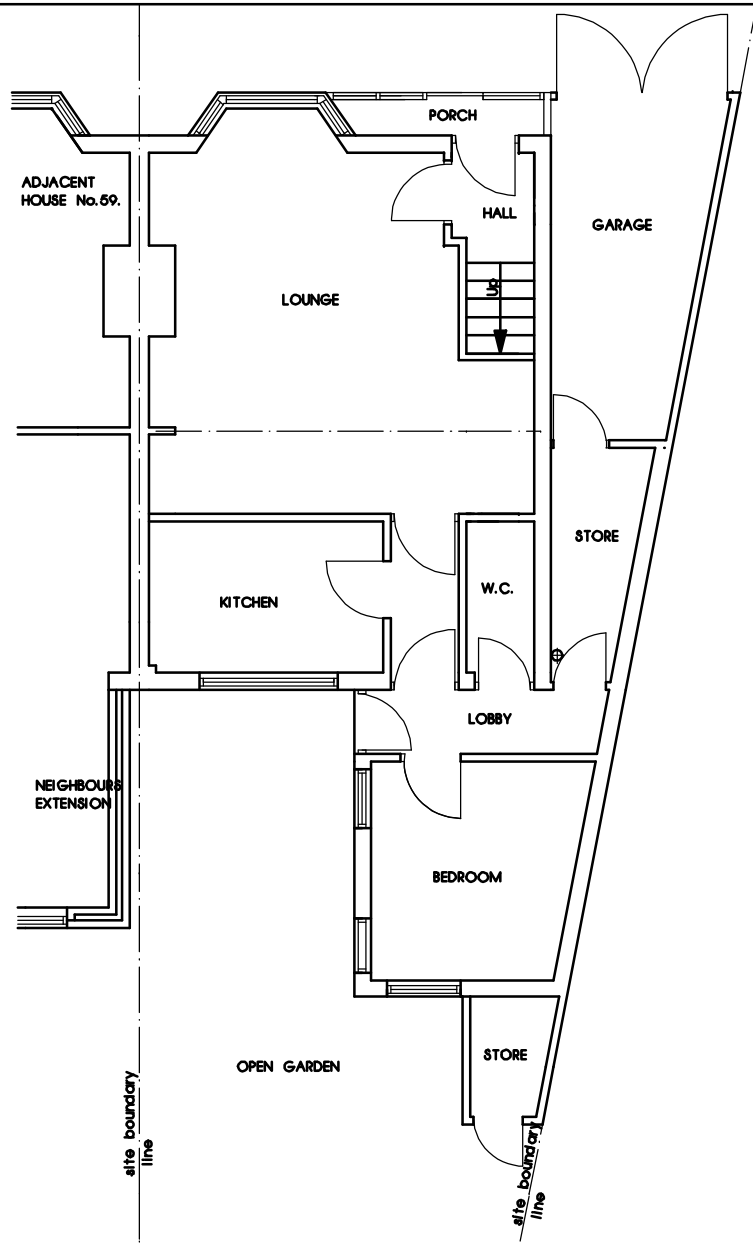
57, Valentine Road, Oldbury, Sandwell, B68 9AH



