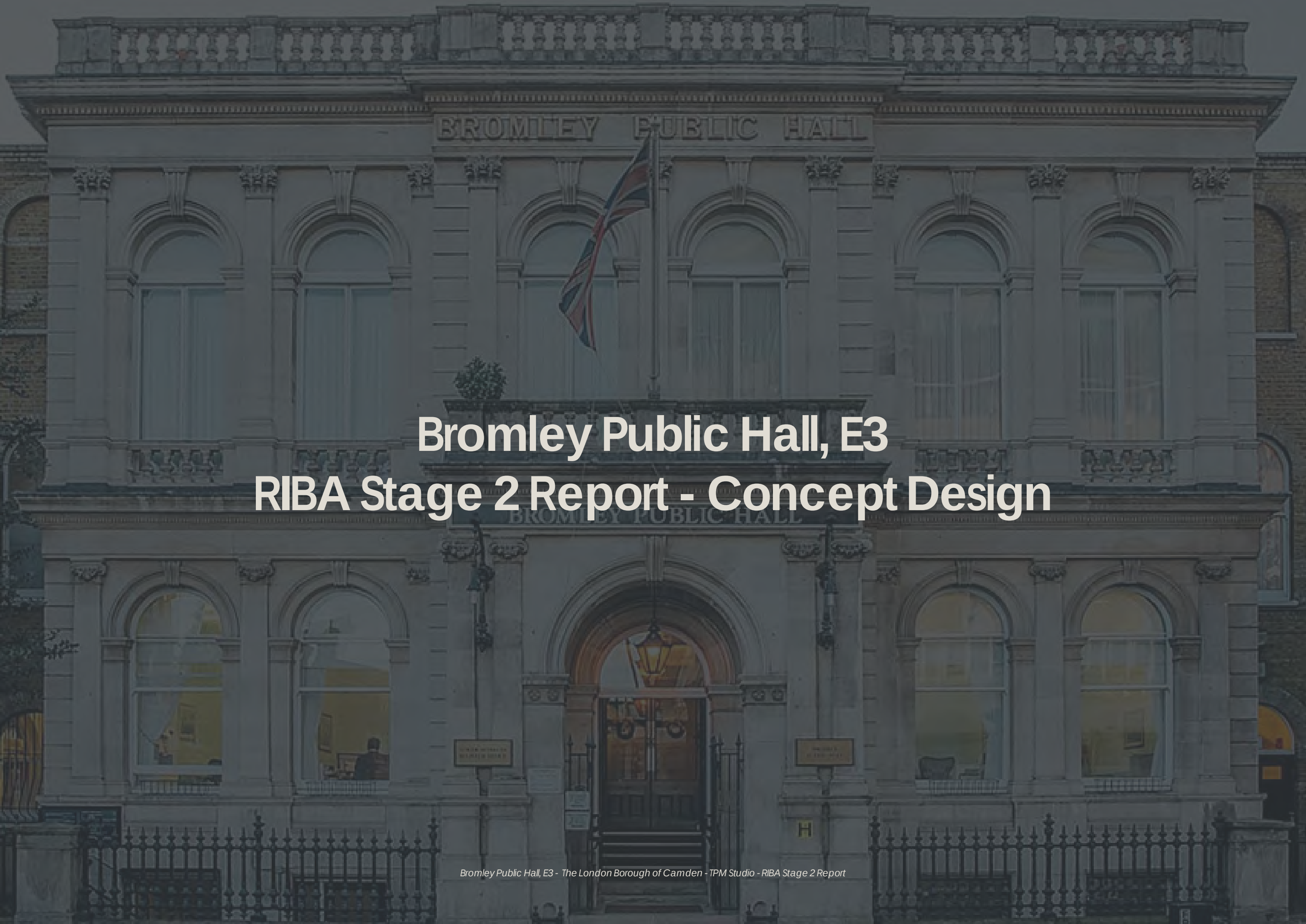




Bromley Public Hall, E3 RIBA Stage 2 Report - Concept Design





Revision Notes	
0	Client Review
1	Client Review

Document Control

Project Title:	Bromley Public Hall, E3
Project Ref:	1146
Report Title:	RIBA Stage 2 Report
Report Ref:	9201
Revision:	1
Date of Issue:	06.06.2024
Purpose of Issue:	Client Review
Compiled By:	NW
Reviewed By:	GM / JP
Review Date:	16.05.2024
File Location:	PROJECTS/1146 Bromley Public Hall/02 Project Sheets/0200 (P) Planning/(900) Reports/240509 RIBA Stage 2

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0.1 Introduction

Bromley Public Hall is located along the busy Bow Road in the London Borough of Tower Hamlets (LBTH). It is situated directly adjacent to 2no. Conservation areas; the Fairfield Road Conservation Area and the Tomlins Grove Conservation Area. The site sits within the Lea Valley Archaeological Priority Area.

The site is a standalone building along a busy streetscape, there is a wide pedestrian walkway, Cycle Superhighway 2 (Stratford to Aldgate) and Bow Road. The typology of the area is mixed, with large scale residential properties nearby, the Bow Bells pub next door and the Bow Business Centre directly opposite.

The site of Bromley Public Hall was formerly the LBTH Register Officer until recently. The Hall is now occupied by the Inner North London Coroner's Court.



0.2 Executive Summary

Work To Date

A previous study was undertaken in January 2022 to provide a high-level overview of the architectural works required to convert Bromley Public Hall into a Coroner's Court to address a backlog in cases resulting from the Covid19 pandemic. The high-level report explored multiple options for the refurbishment and redevelopment of the existing building.

Following this, the London Borough of Camden have refurbished the First Floor of Bromley Public Hall to provide 1no. Large Courtroom with jury and jury room to the rear of the site. An application for the regularisation of these works to a Listed Building will need to be submitted to the Local Authority and is included in the scope of works.

As Bromley Public Hall is currently serving as a temporary Coroner's Court, the Client would also like to review the works required to make this service to be made permanent, and if possible, expanded to include additional courtrooms.

A review of the current temporary facility has taken place to ascertain what works are required to make this facility permanent. Following this, an assessment of the existing building has been made to establish the additional courtrooms and ancillary spaces required by the Judiciary and the Ministry of Justice. A feasibility study prepared by the Design Team presented 2no. options of layouts which met the Initial Project Brief through varying adjacencies of spaces. From this, the Preferred Option was selected and developed through RIBA Stage 2 - Concept Design.

Consultations

Consultations were undertaken with the Camden project management team, Amal Kunwar; Coronial Services and Business Development Manager for The London Borough of Camden and Coroner ME Hassell, HM Senior Coroner for Inner North London and East London. The outcome of these consultations led to the following space requirements, which can be summarised as follows:

- Proposals to provide a minimum of 3no. Courtrooms.

- Only 1no. Courtroom needs to accommodate a jury;
- At least 17no. workspaces for Coroner's Officers;
- Workspaces for at least 5no. Administrative Staff;
- 3no. Family Rooms for the bereaved to wait or meet their legal representatives. There needs to be at least 1no. family room per court;
- Review of the entrance and reception area in line with DDA Regulations.

Existing Site

Opportunities and Constraints

Client consultations have established the necessary occupant requirements as listed above, which drive the overall proposals. In addition, user circulation and frequency of access inform the layout and key space adjacencies.

As a 19th century, Grade II listed building, the existing historic fabric provides an opportunity to restore, enhance and better reveal historic elements such as the removal of the bulkhead addition in the First Floor courtroom. This room has been identified as a heritage asset, and its restoration would be looked at favourably by the local Conservation Officer.

The existing historic fabric does establish some constraints, as any alterations to historic walls should be minimised. This limits any internal reconfiguration and consequently, the areas of proposed rooms.

Combining 2no. existing spaces to make a larger single space, as proposed within the options within the report, will be seen by the local Conservation Officer as having a detrimental effect on the plan form of the building. As such, strategies will need to be developed during RIBA Stage 2 to mitigate this, as well as balance out the perceived impact with enhancements to the heritage asset.



Bromley Public Hall - Front Elevation

0.2 Executive Summary

Proposals

In order to meet the Initial Project Brief, it is proposed that works are carried out to make the temporary court permanent, as well as introduce more court room spaces into Bromley Public Hall. Along with this, designs should aim to greatly improve transparency in the service, allowing members of the public to enter the building and observe proceedings.

Through the strategic reconfiguration of spaces, the proposal provides 3no. Courtrooms spaces of varying sizes. As well as the new court accommodation, additional spaces required to support each functioning court, such as Administration Offices, Coroner’s Offices and Family Rooms, are also provided.

Access into the building for all building users, including Coroners, legal teams, jury members, bereaved families, members of the media and public, along with wheelchair users, is improved through sequencing informed by results of the consultations with stakeholders. A new split between the main ground floor entrance off Bow Road and the side entrance is proposed, to allow for better management of those entering the building and separation of certain user groups.

Key Design Development During RIBA Stage 2

Development of Architectural Proposals

Following Client and Stakeholder consultation, the Preferred Option was developed as a hybrid of the two feasibility options with some additional scope at the request of the Client, including the following:

- 2no. new Assistant Coroner's Offices in the Basement;
- Refinishing of Jury spaces;
- Revisions to the Second Floor Coroner's Office layout to provide separate entrances to each office;
- Reconfiguration of the Second Floor WC and Shower Room.

During RIBA Stage 2, the proposal has been developed to accommodate this additional scope as well as provide detailed layouts of spaces.

Integration & Coordination with Servicing Requirements

Once servicing proposals were developed, the Preferred Option was updated to incorporate these requirements, resulting in the following:

- Works to the Plant Room located in the Basement;
- Incorporation of ventilation strategies, both mechanical and natural;
- Incorporation of electric heating;
- Locating the external air source heat pump to the southwest elevation;
- Coordination of vertical and horizontal services throughout so as not to detract from the spaces or heritage value.

These changes, and others, are detailed in the Initial Project Brief Benchmarking section within this report.

Planning

As the London Borough of Camden have refurbished the First Floor of Bromley Public Hall to provide accommodation for the temporary Court, an application for the regularisation of these works to a Listed Building will need to be submitted to the Local Authority.

A Pre-Application has not yet been submitted, but it is intended to engage the Planners as early as possible due to the building’s Listed Building status.

Statutory Compliance

A review of the proposals in relation to Building Regulations Part B and Part M will need to be detailed further as the design progresses into RIBA Stage 3 - Spatial Coordination. For current proposals, see the Technical Strategies section of this report.

A Building Control Plans Check has yet to be completed, but is intended as the design progress.

Bromley Public Hall - Existing & Proposed Accommodation					
Option		Existing	Brief	Proposed	Change
		Amount	Requirements	Amount	to Existing
Basement					
	Small Coroner's Court	0	1	1	+1
	Family Rooms	4	3	3	-1*
Ground Floor					
	Medium Coroner's Court	0	1	1	+1
	Administrators Desks	5	5	6	+1
	Coroner's Officers Desks	4	17	17	+13
First Floor					
	Large Coroner's Court	1	1	1	0
	Jury Room	1	1	1	0
Second Floor					
	Coroner & Assistants Desks	1	4	4	+3

* Note: While there are less family rooms in the proposed options, they provide overall a larger sq. m than the existing; see Section 3.6 Architectural Strategy - Accommodation & Layout. Additionally, this meets the Brief requirements.

1.0 Client Brief

1.1 Client & Stakeholder Background

London Borough of Camden

Bromley Public Hall is a Grade II Listed Building which previously served as a Registry Office for the London Borough of Tower Hamlets. Currently, the Hall serves as a temporary Coroner's Court for the Inner North London area.

The London Borough of Camden are due to operate the court through their property service team, and as such, they are taking lead on the design works to convert the temporary court into a permanent facility.

TPM Studio were approached by the London Borough of Camden's Accommodation Team to provide a high-level overview of the architectural works required to convert Bromley Public Hall into a Coroner's Court to address a backlog in cases, resulting from the Covid19 pandemic.

End User

The intended users of Bromley Public Hall are the Senior Coroner along with 3no. Assistant Coroners. The Senior Coroner; Mary Hassell, presides over the London Inner North and East which covers the London Boroughs of Camden, Hackney and Tower Hamlets.

Courts & Tribunals Judiciary - Coroner's Court

Coroners are independent judicial office holders, and are specialist judges who investigate and explain certain kinds of deaths. Unlike the rest of the judiciary, they are appointed by local authorities, and it is proposed that these services are to be delivered via a joint offering from the London Boroughs of Camden, Hackney, and Tower Hamlets, through a combined Coroner's Court which is to be located in Bromley Public Hall.



1.2 Project Team

This document has been prepared through a process of collaboration by the full design team. The team and their roles include:

Client/Applicant
London Borough of Camden

Architect/Lead Designer
TPM Studio

Quantity Surveyor
Fredericks Hearl & Gray

Services Engineer
FLOH Consulting

Heritage Consultant
HCUK Group



1.3 Initial Project Brief Summary

Statement of Need

A previous study was undertaken in January 2022 to provide a high-level overview of the architectural works required to convert Bromley Public Hall into a Coroner’s Court to address a backlog in cases resulting from the Covid19 pandemic.