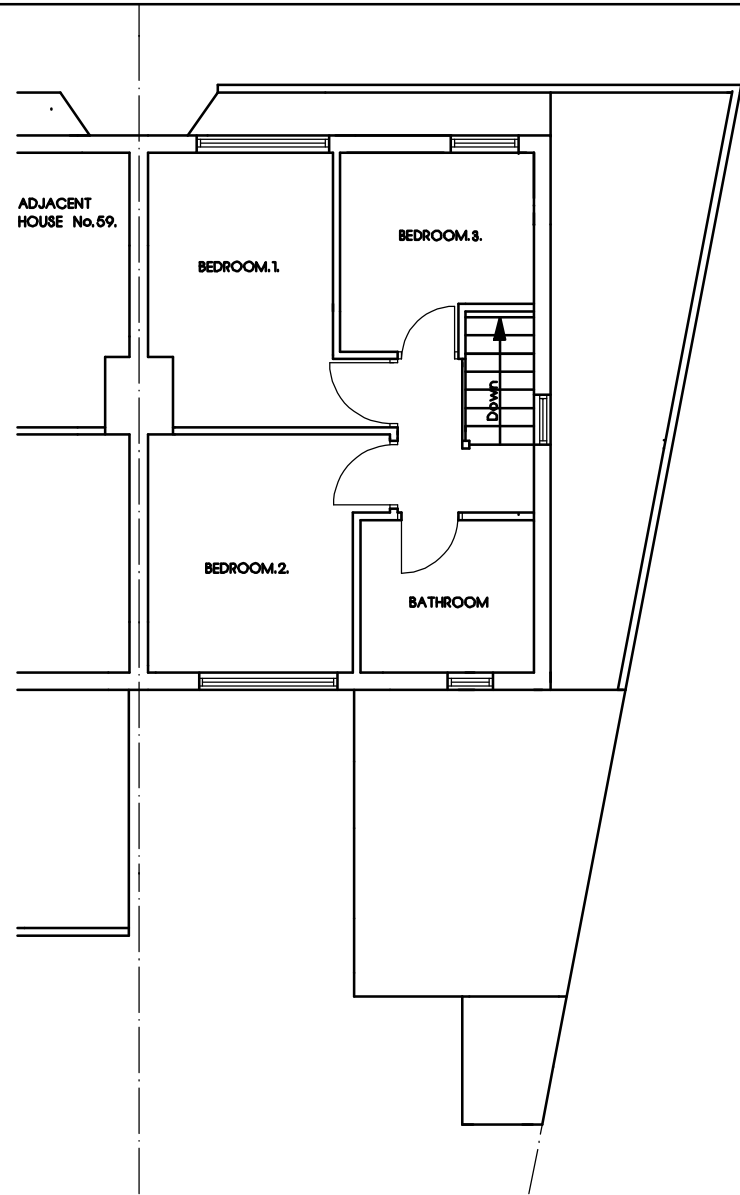
Location Plan shows area bounded by: 400519.26, 286510.48 400660.68, 286651.9 (at a scale of 1:1250), OSGridRef: SP 588658. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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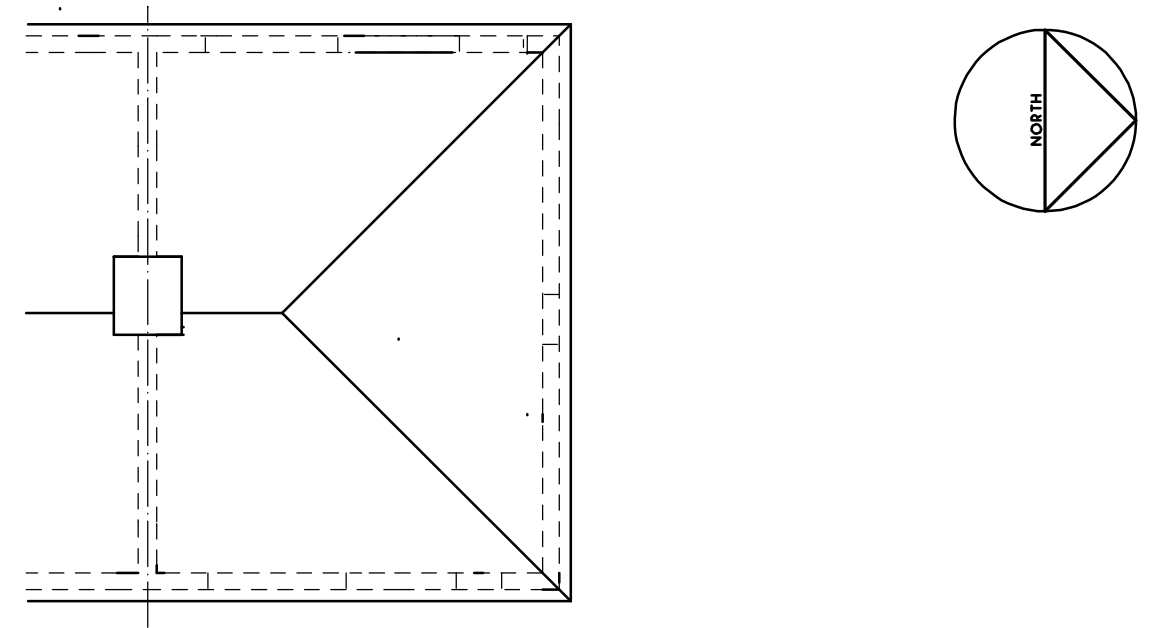
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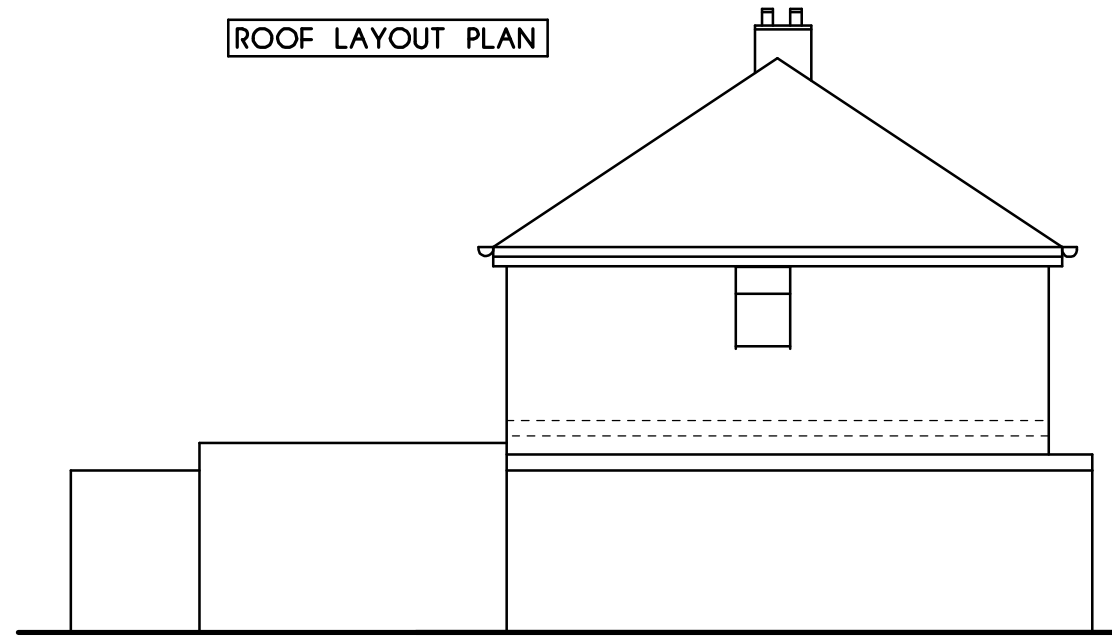
EXISTING GROUND FLOOR PLAN



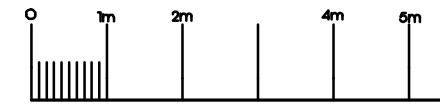
EXISTING FIRST FLOOR PLAN



ROOF LAYOUT PLAN



EXISTING SIDE ELEVATION



SCALE BAR 1 : 100



EXISTING FRONT ELEVATION



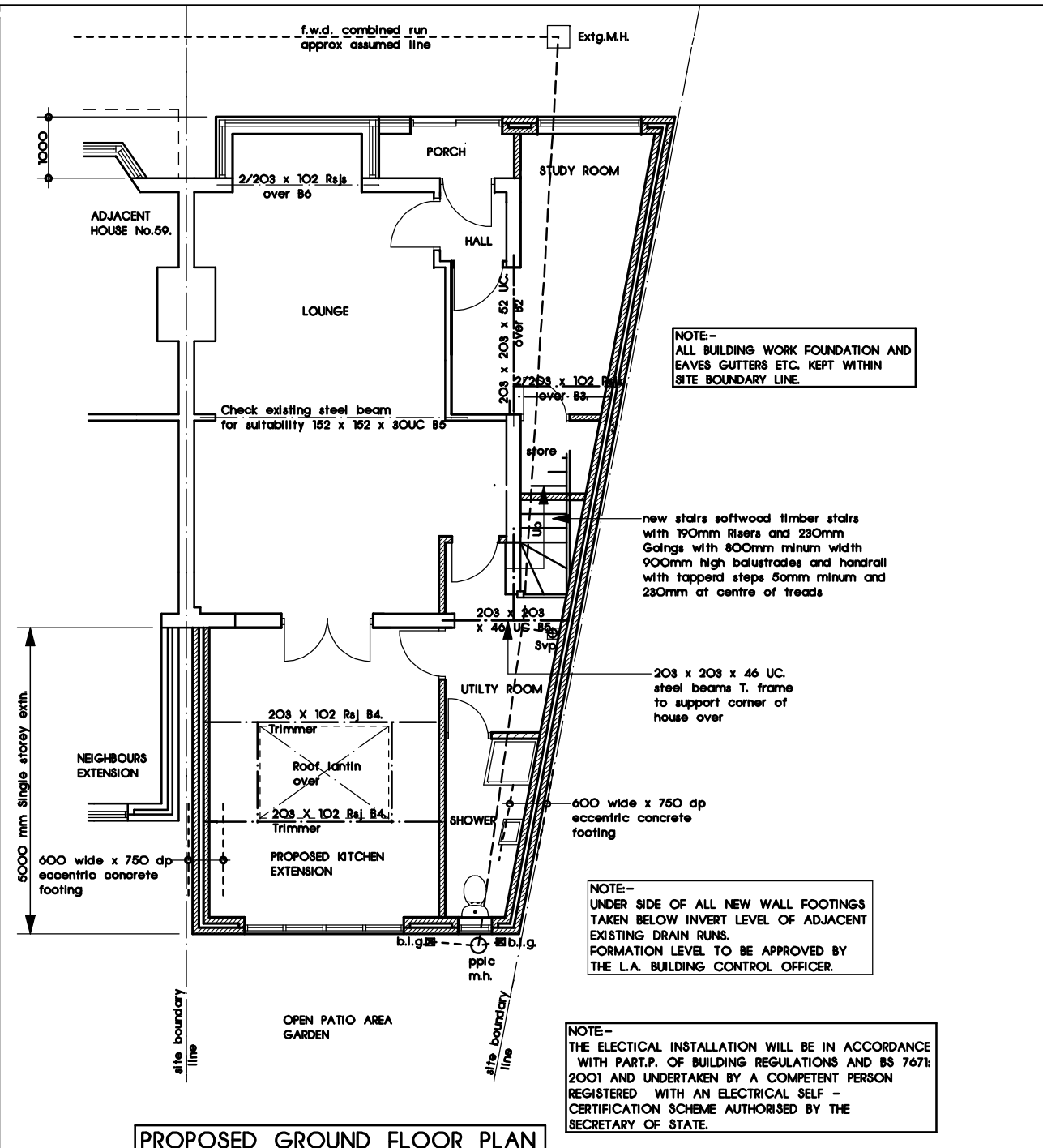