The outcome of the report was 2no. proposals for the court building, one with 2no. Courtrooms and one with 3no. Courtrooms.

Following this, the London Borough of Camden have refurbished the First Floor of Bromley Public Hall to create a temporary Coroner’s Court, providing 1no. Large Courtroom with jury and jury room to the rear of the site. An application for the regularisation of these works to a Listed Building will need to be submitted to the Local Authority.

As Bromley Public Hall is currently serving as a temporary Coroner’s Court, the Client would also like to review the works required to make this service to be made permanent, and if possible, expanded to include additional courtrooms.

A review of the current temporary facility is required to take place to ascertain what works are required to make this facility permanent. Following this, an assessment of the existing building will be made to establish whether it is possible to expand the existing provision, and create the additional courtrooms and ancillary spaces required by the Judiciary and the Ministry of Justice.

All works will be completed with the local authority providers acting as Clients, with members of the Judiciary as primary Stakeholders.

Client Vision & Objectives

Design

The need to make the temporary court permanent, as well as introduce more court room spaces into Bromley Public Hall, will serve to greatly increase the number of cases that can be heard. Along with this, the Client and end user’s aim is that it

will also greatly improve transparency in the service, allowing members of the public to enter the building and observe proceedings.

It is desired for further opening up of the existing space to provide for an increased capacity of Administrators, Coroner’s Officers, Coroner’s Assistants, and Family Rooms. There also is intention to address and coordinate user circulation, including disabled access.

Consultations

In order for the project to be considered a success, considerable consultation with both Camden’s managing service, who are responsible for operating the site, and the Coroner themselves, is critical to the particular nature of the building. The requirements of a courtroom and its supporting apparatus, along with the specific needs of the Coroner, will all need to be reviewed and discussed before and during the design process.

Sustainability

Low Carbon Design

Although there are no formal sustainability requirements from the Client, the Borough of Tower Hamlet’s Local Plan and the 2030 London Borough of Camden’s 2030 climate action plan commit to planning for sustainable growth which is environmentally conscious and reducing carbon emissions. By utilising the existing building envelope and incorporating a light touch philosophy to the interior, the proposal is to aim to reduce its contribution to overall embodied carbon.

Additionally, the opportunity for the incorporation of an air source heat pump (ASHP) and additional secondary glazing to reduce the operational carbon generated by the building is to be reviewed.

Social Value

The Client has not requested any formal requirements around the social value to be created by the project. However, expanding the capacity of the Court to address the existing

backlog in cases, along with improving the facilities available to family members, will drastically improve the service provided by the Inner North and East London Coroner’s Service. This will definitively result in a net positive impact on the populations of the London Boroughs of Camden, Hackney, and Tower Hamlets.

Post Occupancy Evaluation (POE)

There is currently no desire for Post Occupancy Evaluation by the Client or Stakeholders.

Business Case & Project Outcomes

Budget

During the initial strategic briefing stage, the main business driver for the project was confirmed as the budget. As such, the works associated with all proposals are to target a project value of £800,000, which is inclusive of consultant fees and contingency. As this driver is so critical to the project, early cost plans have been developed alongside the completion of RIBA Stage 2.

Programme

A programme has been developed to understand the likely period between the completion of RIBA Stage 2, and the possible Practical Completion date for the project. Timescales are approximate, and clarification of these, along with deadlines for completion of design or constructions works, are to be confirmed as proposals progress.

Operational dates for the Coroner’s Court will need to be discussed and confirmed during RIBA Stage 3. Dates for court hearings are confirmed far in advance, and currently the Coroner’s Court setting dates for hearings in 2025. As such, it is imperative that an agreed programme is developed and confirmed during RIBA Stage 3, to allow for the arrangement of hearings to pause during what will be the anticipated construction period.

2.0 Site, Existing Building, & Context

2.1 Site Location

Bromley Public Hall is located along Bow Road in the LBTH, close to the River Lea within the Borough of Tower Hamlets.



Key



Site Boundary

Existing Site Location Plan

2.2 Site Context



The site has great transport links as it is situated along Bow Road with access to Cycle Superhighway 2. The site itself has parking spaces available to the rear, and is only located 100m approx. from Bow Church DLR Station with Mile End Station only a further 200m beyond this.

The area is predominantly residential, although directly across the road lies the Bow Business Centre, to the rear of the site lies St Agnes Catholic Primary School, the Bow Bells pub is next door, and to the northeast of the site is the historic Bow Church. Whilst this is a busy area, there are vacancies in the neighbouring buildings. Historic images of Bromley Public Hall do show 'To Let' signs outside, presumably this was following the relocation of the Register Office to the Town Hall.

- Key:
- 1 Bow Road Underground Station
 - 2 Bow Church DLR Station
 - 3 St Agnes Catholic Primary School
 - 4 Bow Church
 - Site Boundary

2.3 Site

The proposed site occupies a 4no. storey building along Bow Road. The front elevation is oriented to the north and is currently occupied by the Camden Council Coroner's Court.

The surrounding area and topography is relatively flat, and allows for a basement level below the exterior ground level.

The site has some trees and vegetation on the sides and rear of the property, which is bordered by Rainhill Way.



Key

 Building Extents

2.4 Existing Building

The Public Hall is a 4no. storey detached building in Bromley By Bow. Formerly a public records building, the hall is currently in use as a Coroner's Court for the London Boroughs of Camden, Hackney and Tower Hamlets.

The accommodation is split over 4no. floors including a basement. The Ground Floor is predominantly occupied by reception and offices. The First Floor contains the public hall where the Coroner's Courts is currently located. The rest of the building is currently unoccupied. There are ancillary rooms which support the Coroner's court, such as the jury room with it's own Tea Point and WCs as well as the Coroner's offices, which can be found on the top floor.

Volumes

The building forms one cruciform block in plan, with the central part forming the public hall. This part of the front elevation is the most ornate and high detailed. On either side of this and set back from the main elevation are the two circulation cores which flank the building are in London Stock Brick. These wings are the same height as the main elevation but have been designed to be set-back and appear subservient.

Material

Bromley Public Hall is a mid 19th Century, Grade II Listed building with a stone masonry facade facing onto Bow Road. This facade is the most ornate facade on the building, with Corinthian pilasters between the top floor windows. There is a central arched projecting porch leading up the Ground Floor Entrance.

Set back from the main facade there are two yellow brick wings with arched windows on the half landings for the Basement, Ground Floor and First Floor. On the Second Floor there is an arched recess.

The front and rear both have semi-circular arched windows, whilst windows to the sides of the building have shallow arches.



Bromley Public Hall



Rear of Bromley Public Hall



Southeast of Bromley Public Hall

2.5 Existing Arrangement

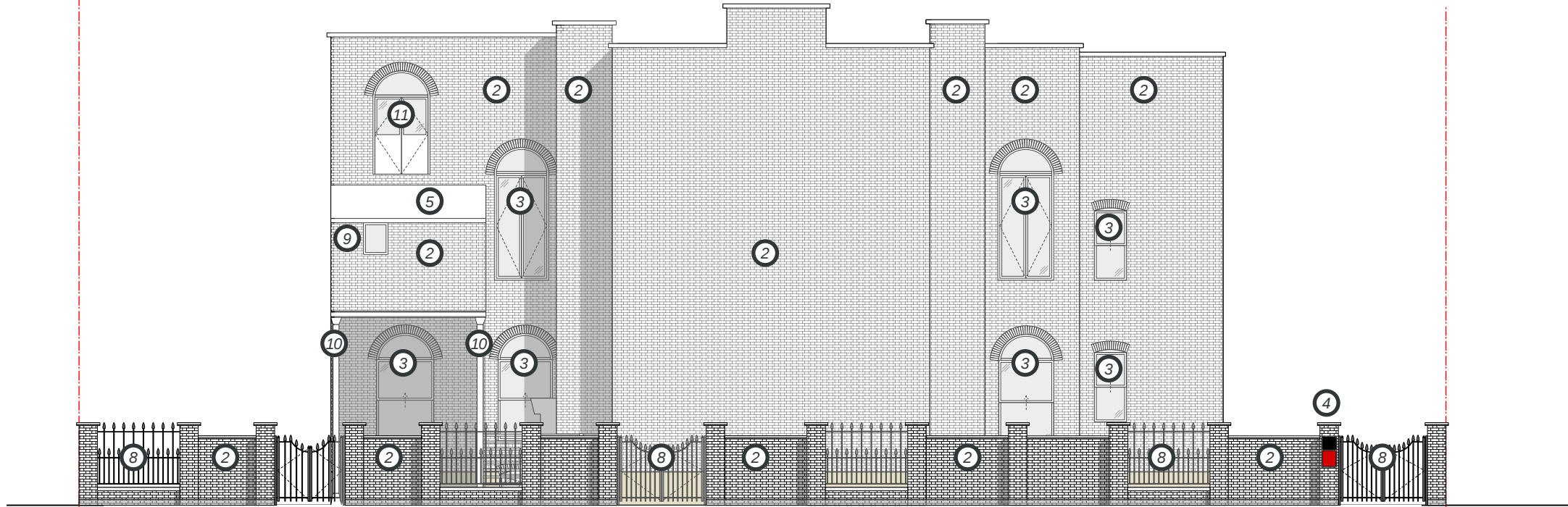
There are 4no. entrances to Bromley Public Hall, with the main entrance directly off Bow Road. This is a large double door set behind a pair of black iron gates. A secondary accessible entrance is available around the site. There are two bronze plaques either side of the arched porch.

The rear of the site is austere in comparison to the ornate front facade. A brick boundary wall with inset iron railings runs along the rear of the property. There are 3no. sets of gates to the rear of the property, one of which is dedicated car access.

- Key:
- 1 Portland Stone
 - 2 Brickwork
 - 3 Historic Timber Framed Glazing
 - 4 Signage
 - 5 Tiled Roof
 - 6 Timber Fence
 - 7 Concrete Steps
 - 8 Metal Railing
 - 9 Modern Timber Glazing
 - 10 Steel Columns
 - 11 Timber Double Doors - Painted Black
 - 12 Timber Single Door
 - - - Site Boundary



Existing Front Elevation



Existing Rear Elevation

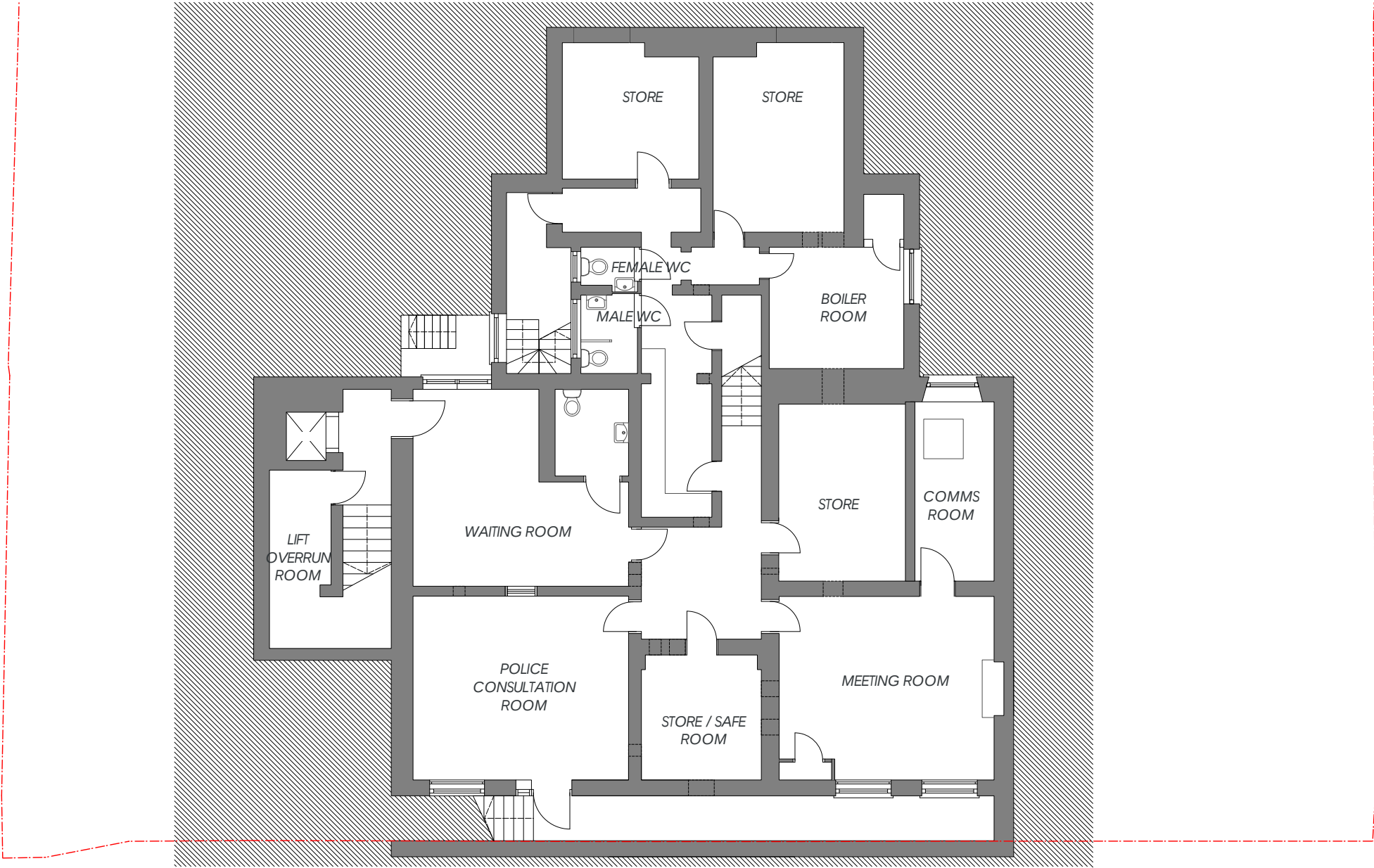
2.5 Existing Arrangement

Basement

The existing Basement was historically used as storage for the Register Office for the London Borough of Tower Hamlets. Signage above the doors indicate the three main record rooms for; Births, Deaths and Marriages. These are all located towards the rear of the site.