EXISTING REAR ELEVATION

PROPOSED TWO STOREY EXTENSION AND
SINGLE STOREY REAR EXTENSION
AT 57 VALENTINE ROAD
OLDBURY
WEST MIDLANDS B68 9AH

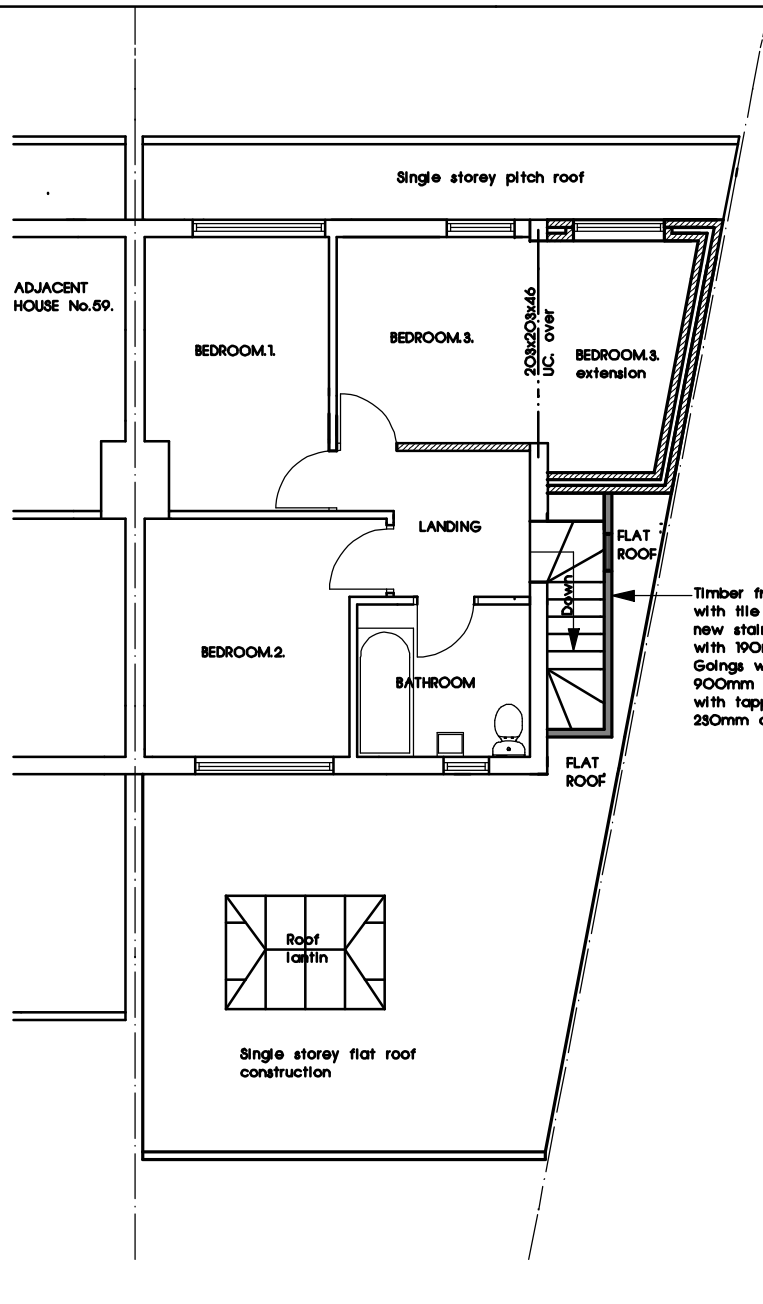
FOR MR. WAQAR AHMED

SCALE 1 : 100.