Similar to the storeys above, the main front volume of the plan is subdivided into two halves by a central corridor and lobby which terminates in a safe room. To the right of the corridor (when viewed on the adjacent plan) are comms and server room as well as a meeting room. To the left of this is a waiting area for the police consultation room. There is an accessible WC in this lobby.

The basement is accessible by three internal staircases, one lift and one external stair at the front along Bow Road.



Existing Basement Floor Plan

2.5 Existing Arrangement

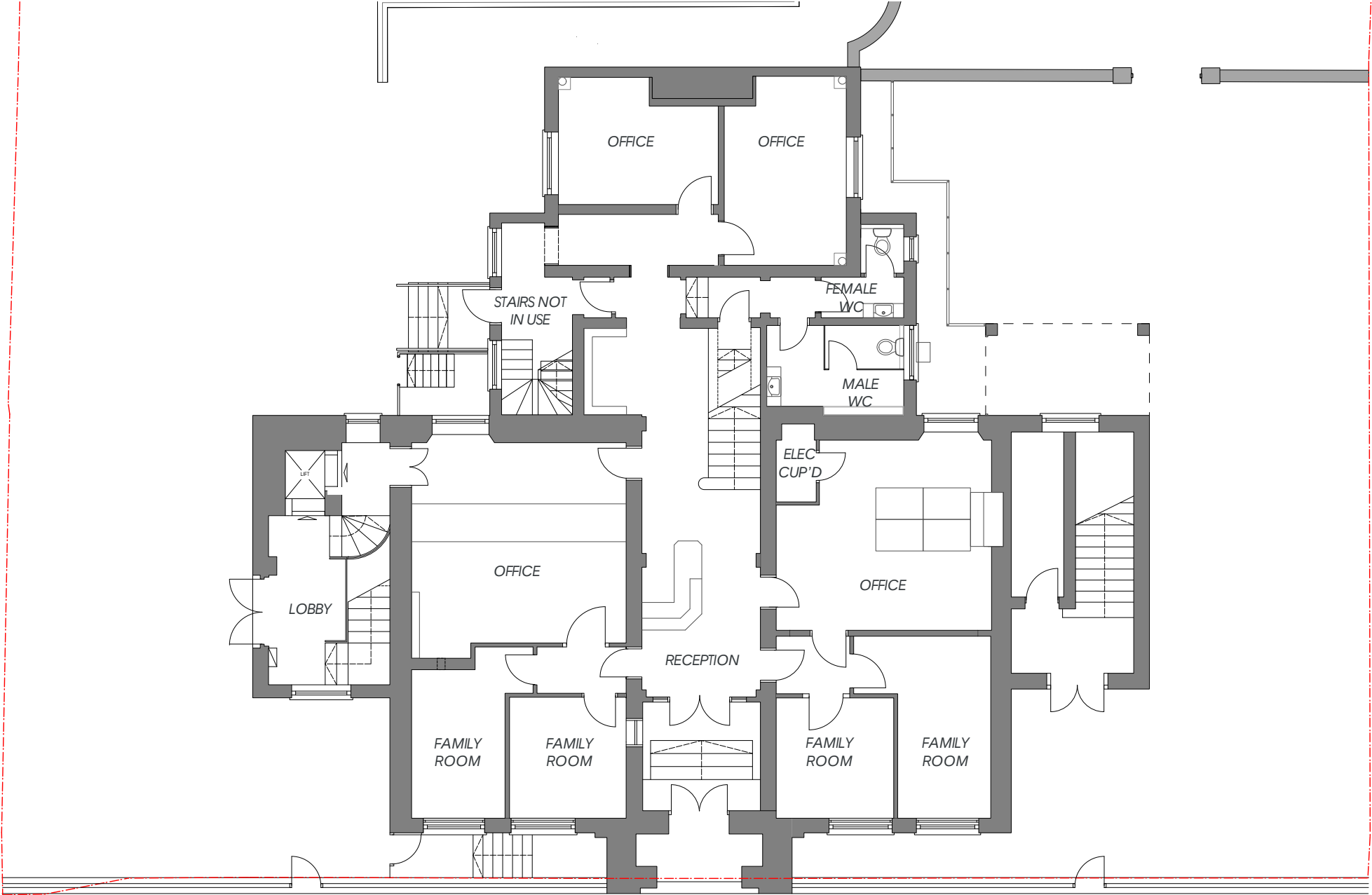
Ground Floor

The Ground Floor establishes the clear cruciform plan, which is subdivided similarly to the Basement by the main entry along Bow road, which leads into the reception corridor and terminates at the main staircase.

To the right of the corridor (when viewed on the adjacent plan) are offices and meeting rooms as well as the western staircase, accessible from the exterior. To the left are offices and smaller meeting rooms, as well as access to the eastern staircase and lift. The smaller meeting rooms at the very front of the site have been created by the subdivision of a larger reception rooms and do not contribute to the historic plan form.

The main accommodation on the Ground Floor benefits from a high number of historic features which have been retained. The high ceilings bring natural daylight deep into the centre of the plan form. Whilst the reception contains a number of heritage features such as stone plaques and wrought ironwork balustrades to the main stair.

To the rear of the Ground Floor are more offices and two WCs, as well as access to the Basement via two staircases.



Existing Ground Floor Plan

2.5 Existing Arrangement

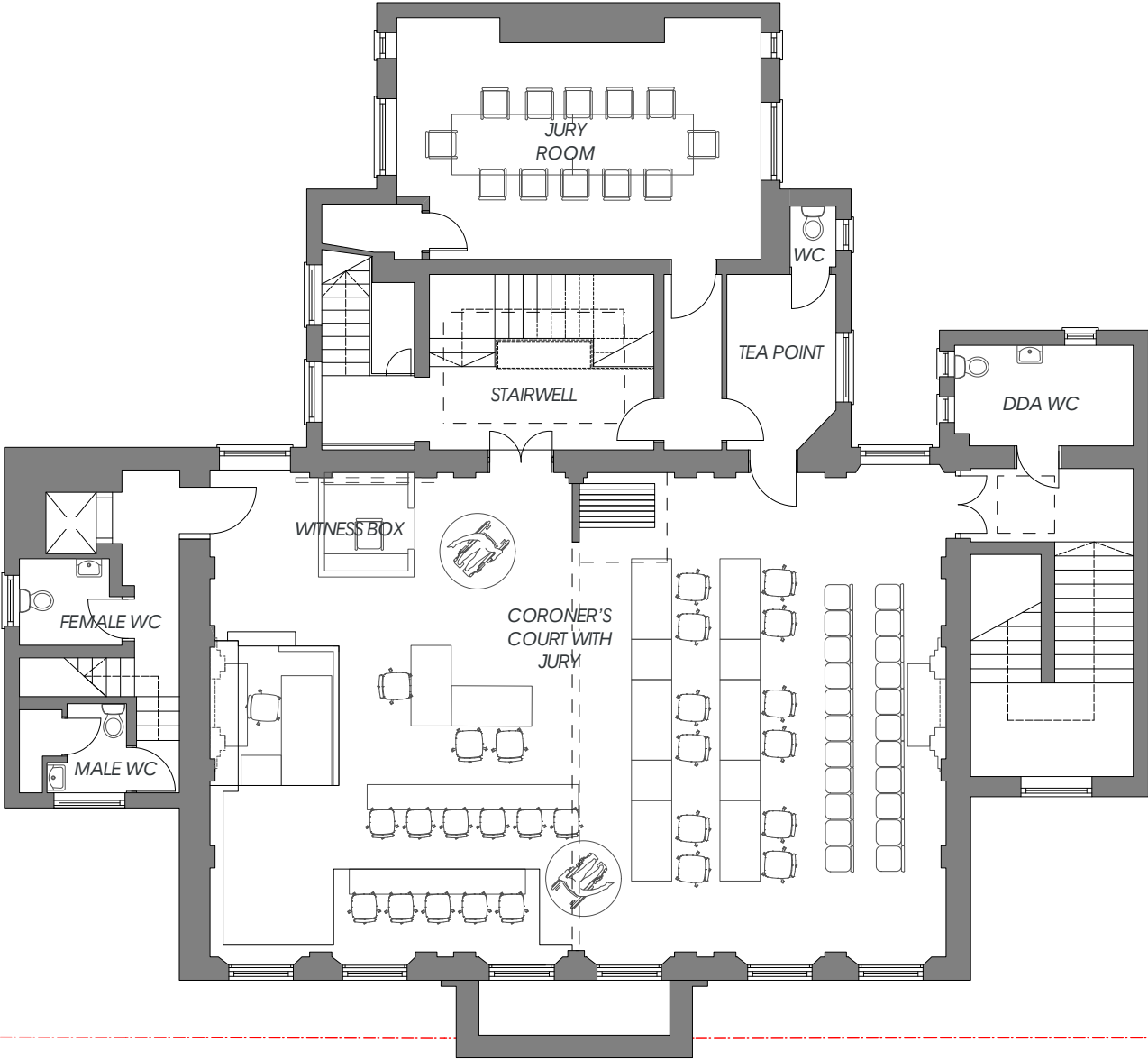
First Floor

The First Floor again follows the cruciform plan; however, it differs in that the front is united into one large courtroom lit by six windows. This space is considered the main heritage asset of the building, with vaulted ceilings and ornate cornicing.

Both original fireplaces remain, though the left fireplace (when viewed on the adjacent plan) is covered by an the Coroner's desk and crest, although this is a lightweight and non-permanent addition. There is an non-original subdivision of the room via a bulkhead and sliding partition along the centre of the space.

To the right of the court room is a staircase and accessible WC, while to the left is another staircase, lift, and male and female WCs.

To the rear of the plan is the main staircase, lit overhead by a large rooflight. Additionally, there is access to a jury tea point and WC as well as office and additional stairs.