DRAWING NUMBER WA223 - 01



PROPOSED GROUND FLOOR PLAN

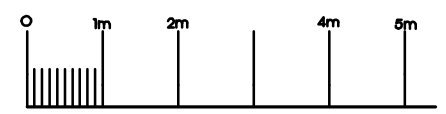


PROPOSED FIRST FLOOR PLAN

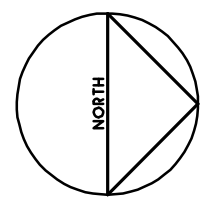
NOTE:-
 1) ALL STRUCTURAL STEELWORK TO BE ENCASED IN 15mm THICK GYPSUM FIRE LINE FIXED TO TIMBER CRADLES AND SKIMMED TO GIVE HALF AN HOUR FIRE PROTECTION.
 2) UNDERSIDE OF STAIRS LINED WITH 13mm THICK GYPSUM FIRELINE AND SKIMMED.
 3) TIMBER STUD PARTITION 75 X 50 TIMBER STUDS PLUS NOGGINGS AT 600 CENTRES WITH 50mm GYPROC SOUND INSULATION FIXED BETWEEN JOISTS BOTH SIDES LINED WITH 13mm THICK PLASTERBOARD + SKIMMED.

HEATING
 CONTRACTOR TO ENSURE EXISTING BOILER HAS ADEQUATE CAPACITY FOR ADDITIONAL RADIATOR IN LIVINGROOM EXTENSION.
 EXISTING BOILER MIN. SEDBUK OF 96% FOR MAINS NATURAL GAS BOILER.

- DETOES ON PLAN EXISTING WALLS CONSTRUCTION
- DENOTES ON PLANS ABOVE PROPOSED WALLS CONSTRUCTION TO EXTENSION
- (E.F.) PROVIDE MECHANICAL VENT EXPELAIR FANS TO KITCHEN 60L/S AND SHOWER AND W.C. 15L/S DUCTED TO OUTSIDE WALL INTO OPEN AIR.
- (S.D.) DENOTES ON PLAN NEW SMOKE DETECTION ALARM CONFORM TO BS 5446 PART.1. THE ALARM SHOULD BE GRADED. STANDARD INTERCONNECTED MAINS OPERATED WITH BATTERY BACK UP.) BS 5889:PART6 :2004.



SCALE BAR 1 : 100

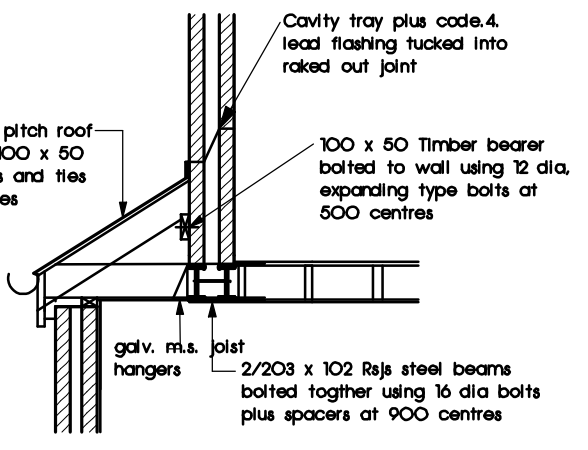


- NOTES :-**
- 1) PROVIDE IN NEW CAVITY WALL CONSTRUCTION EXPANSION JOINTS AT 12m MAXIMUM IN BRICKWORK EXTERNAL LEAF AND 6m CENTRES IN INTERNAL BLOCKWORK LEAF.
 - 2) PROVIDE CAVITY TRAY AT SINGLE STOREY ROOF ABUTMENTS WITH NEW CAVITY WALL AT LEAD FLASHING LEVEL.
 - 3) EXISTING SOLID CONCRETE FLOOR SLAB CONSTRUCTION TO ALL GROUND FLOOR LEVEL.
 - 4) ALL INTERNAL WET ROOMS WILL BE PROVIDED WITH EXPELAIR MECHANICAL VENTILATION FAN 15L/S. WITH A 15 MINUTES TIMED OVER - RUN AND DUCTED TO THE OUTSIDE AIR.
 - 5) ALL DOORS TO KITCHEN, UTILITY ROOM, WET ROOM AND BATHROOMS SHOULD HAVE UNDERCUT OF 10mm ABOVE THE FLOOR FINISH FOR A STANDARD 760mm WIDE DOORS TO ENSURE A GOOD TRANSFER OF AIR THROUGHOUT THE DWELLING.
 - 6) A PERMANENT VENTILATION - OPENING EQUAL TO 1/20 th. OF THE COMBINED FLOOR AREA SHOULD BE PROVIDED BETWEEN DINING ROOM AND LOUNGE.
 - 7) ALTERNATIVE TO ABOVE PURGE VENTILATION SHOULD BE PROVIDED TO THE LOUNGE EQUAL TO 1/20th. OF FLOOR AREA I.E. BAY WINDOW OPENING TO EQUATE 1/20th. OF THE FLOOR AREA OR ALTERNATIVELY BY MECHANICAL MEANS E.G. EXPELAIR FAN EQUAL TO 4 ACH.

8) WINDOWS AND ROOF LIGHTS SHOULD ACHIEVE A WINDOW ENERGY RATING (WER) BAND C. OR BETTER OR A U. VALUE OF 1.6W/m² K. OR BETTER. CONFIRMATION WILL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE APPROVED DOCUMENT L1B 2010 I.E. THIS MAY BE IN FORM OF WINDOW ENERGY RATING (WER) DECLARATION FROM CERTIFICATION SCHEME THAT PROVIDES A QUALITY - ASSURED PROCESS AND SUPPORTING ADUIT TRAIL FROM CALCULATING PERFORMANCE OF WINDOW THROUGH TO THE INSTALLATION AS EVIDENCE OF COMPLIANCE.

9) EXTERNAL DOORS SHOULD ACHIEVE A U. VALUE OF 1.80 W/m² K OR BETTER. PROVIDE FURTHER DETAILS TO DEMONSTRATE COMPLIANCE WITH APPROVED DOCUMENT L1B 201.

FIRST FLOOR CONSTRUCTION
 19mm THICK T & G TIMBER BOARDS FIXED TO 200 X 50 TIMBER FLOOR JOISTS AT 400 CENTRES
 INSULATION TO FLOOR OVER GARAGE AND UNDESIDE LINED WITH ALL NEW FIRST FLOOR AND PARTITIONS TO HAVE 100mm GYPROC SOUND INSULATION SUSPENDED BETWEEN JOISTS WITH CHICKEN WIRE MESH FIXED TO JOISTS
 PROVIDE CENTRAL LINE CROSS BRACED STRUTTINGS TO FIRST FLOOR JOISTS.



SINGLE STOREY ROOF ABUTMENT TO WALL

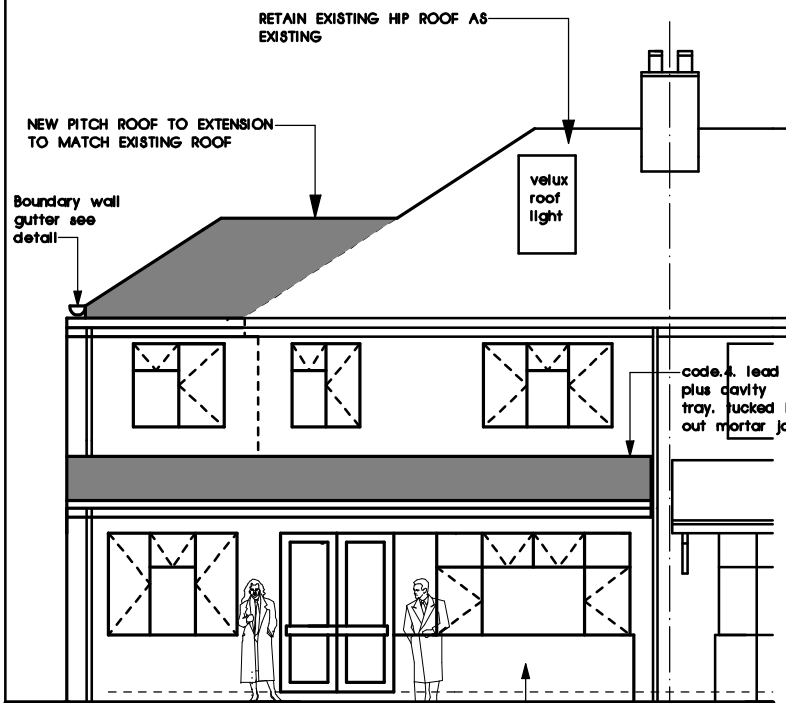
REVISION C.	REVISED TO SUIT PLANNING LOFT CONVERSION OMITTED	10-10 - 2023
REVISION A.	FIRST FLOOR EXTN REDUCED & LOFT CONVERSION ADDED TO SCHEME	8-8-2023