Existing First Floor Plan

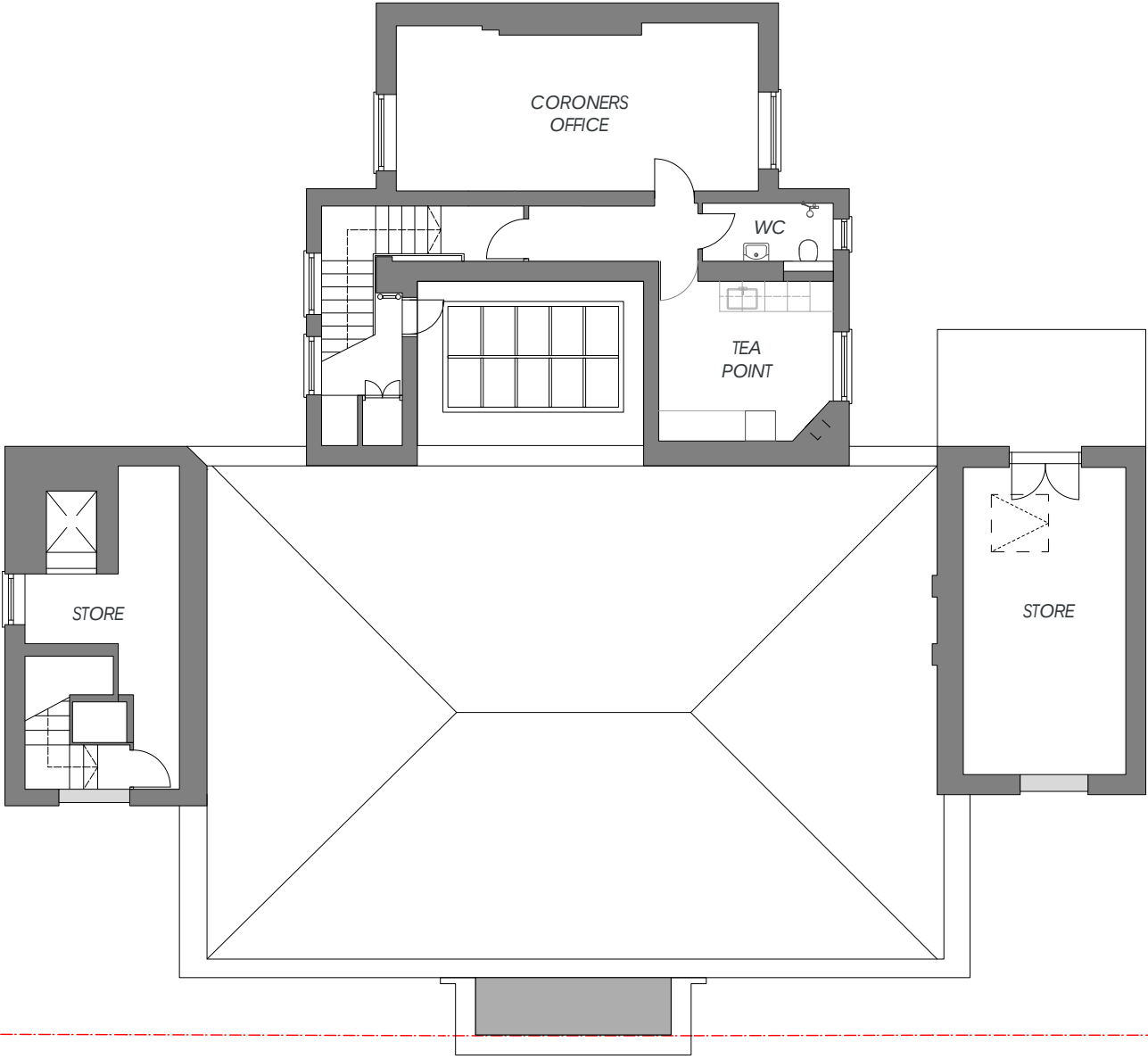
2.5 Existing Arrangement

Second Floor

The Second Floor accommodation is located to the rear of the site and in the two wings at either side of the building.

The rear of the plan is accessible only via a single staircase, which leads to a staff kitchen, WC and the Coroner's Office. Directly adjacent to this staircase is a large ladder which spans the double height space. Directly adjacent to the staircase is a large ladder which rises through the double height space above, and provides access to the roof area directly over the main stairwell. Services investigations have confirmed a small amount of plant is located on the roof over the stairs, whilst some is at high level within the internal double height space.

The wings are predominantly used as storage spaces with the left wing containing the lift overrun and cleaners cupboard. The right wing is not accessible via staircase and is only accessible via a loft hatch from the First Floor. There are external double doors in this store room, however, which indicates that historically goods would have been hoisted into this room for storage. These double doors are now blocked by the extension on the First Floor which houses the DDA WC.



Existing Second Floor Plan

2.5 Existing Arrangement

The adjacent area schedules show the existing areas within Bromley Public Hall.

Bromley Public Hall - Existing			
Space Type		Area	Area
		sq.m	sq.ft
Basement			
Store		50.1	555.4
Comms		9.0	96.8
Boiler Room		10.9	117.3
Family Waiting Room		19.9	214.2
Lift & Motor Room		7.6	81.8
Lobby		16.9	181.9
Meeting Room		25.1	270.1
Police Consultation Room		25.7	276.6
WCs		8.7	92.5
Circulation & Stairs		27.3	293.8
Subtotal		202.6	2,180.7
Ground Floor			
Store		2.1	22.6
Offices		79.5	855.7
Meeting / Consultation Rooms		41.3	444.5
Lobby & Circulation		95.9	1,032.3
Lift		1.2	12.9
WCs		9.8	105.4
Subtotal		229.8	2,473.5

Bromley Public Hall - Existing			
Space Type		Area	Area
		sq.m	sq.ft
First Floor			
Store		2.9	31.2
Jury Room		32.3	347.6
Tea Point		6.0	64.5
Coroner's Court		139.6	1,502.6
Lift		1.2	12.9
WCs		14.1	151.7
Circulation & Stairs		47.7	513.4
Subtotal		243.8	2,624.2
Second Floor			
Store		31.0	333.6
Coroner's Office		24.2	260
Kitchen		10.2	109.7
Lift		1.2	12.9
WCs		2.9	31.2
Circulation & Stairs		19.1	205.5
Subtotal		88.6	953.6
Total		765.0	8,234.3

2.5 Existing Arrangement

Across the four storeys, the total GIA of Bromley Public Hall is 861.7 sq. m.

The total GEA is 1004.3 sq. m.

Bromley Public Hall - Existing Gross Internal Area (GIA)		
Floor	GIA	
	sq.m	sq.ft
Basement	237.1	2,180.7
Ground	265.1	2,475.7
First	268.3	2,624.2
Second	91.2	953.6
Total	861.7	8,234.3

Bromley Public Hall - Existing Gross External Area (GEA)		
Floor	GEA	
	sq.m	sq.ft
Basement	271.1	2,918.0
Ground	301.8	3,248.5
First	302.7	3,258.2
Second	128.7	1,385.3
Total	1,004.3	10,810.1

2.6 Wider Context

Origins

Historically, Bow was surrounded by fields, marshes and market gardens and was a popular countryside retreat for the wealthy. With its close proximity to the River Lea and the City of London, Bow became an industrial hub. One of the most famous of these industries was the Bryant and May Match Works.

This mixture of industrial complexes and pre-Victorian terrace housing defines the borough. Unfortunately, due to the level of damage sustained from the bombing in World War II a lot of historic fabric was lost, which has led to a further increase in typologies and building styles within the area.

This mixture of building styles is still evident today, with Bromley Public Hall situated in close proximity to a number of Conservation Areas, Listed buildings as well as 21st Century residential blocks.

To the north of the site lies the Fairfield Road Conservation area. This area is defined by its mixed character, with a strongly industrial feel bordering the railway and a more typically residential character to the south. There are a number of listed and locally listed buildings within this conservation area, including the Grade II Listed Bryant and May Match Works Factory which provides the northern half of the Conservation Area with its industrial feel. Other notable sites include the Bow Bus Garage which was built in 1907-08 and the Kitcat Terrace, built around 1850.

To the west of the site lies the Tomlins Grove Conservation Area which is predominantly residential. A series of Grade II listed terraces can be within this area. The character of the area is defined by its uniform group of terraces dating back to the 19th Century.

Notably, the Former Poplar Town Hall (Bow House) is located directly opposite Bromley Public Hall. As the first town hall built in the interwar style, its use of continuous ribbon glazing and bas-relief panel artworks has led to its Grade II listing due to its special architectural interest.



Top Image: Aerial View of Bryant and May Match Factory taken 1921
Bottom Image: Kitcat Terrace

Top Image: Bomb Damage map from 1945
Bottom Image: Former Poplar Town Hall

2.7 Planning Context

The site is located within the London Borough of Tower Hamlets, it is not located within a conservation area or flood risk zone. It is located in the Bromley-by-Bow sub area. The relevant policies and points within them are scheduled below.

- London Borough of Tower Hamlets**
Local Plan 2031
Policy S.DH3: Heritage and the historic environment
- 1. Proposals must preserve or, where appropriate, enhance the borough's designated and non-designated heritage assets.
 - 2. Proposals to alter a heritage asset or proposals that would affect the setting of a heritage asset will only be permitted where:
 - a. They safeguard the significance of the heritage asset, including its setting, character, fabric or identity.
 - b. They are appropriate in terms of design, height, scale, form, detailing and materials in their local context
 - c. They enhance or better reveal the significance of assets or their settings
 - 9. Development that lies in or adjacent to archaeological priority areas will be required to include an archaeological evaluation report and will require any nationally important remains to be preserved permanently in situ, subject to consultation with Historic England.

8.30 Detailed plans to an appropriate level will need to be submitted with applications as part of design and access statements/ heritage assessments to demonstrate how the heritage asset and it's setting will be impacted and to ensure that its significance is protected or enhanced.

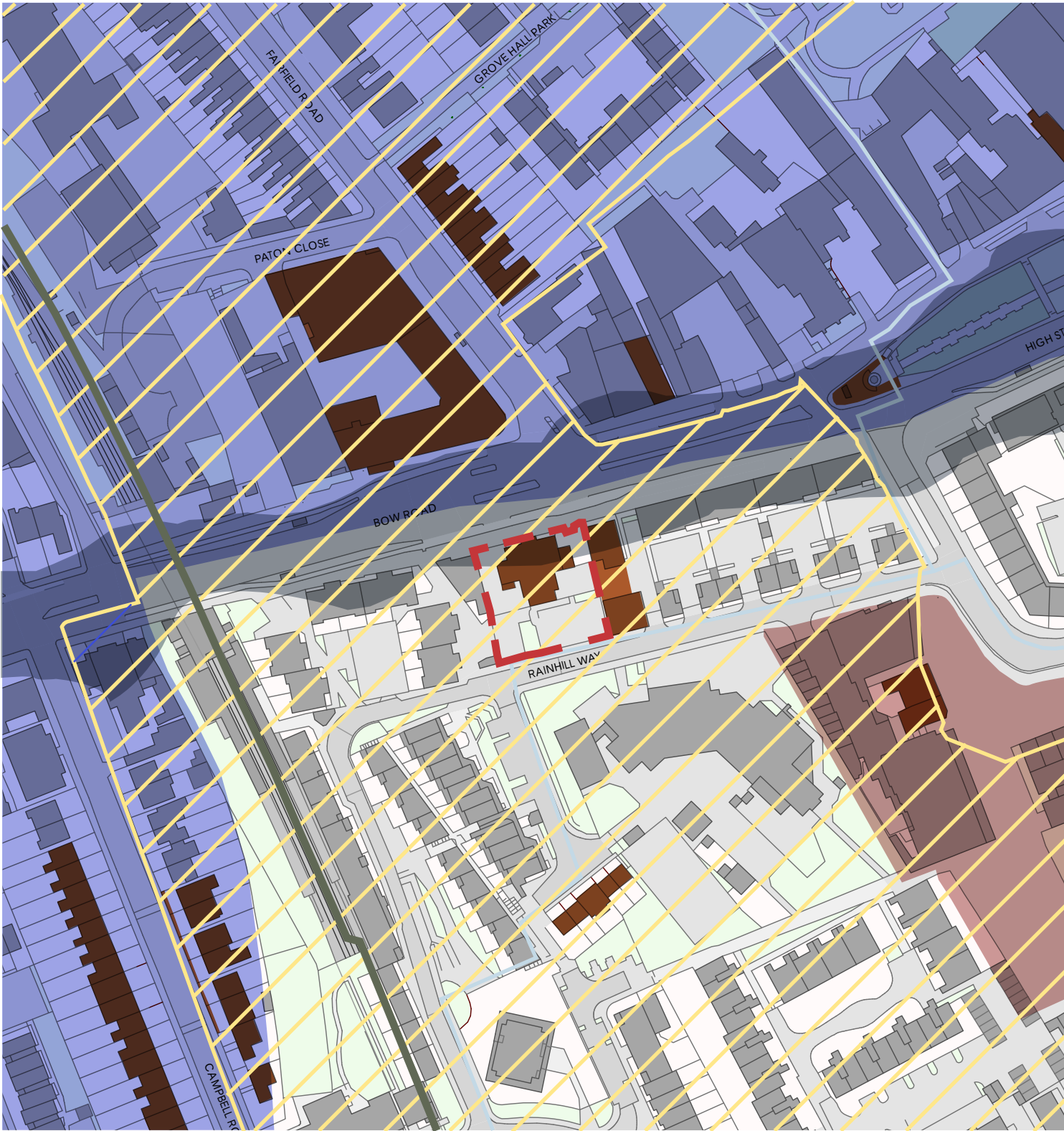
- Policy D.DH10: Advertisements, hoardings and signage**
- 1. Advertisements, hoardings and signage must be well-designed and well-integrated within the public realm, host buildings and the surrounding area. In particular, proposals will be supported where they demonstrate how they:
 - a. Compliment the character, appearance and visual amenity of the site and the surrounding area
 - b. Do not have an adverse impact on the setting or

- significance of heritage assets (including conservation areas and listed buildings) and do not obscure architectural features.
- d. Do not adversely affect public or highway safety or impede pedestrian access, including for those with visual impairment or impaired mobility
- f. Are subservient in relation to the streetscape or the buildings to which they are attached, and
- g. Do not create/ contribute to a proliferation of signs and advertisements which cause 'visual clutter' in the streetscape.