PROPOSED TWO STOREY SIDE EXTENSION AND SINLE STOREY EXTENSIONS AT 57 VALENTINE ROAD OLDBURY WEST MIDLANDS B68 9AH

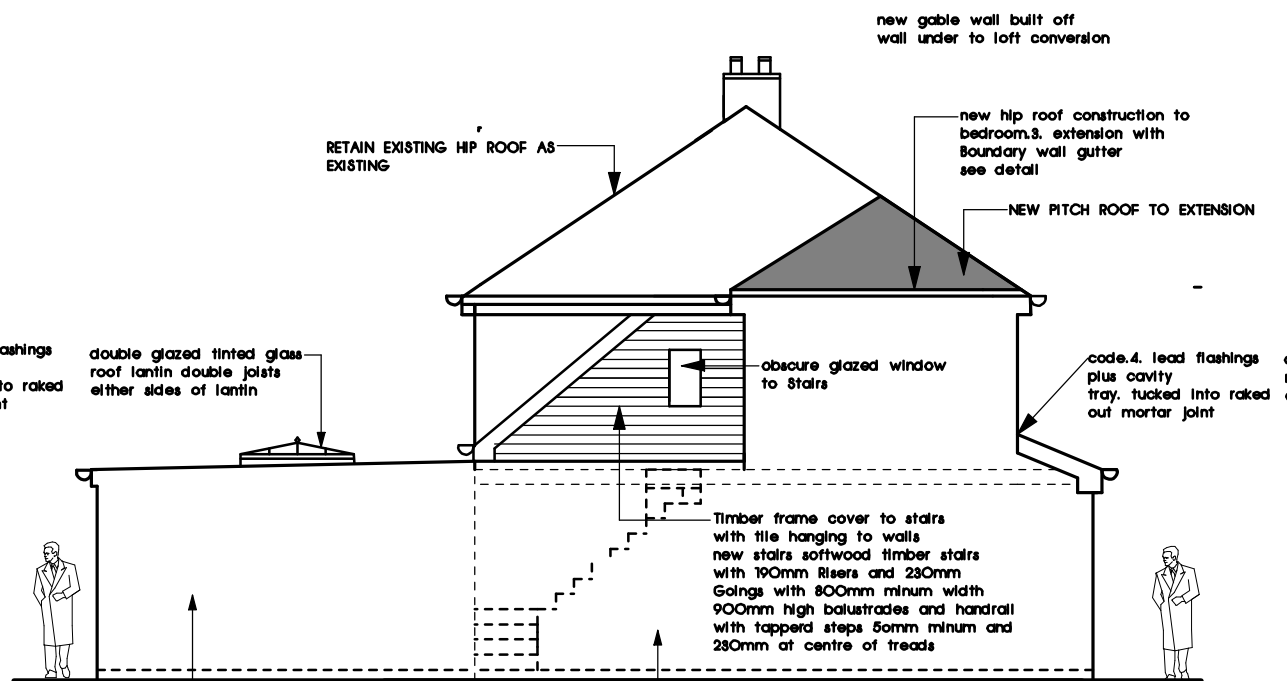
FOR MR. WAQAR AHMED

SCALE 1 : 100.