London Borough of Tower Hamlets
Archaeological Priority Areas Appraisal 2017
Tier 3 - is a landscape scale zone within which the GLHER holds evidence indicating the potential for heritage assets of archaeological interest. The definition of Tier 3 APAs involves using the GLHER to predict the likelihood that currently unidentified heritage assets, particularly sites of historic and archaeological interest, will be discovered in the future. Tier 3 APAs will typically be defined by geographical, topographical or land use considerations in relation to known patterns of heritage asset distribution

Part of APA 3.2 Lea Valley
The Lea Valley Archaeological Priority Area runs along the western banks of the River lea and its various channels from the borough border with Hackney almost to its mouth at the Thames. Extensive excavations that took place in advance of the Olympic Park construction demonstrated that the Lower Lea Valley had potential for prehistoric finds, features and deposits.

The Lea Valley Archaeological Priority Area has been classified as Tier 3 because it is an extensive area containing paleoenvironmental evidence for past wetland and riverine environments and potential for new discoveries of well-preserved prehistoric sites. It was also an extensive area of historic industry in the medieval and post medieval periods.



Key

 Site Boundary

 Statutory Listing

 NO2 Annual Mean Concentration greater than 60 (µgm-3)

 Town Centres: Stroudly Walk neighbourhood centre

 Archaeological Priority Area: Lea Valley

 Conservation Areas

 Sub Areas: Lower Lea Valley

Tower Hamlets Adopted Policies Map

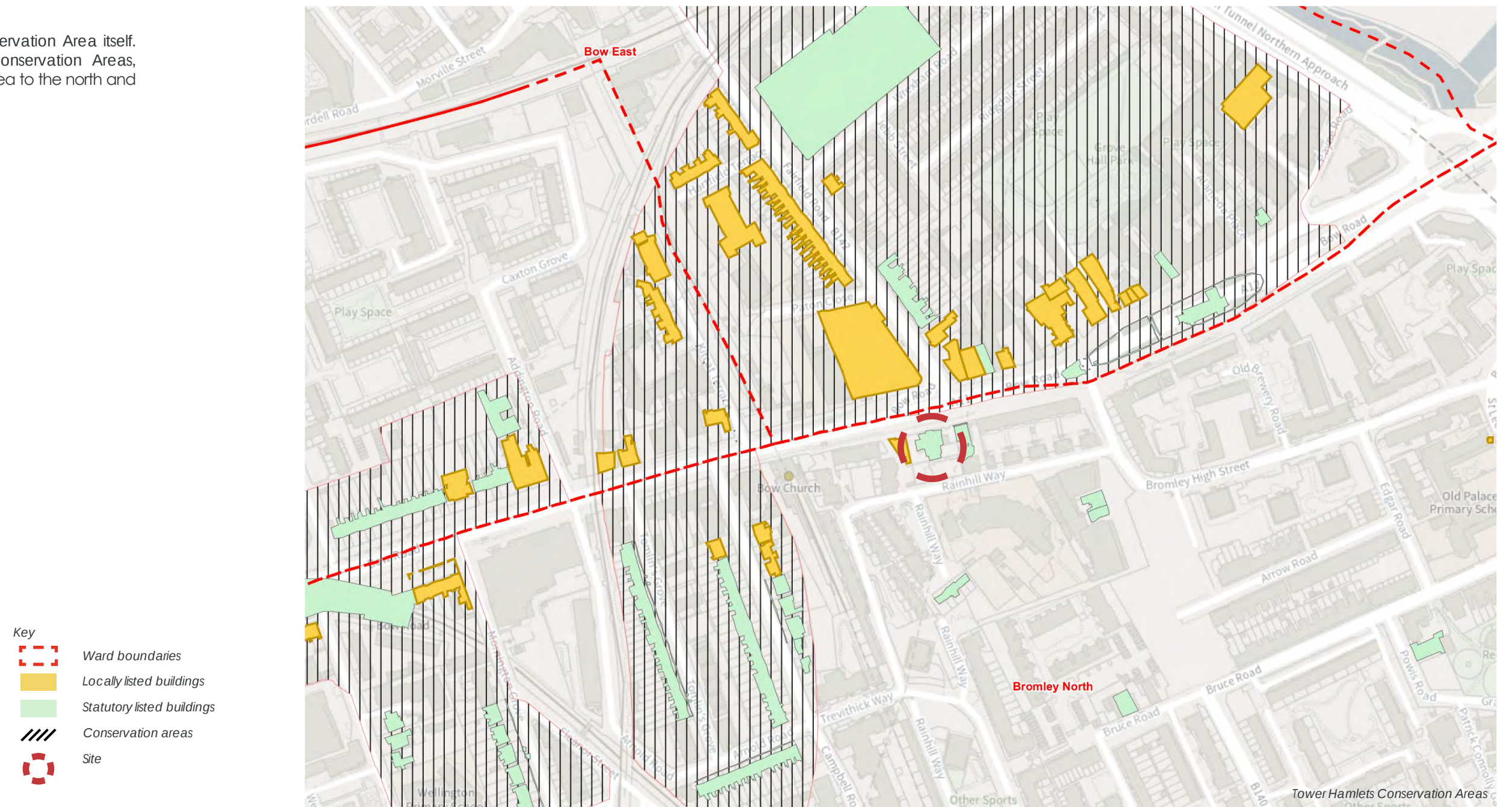
2.7 Planning Context

Planning History			
PA/23/00501/NC <i>Display of 1no. board sign fixed to metal post (Sign A), 2no. brass plaques fixed to timber boards of main entrance (Sign B), 1no. board sign to rear boundary wall (Sign C) and 1no. frame to be retained on the Front Elevation wall to display information (Sign D).</i> Status: Permit Date: 25.09.2023	Date: 26.08.2010		
PA/12/02618/NC <i>1. Installation of 2 number black contrasting colour nosing's (anti-grip) to 2 number external concrete steps.</i> <i>2. Installation of 2 number tubular handrails to externals walls above concrete steps (see item 1). This is a health and safety requirement.</i> Status: Permit Date: 13.03.2013	PA/10/00615/S <i>Submission of details pursuant to condition 2(3) of Listed Building Consent (PA/09/222) granted by the Secretary of State ref.GOWM/PLN/E5900/90899 DATED 09/07/03</i> Status: Permit Date: 22.07.2010 PA/09/01334/R <i>Alterations to doors, gates, steps etc. at three entrances to improve access to the building</i> Status: Withdrawn - Invalid Date: 28.07.2009 PA/09/01335/R <i>External alterations to front and side entrances including glass panels in doors; new handrails; hazard surfaces and contrast nosing on steps; warning signal equipment; self closers and gate securing hooks and bolts. Internal works to first floor wheelchair accessible WC including grab rails; shelves; light fittings and signage.</i> Status: Withdrawn- Invalid Date: 28.07.2009 PA/12/00787/NC <i>Works to 5 no. ground floor 4 panelled doors consisting of the removal of the top two timber panels and replacement with two glazed toughened glass panels (with bevelled edges) in order to improve visibility and security to the main office.</i> Status: Permit Date: 27.09.2012	PA/09/01234 <i>Proposed Internal and external alterations to the front and side entrances and at basement level to improve the accessibility within the listed building</i> Status: Permit Date: 09.07.2009	<i>a new entrance, new gates and rear fire escape staircase and associated works.</i> Status: Permit Date: 11.07.2003 PA/02/01509 <i>External and internal alterations to the building including the erection of a ground floor single story side extension to form a new entrance, new staircases, gates, a reception area accessible toilet and partitions.</i> Status: Permit Date: 08.05.2003 PA/01/01593 Installation of Iron Gates Status: Withdrawn Date: 03.04.2003 PA/99/01160 <i>Listed Building Consent for alterations in connection with the conversion of first floor hall to create a marriage and waiting room.</i> Status: Permit/ Grant all types Date: 14.01.2000 PA/97/01234 Demolition and Rebuilding of dividing garden wall at rear Status: Permit/ Grant all types Date: 01.07.1998 PL/95/00088 Rebuilding of Boundary Wall Status: Permit/ Grant all types Date: 12.09.1996 PL/89/00150 <i>Proposed Car Parking and garden area for visitors to Bromley Public Hall</i> Status: Deemed Permission County or Local Date: 17.03.1990
PA/11/00341/NC <i>Installation of new internal timber stairs from 1st floor to 2nd floor and associated works; partial removal of existing partitions and floor.</i> Status: Permit Date: 31.08.2011	PA/09/00221 <i>Alterations to the building to provide a handrail a the front entrance plus alterations to the side entrance to provide glazed panels to the lower section of the entrance door.</i> Status: Permit Date: 07.04.2009		PL/89/00014 <i>Building is to provide accomm for the registrar of births, deaths & marriages on the basement and ground floors, together with a continuing use of the main hall for recep.meetings etc. new staircase for disabled access to all floors by lift and toilet facilities new exten west elevat.</i> Status: Permit/ Grant all types Date: 04.07.1989 PA/60/00891 <i>The erection of shops and maisonettes on land forming part of site above.</i> Status: Refuse Date: 08.12.1961 PA/52/00528 <i>The carrying out of war damage repairs to the extent of £220</i> Status: Permit Date: 14.05.1952 PA/50/00512 <i>The use of one ground floor of site above for the purpose of chiropody</i> Status: Permit Date: 20.04.1950

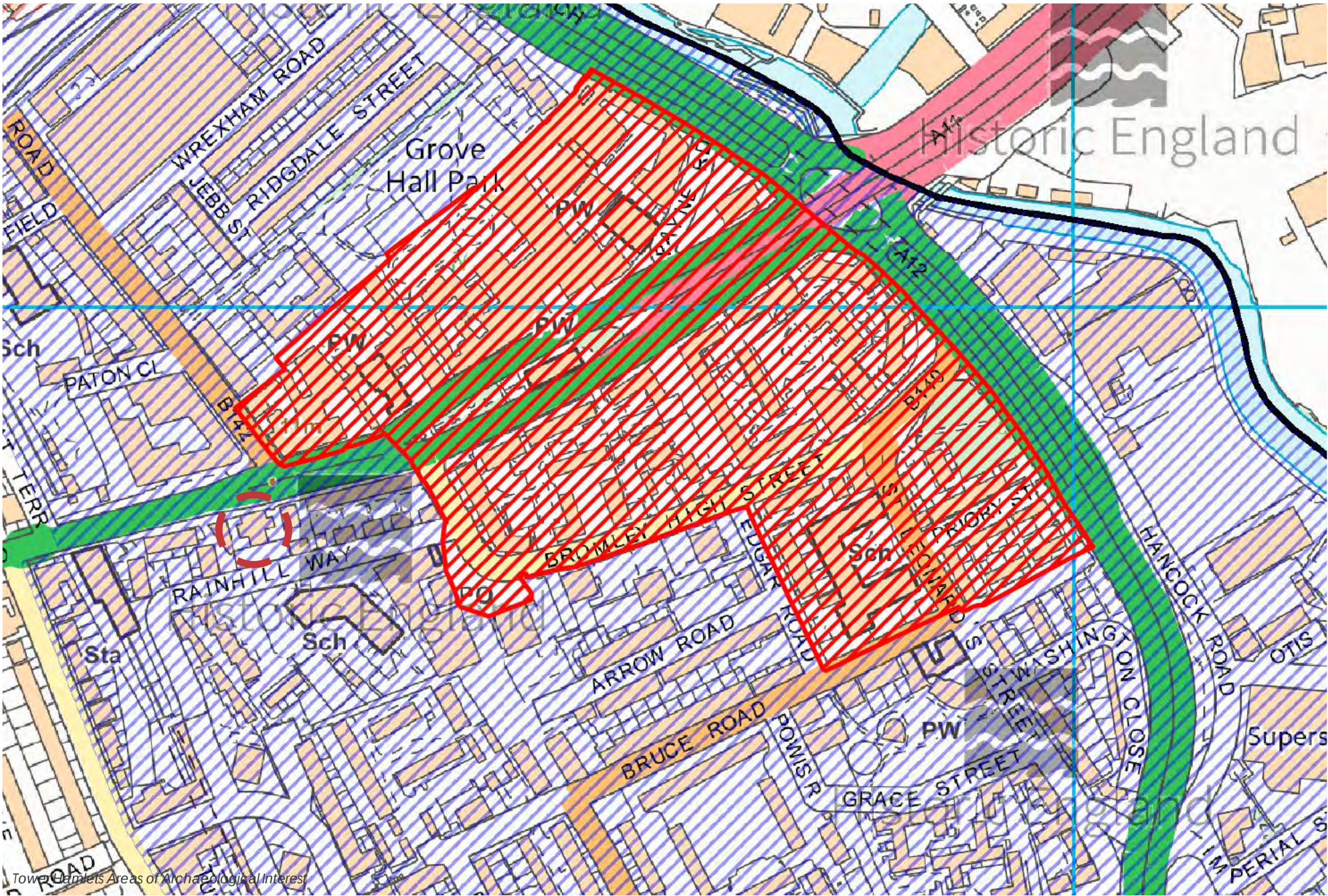
2.8 Conservation Area

Conservation Areas

Bromley Public Hall is not within a Conservation Area itself. However, it is adjacent to multiple Conservation Areas, including Fairfield Road Conservation Area to the north and Tomlins Grove to the west.