DRAWING NUMBER WA223 - O2C

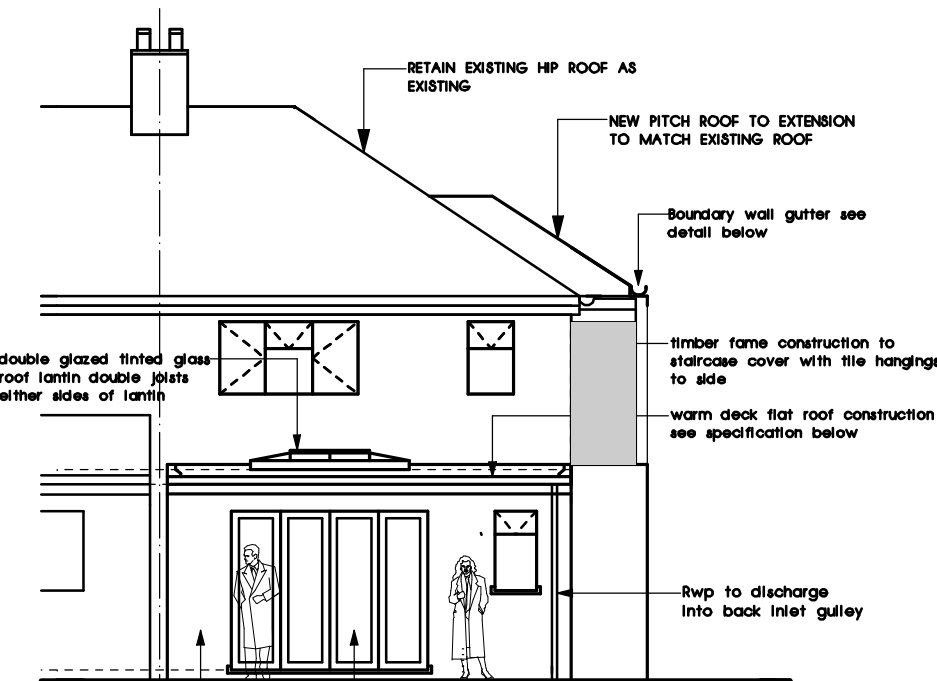


PROPOSED FRONT ELEVATION

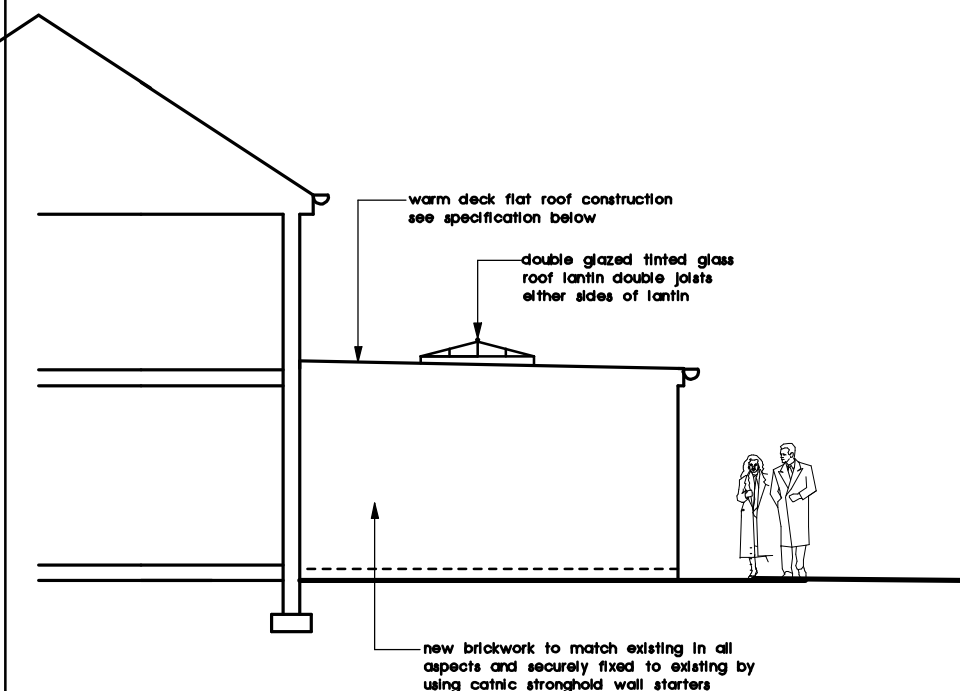


PROPOSED SIDE ELEVATION

(ADJACENT HOUSE No. 55.)

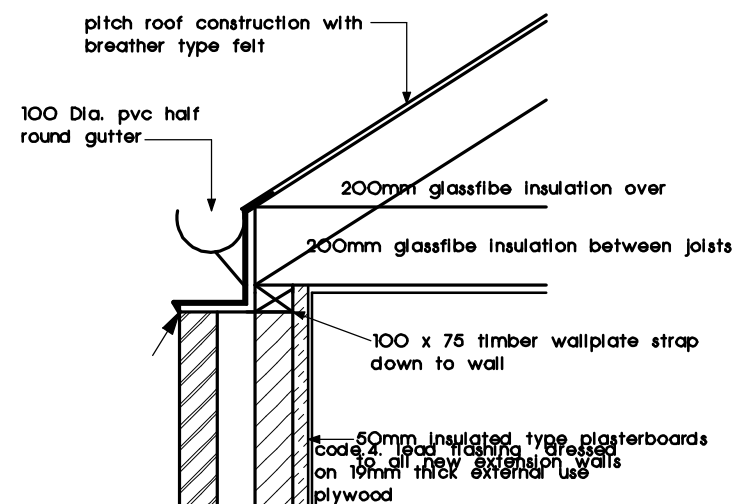


PROPOSED REAR ELEVATION



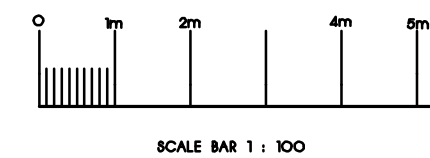
PROPOSED SIDE ELEVATION

(ADJACENT HOUSE No. 59.)



BOUNDARY WALL GUTTER DETAIL

NOTE:-
PROVIDE EMMERGANCY EGRESS OPENINGS TO ALL FIRST FLOOR HABITABLE ROOMS WITH MINIMUM CLEAR OPENING OF 750 X450 CLEAR UNOBSTRUCTED OPENING.



REVISION.C.	REVISED TO SUIT PLANNING LOFT CONVERSION OMITTED	10-10 - 2023
REVISION.A.	FIRST FLOOR EXTN REDUCED&LOFT CONVERSION ADDED TO SCHEME	8-8-2023

PROPOSED TWO STOREY SIDE EXTENSION AND SINGLE STOREY EXTENSIONS . AT 57 VALENTINE ROAD OLDBURY WEST MIDLANDS B68 9AH

FOR MR. WAQAR AHMED

SCALE 1 : 100.

DRAWING NUMBER WA223 - O3C