2.9 Heritage



Areas of Archaeological Importance
To the east of the site is Bow Archaeological Priority Area. Bromley Public Hall is within the Tier 3 Bow Archaeological Priority Area. The settlement at Bow is significant as it preserves a wide range of medieval and post medieval settlement, commercial and religious activity and the development of it over 700 years.

Key

-  Bow Archaeological Priority Area
-  Tier 3 Archaeological Priority Area
-  Site

2.9 Heritage

National Heritage List:

Grade II Listed Building

List Entry Number: 1251500

Listed: 27.09.1973

Address: Bromley Public Hall, Bow Road E3

BOW ROAD E3 1. 4431 (South Side) Bromley Public Hall TQ 3783/295 II 2. Mid C19.

Stone faced, with balustraded parapets to top and 1st floor. Roof not visible. 2 storeys and basement. 6 windows, the centre 2 slightly advanced, round arched.

Corinthian pilasters between top floor windows, composite pilasters between those of ground floor Central arched and advanced porch approached by steps, Brown Brick, 3 storey, one windowed portion at western side.

Bromley Public Hall is a Grade II Listed building along the Bow Road and is sited on the Lea Valley Archaeological Priority Area. Directly across Bow Road lies the Fairfield Road Conservation Area, with the Tomlins Grove Conservation Area within a 5 mins walk to the West. Whilst not situated within a Conservation Area there are a number of Listed Buildings within the immediate vicinity of the site. List Entry No. 1065277 details the 'Area Railings' at no. 116 Bow Road as being Grade II Listed, these are next door to Bromley Public Hall.

The Hall was previously used as the Register Office, but is in use as a Coroner's Court. As part of this conversion a number of signs displaying 'Register Office' were removed from the site, although the supporting structure has been retained. These signs were discrete, with white text on a black background with the London Borough of Tower Hamlets (LBTH) logo. There are 2no. streetview images adjacent showing the former signs.

Historically on the advanced porch there are 2no. brass plaques which are the same size. The right hand side plaque read 'Bromley Public Hall' and the left hand side previously read 'Tower Hamlets Register Office.' The timber board to which the plaques were directly fixed is still in place.



Image: Building News June 13 1879

2.10 Regularisation of Bromley Public Hall

Heritage Collective United Kingdom (HCUK) have provided a baseline heritage assessment of the existing building, along with an overview of various changes to the building since its original construction. For more information on the Heritage Assessment, see Appendix A. For the full Heritage Condition Plans, see Appendix B.

Background

Bromley Public Hall is a building constructed in 1879, designed by A & C Harston as a Vestry Hall / Registry Office. It was built on the site of almshouses situated between the former police station to the east (Grade III) and the Bow Bells Public House to the west. The original building is shown in a contemporary illustration of the Building News:

2-storey wings were added to the building in different phases. The west side was extended before 1893 and the east extension was added in the late 20th century, possibly in conjunction with the addition of a new staircase and lift in 1989 under application ref: (PL/89/00014 I BUILDING IS TO PROVIDE ACCOMM FOR THE REGISTRAR OF BIRTHS, DEATHS & MARRIAGES ON THE BASEMENT AND GRD FLOORS, TOGETHER WITH A CONTINUING USE OF THE MAIN HALL FOR RECEPTION MEETINGS ETC. NEW STAIRCASE FOR DISABLED ACCESS TO ALL FLOORS BY LIFT AND TOILET FACILITIES NEW EXTENSION WEST ELEVATION). The reference to a new extension on the west elevation is possibly a mistake as the lift and staircase is on the east side of the building.

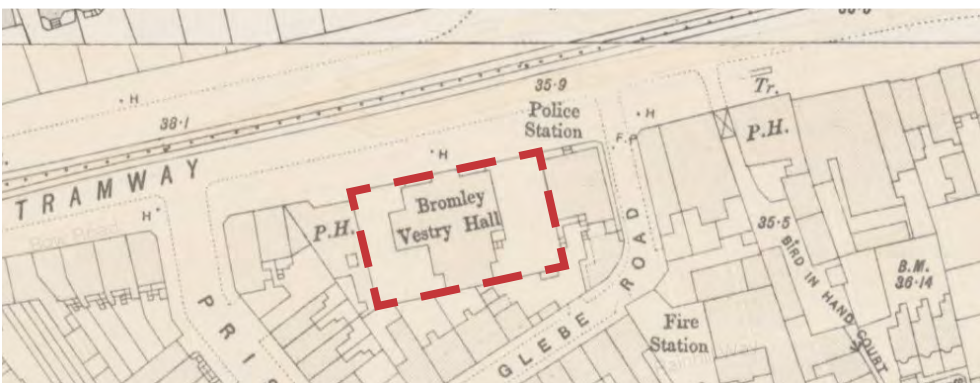
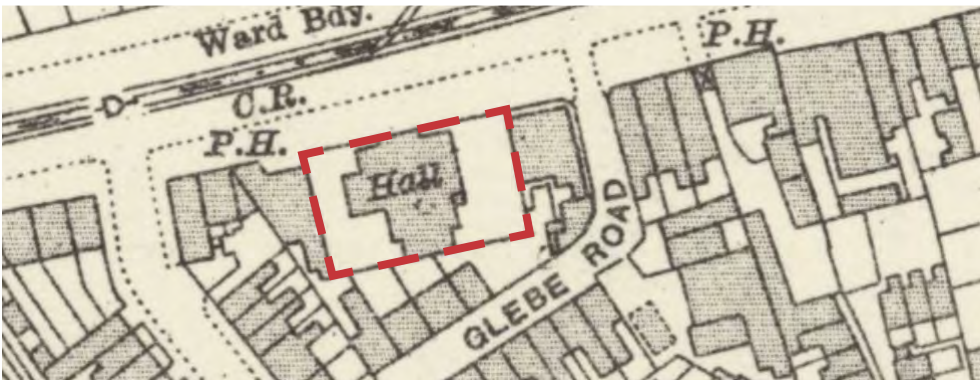
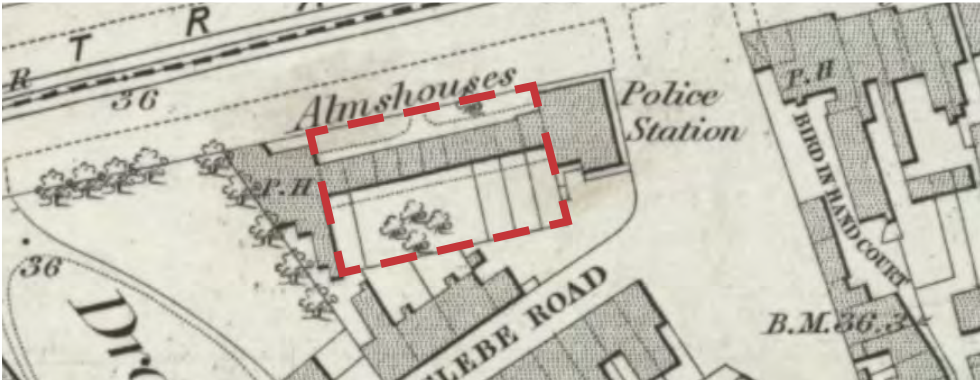
Internally the building is well preserved, with a well detailed grand stair, Minton tile floor to the entrance hall, decorative plasterwork cornices and memorial tablets. Modern partitions and M & E installation clearly legible within the framework of the original plan form, which remains legible. The decorative scheme to the main hall at first floor level is the stand out feature of the building which is in the classical style with Doric pilasters supporting a moulded entablature and a deep coved ceiling divide by panelled ribs. This room retains to two original stone chimney pieces and good quality original light fittings, plasterwork and joinery. There is evidence of the original Plenum heating and air ventilation system in the

building, though this is no longer function. Visible remnants include grilles and one pipe outlet with a valve handle in the southern office at ground level.

The rooms to the rear of the building at first and second floor level retain good period fireplaces, with an art nouveau style chimney piece in the Jurors room.

Internal alterations in recent times (2002) include a new staircase to the first floor which replaced an earlier one which remains at ground floor level.

In summary, the building remains a well preserved Victorian Civic Building with alterations made over the course of its history which reflect the changes in its usage and function. Most of the changes have been sympathetic or are at worst of a reversible nature (such as ground floor partitions) and there is scope to restore, enhance and better reveal the significance of the listed building as part of the future proposals for the consolidation of the building's use as a Coroner's Court.



Top Image: OS Map 1867
Centre Top Image: OS Map 1893-96
Centre Bottom Image: OS Map 1914-16
Bottom: OS Map 1955

2.10 Regularisation of Bromley Public Hall

The following describes the alterations and additions to Bromley Public Hall over the years as it changed use, compiled using floor plans from the archives as well as HCUK's research.

Basement

- Data unknown

Ground Floor

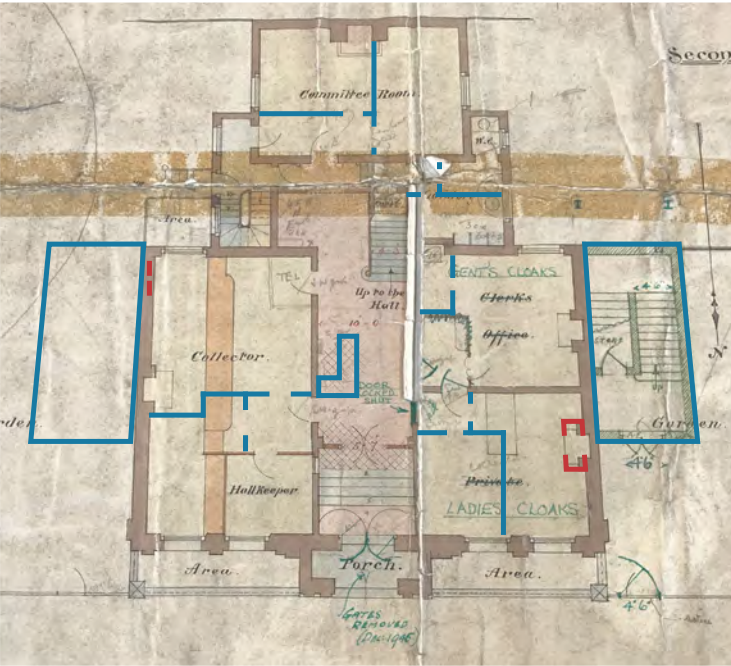
- N.D. (No date): Subdivision of Collector room into meeting rooms and administration offices
- N.D.: Subdivision of Ladies' Cloakroom into meeting rooms
- N.D.: Subdivision of rear Committee room into offices
- Circa 1893: Addition of western staircase
- Circa 1893: Addition of eastern staircase and lift
- N.D.: Subdivision of rear WCs
- N.D.: Addition of reception desk in the central hall

First Floor

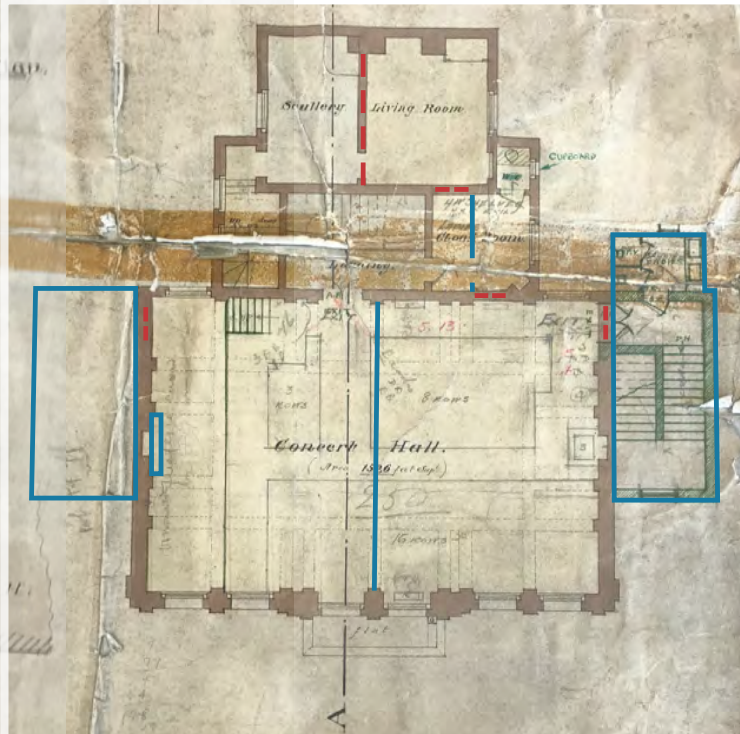
- Circa 1893: Addition of western staircase
- Circa 1893: Addition of eastern staircase and lift
- June 1922: Addition of WCs to the rear of the western staircase
- N.D.: Removal of wall subdividing the rear Scullery and Living room
- N.D.: New connection between Living room and Cloak room
- N.D.: Addition of bulkhead and sliding partition to subdivide the Concert Hall
- 2022: Addition of Coroner's dais covering the eastern fireplace in the Concert Hall

Second Floor

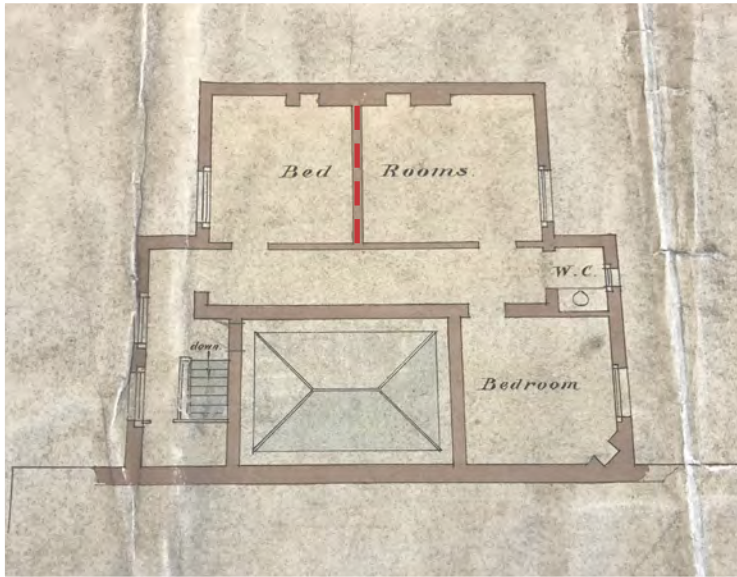
- Circa 1893: Addition of western staircase
- Circa 1893: Addition of eastern staircase and lift
- N.D.: Removal of wall subdividing the Bedrooms



Ground Floor Plan circa mid 19th century



First Floor Plan circa mid 19th century



Second Floor Plan circa mid 19th century



2.10 Regularisation of Bromley Public Hall

Commentary on the Implemented Works and Emerging Proposals

The interventions made to date associated with the Coroner's Court use a light touch and are of a reversible nature. The Electrical Additions installed are de minimis and have a neutral effect on the building's special interest. The changes to date do not result in any permanent or appreciable harm to the historic fabric of building's significance. The most substantial element is the Coroners' dais and backing panel which encases the eastern fireplace in the main courtroom at First Floor level. However, this historic feature is preserved in situ and the reversibility of courtroom layout and would be considered justified on the basis of the extant beneficial use (a much needed and valued public service) and its long term presence in the building.

There is a significant amount of trunking and other M & E features within the space, but these are surface mounted and generally avoid architectural features. The opportunity to reduce the amount of trunking, devices and other wiring to de-clutter the walls and surfaces would constitute a small heritage benefit.

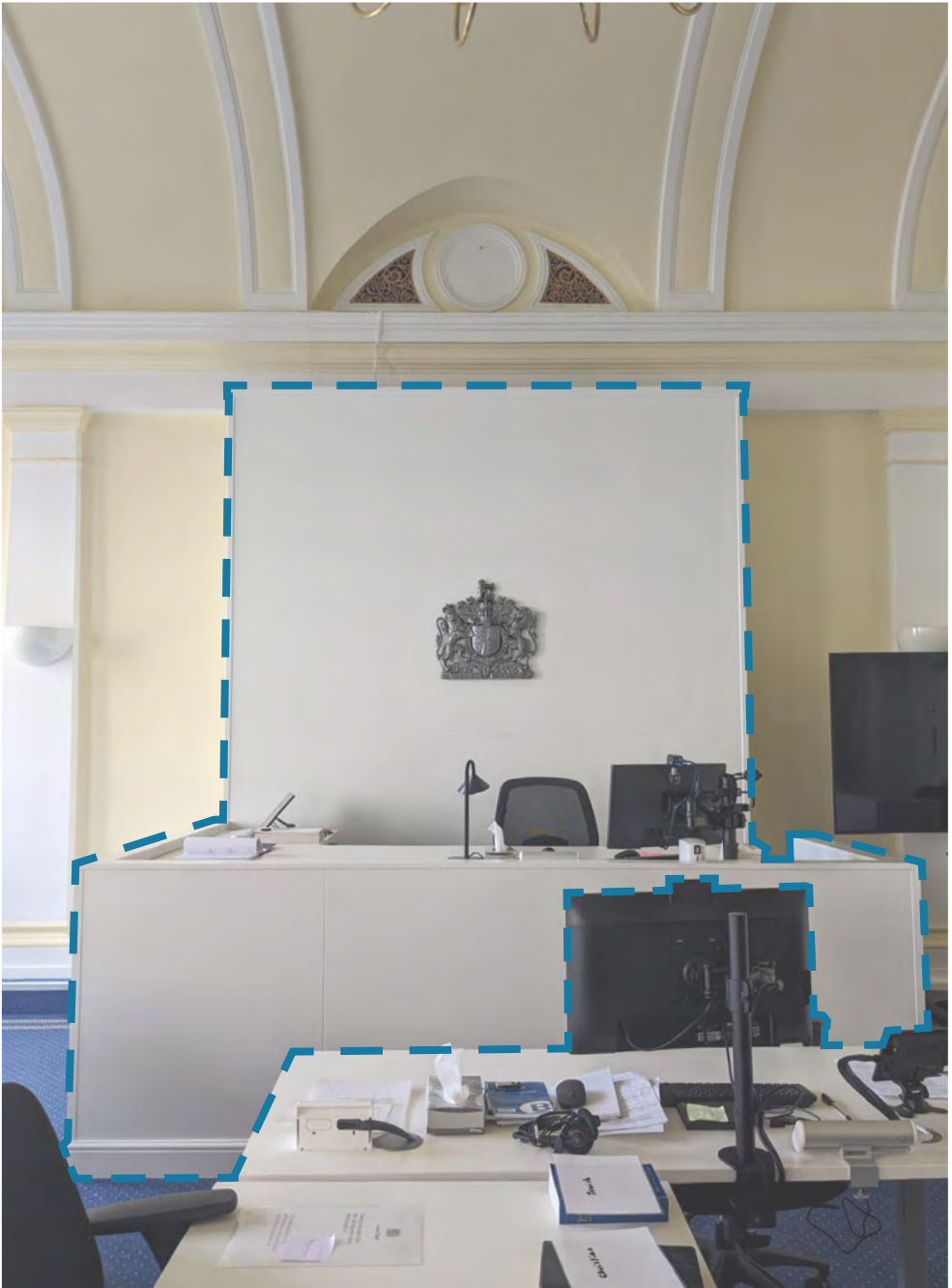
The main hall is divided by an inserted screen partition with mobile partition panels to the lower part. The upper part of the divider is fixed, and is likely to have been installed as part of the conversion of the building to a wedding venue / registry office. The feature is highly intrusive and has a noticeably adverse impact on this high quality interior space. The removal of the partition would provide a noticeable enhancement of the court room and associated heritage benefit would be capable of outweighing / compensating for any perceived harm arising from the installation of the Coroners' Chair, television screen and associated trunking / decking or fixed seating.

Other possible benefits associated with re-ordering the interior include the removal of stud partitions to the ground floor offices to restore original volumes spaces and the legibility of features such as fireplaces and moulded cornices.



Key

Exposed historic fireplace on the First Floor



Coroner's dais and backing panel covering the historic fireplace on the First Floor



Non original features

2.10 Regularisation of Bromley Public Hall

In terms of thermal efficiency, the main hall benefits from historic secondary glazing to the tall front elevation casement windows. More lightweight secondary glazing is a potential option for the other windows in the building as they all have plain reveals which could accommodate a secondary glazing system without harming the building's special interest. The windows to the rest of the building comprise a mixture of plate glass sashes and glazing bar sashes. Retro-fitted double glazing would be possible to install in the existing frames, most of which look to be original, although secondary glazing is possibly a better solution in terms of U-value and retention of historic fabric, including and hand made glass, though there does not appear to be any.

The provision of an alternative heating system, such as ASHP, was discussed. The location of the heat pump is a potential issue as this would need to be installed on the outside of the building, probably at roof level. A deck within the concealed valley around the glazed lantern above the main stair is a potential option. The need for bigger central heating pipes and radiators associated with a ASHP is another potential issue.

The exterior of the building has extensive areas of impermeable cement pointing to the brickwork, with plenty of unsightly strap pointing which is most unsympathetic visually and materially harmful to the long term condition of the building. The removal of cement point and repair of the masonry using a suitably gauged natural hydraulic lime would yield a substantive heritage benefit.

There is scope for a better understanding of the original heating and fresh air ventilation system within the building. Elements of it are reminiscent of the system used in the Municipal Buildings built in Liverpool in 1862-68. The existing heating system is entirely modern.



Key
Non original features
Sliding partition and bulkhead diving the Courtroom on the First Floor



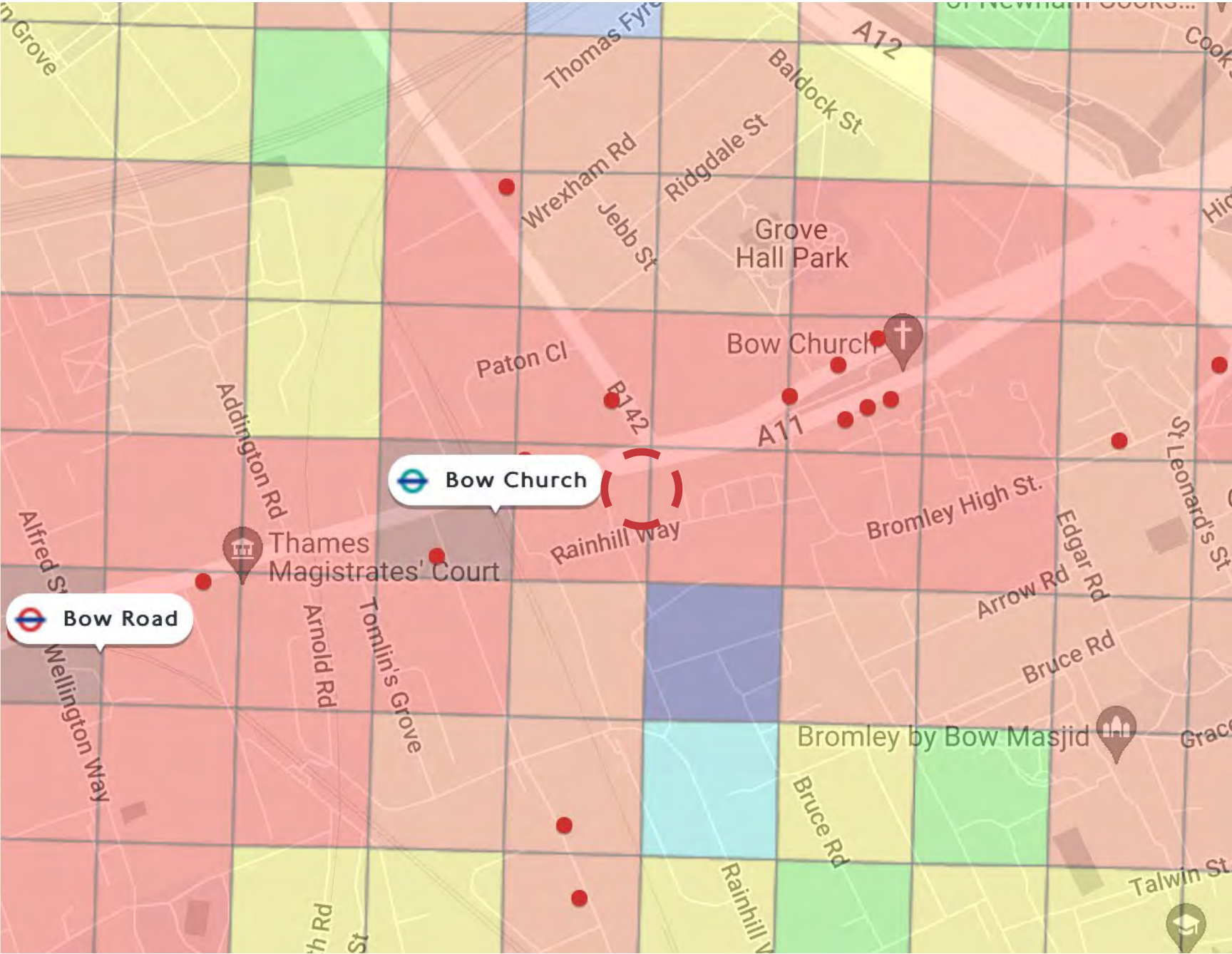
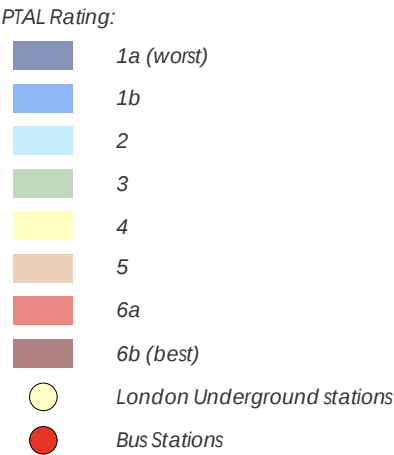
Top: Bulkhead diving the Courtroom on the First Floor
Bottom: Sliding partition and bulkhead diving the Courtroom on the First Floor

2.11 Transport

Public Transport

The proposed site is fairly well connected to the surrounding neighborhood of Bow. There are bus routes close by along Bow Road (A11) as well as B142. It is a 2 minute walk to the DLR line at Bow Church station, and only a 5 minute walk to the District and Hammersmith & City lines at Bow Road station.

Currently, the site and the majority of Bow are rated by Transport for London as having a Public Transport Accessibility Level (PTAL) of 6a, which is the second to best rating. PTAL is a measure which rates locations by distance from frequent public transport services.



Transport for London Public Transport Accessibility Level (PTAL) rating for the Borough of Tower Hamlets

2.11 Transport

Pedestrians and Cyclists

Despite being situated along the large vehicular thoroughfare of Bow Road, the street does have wide pedestrian pavements and protected cycle paths. Additionally, Bow Road is designated as a Tower Hamlets “cycle superhighway”.

Vehicular Travel

There is private parking available at the rear of the site to be utilised for staff only.

According to Tower Hamlets Council, the site falls within the parking zone B, where anyone with a B permit can park from Monday to Saturday, 8:30am to 5:30pm.

Key:

Cycle superhighway

On-road cycle network (to be upgraded)

Canal and riverside path

Park and green spaces route

Green spaces and parks



Tower Hamlets cycle network

3.0 Design & Sustainability

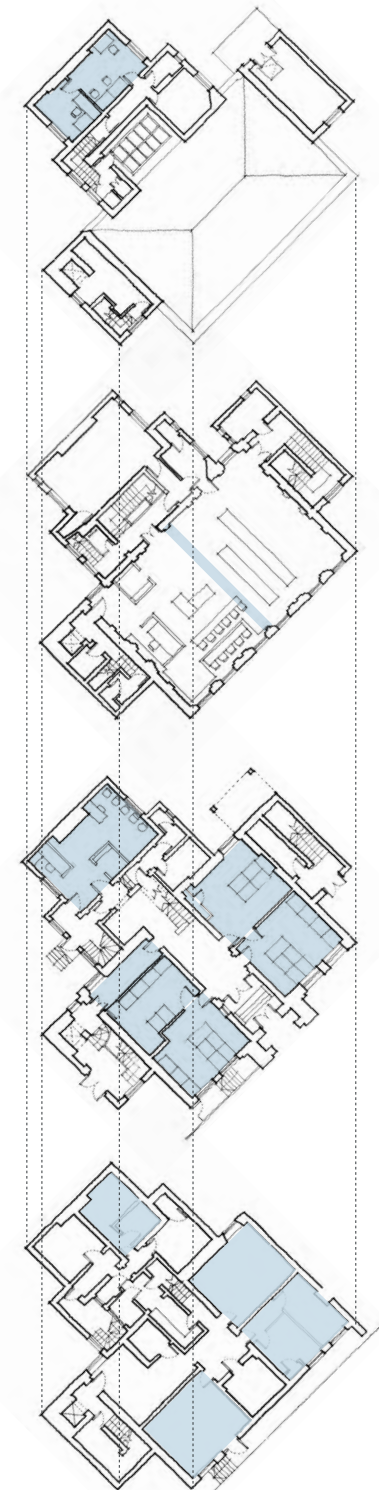
3.1 Design Overview

Work to Date

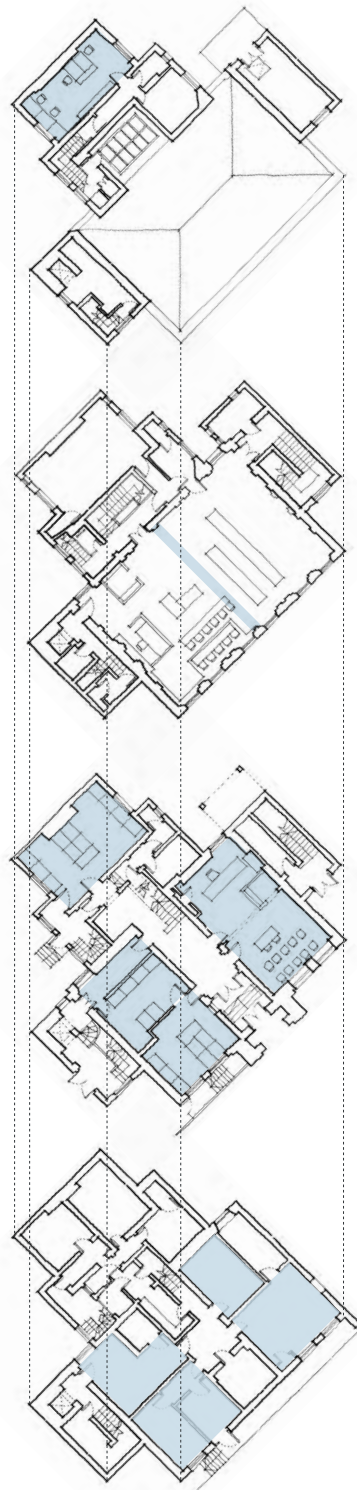
Following the completion of RIBA Stage 1, and the selection of the Preferred Option, TPM Studio have focused on progressing the following key areas of the proposals:

- Development and execution of proposals, tying these into the building’s historic context, and meeting the guidance of the Heritage Assessment;
- Detailed progress of the Scope of Works for the project, including demolitions and strip-out works, replacement of existing fabric elements, and the integration of sustainability upgrades to services and building fabric;
- Development of a high-level interior design strategy, to meet the needs of end users and the building operators, budgetary restrictions of the project, as well as the sensitive heritage fabric;
- Coordination of high-level services proposals, ensuring plant requirements and alterations can be accommodated within the proposals;
- Consulting with the Client and internal Stakeholder’s within the Client Team, to ensure that design proposals meet the specific needs of the project and represent the Initial Project Brief.

Key:
 Areas of focus



Riba Stage 1 -
Option A



RIBA Stage 1 -
Option B

3.1 Design Overview

Consultations

Numerous Consultations have been carried out with members of the Project Team, the Design Team and internal Stakeholders, in which the development of the proposed Stage 2 Concept Design has been discussed.

Client Team Consultations

TPM Studio have presented Stage 2 Proposals to the Borough of Camden Client Team on several occasions. Within these meetings, the following areas of the project were discussed:

- Coroner’s Court sizes, locations, and requirements;
- Number of staff and requirements;
- Crucial adjacencies of spaces and user circulation;
- Entrance sequence for visitors, staff, and those with DDA needs
- Sustainability, and measures to improve the performance of the property;
- The progress of the design, and the integration of servicing requirements within the historic fabric.

Design Team Consultations

Regular Design Team Meetings have taken place during RIBA Stage 2, and will continue as the project progresses further. Within these meetings, the coordination of architectural, structural, and servicing proposals have been discussed, as well as queries to the Client to allow for the confirmation of the brief, or the requirement of further surveys and investigations to help confirm design proposals.

Planning and External Stakeholder Consultations

Police consultation does not currently take place on site. It is not likely to be required in the proposed scheme moving forwards.

A Pre-Application has not yet been submitted, but it is intended to engage the Planners as early as possible due to the building’s Listed Building status.

Stakeholder Consultations

Multiple meetings with end users took place during the early

stages of RIBA Stage 1 and 2.

The team met with Amal Kunwar, Coronial Services and Business Development Manager for The London Borough of Camden, and with Coroner ME Hassell, HM Senior Coroner for the London Boroughs of Camden, Hackney and Tower Hamlets. The key points from these meetings are summarised as follows.

Amal Kunwar

Coronial Services and Business Development Manager for The London Borough of Camden

Meeting on the 5th of October

Coroner ME Hassell

HM Senior Coroner for the London Boroughs of Camden, Hackney and Tower Hamlets

Meeting on the 17th of October

Courtrooms

- There needs to be at least 3no. Courts at Bromley Public Hall, the sizes and accommodation of which are as follows:
 - 1no. Large Courtroom with a Jury.
 - 1no. Courtroom of a similar size to the large but without the jury. This would be roughly the same as what is at St. Pancras. They would ideally be the same size as the existing jury court but without the jury.
 - 1no. Small Courtroom where there may only be 1no. family, 1no. witness, 1no. legal representative and 1no. officer.
- For every Courtroom provided there needs to be at least 1no. family room provided. This allows families a place to wait during the trial as well as a place to meet with their legal representatives if required.
- Each court will need the Coroner’s crest to be mounted behind the Coroner on the wall.
- It was noted that the Courtroom at Poplar is too small, particularly with the jury benches.
- It was noted that the Coroner’s Court on the First

Floor is working well and the coroner is happy with the facilities provided. Currently the jury arrive at the front of the building and have key access to the jury room.

- The acoustic system in the Court does need to be tweaked as witnesses can’t be heard or hear. The speakers mounted on the jury tables also need to be reviewed as they are liable to be knocked and disconnected accidentally.
- Initially it was hoped that the existing court room could be split into two courtrooms. However, this is not recommended for the following reasons:
 - Lobby requirements for DDA access;
 - Jury room requirements which would require significant reconfiguration of the courts;
 - Difficulties of acoustic separation between the two rooms due to cost, detailing, and Listed Building concerns.

Staff

- There will be approximately 22no. staff to be accommodated within Bromley Public Hall. All staff will be in full time and will require their own workspace. Of the approx. 22no. staff members; 5no. of these are administrators, and 17no. are Coroner’s Officers.
- Provision needs to be made for Assistant Coroners and it has been requested that the current Second Floor office be adapted to provide 3no. workspaces so that all the coroners can work simultaneously. There is an agreement in place that any calls can be taken in the staff kitchen on the Second Floor.
- The Chief Coroner has noted that a presiding Coroner cannot travel from their office via a route that does not intersect with area open to the public. If an arrangement can be made to provide a separate entrance this would be ideal. However, as the coroner is accompanied by an officer there can be no allegations of corroboration.
- The Coroners office needs to be lockable from the inside as a security measure in case the coroner does need to shelter in their office.

Access, Reception, & Public Spaces

- There is appetite for the back entrance be removed, although this entrance may be required from a Building Regulations point of view with regards to escape routes and entrances.
- A risk assessment of the ‘open door’ policy to allow any member of the public to attend the inquests is to be carried out. The public are welcome, however, the maximum occupancy that can be accommodated should be determined.
- The current reception entry sequence needs to be reconsidered as it is not welcoming to the public nor is it suitable for DDA Access. Currently, wheelchair users access the courts via a side entrance, however, there is no manned reception or receptionist here that can help them navigate the building. The administrators can assist with the DDA entrance and main reception desk. There is no requirement for a full height wall separating the corridor and the office, a low wall or open reception desk should suffice.
- The current reception desk needs to be reconsidered so that it is more inviting to the public. It would be ideal if there was room for 2no. persons so that there is 1no. security person and 1no. administrative staff member.
- Consultations with family and legal representatives currently are held in the rooms at the front of the building. The Coroner is happy for these consultations to take place in the basement as consultations will not be lengthy. There are not currently any provisions for families to have tea or coffee and this arrangement does not need to be altered.

3.1 Design Overview

Following the development of the proposals, the design team presented Option A and Option B, initial costings, and the Stage 1 draft report to the Client. During this meeting, feedback and additional scope were suggested, as summarised below.

Stephen Neil
Project Manager, London Borough of Camden's Accommodation Team
Meeting on the 28th of November

While the Coroner, was not present, her feedback was provided on her behalf, and is as follows:

- 1. Request for an additional door into the Senior Coroner's Office.
- 2. Request for an additional Assistant Coroner's Office. Suggestion of the existing Second Floor cleaner's cupboard.
- 3. Request for alterations to the Second Floor WC so that the toilet is separate from the shower.
- 4. Request for reception desk which seats 2no. people. Ideally this would be raised so that the receptionist is at eye level with the public upon entry.

Overall design proposal comments from the Client are as follows:

- Both basement schemes are working well, though it is preferred to move the Comms room into a rear storage room as in Option A. However, if this relocation requires a full cable re-wire, it might not be necessary.
- While it is preferred that all of the Ground Floor staff offices are located at the front as in Option A, the larger Medium Coroner's Court in Option B is a higher priority.
- In order to address the Coroner's point 01 about the additional office door, flipping the Senior Coroner and Assistant Coroner offices should be explored.
- In order to address the Coroner's point 02 of putting an additional office in the cleaner's cupboard, it should be addressed as to why this cannot work due to the COSHH store requirement, as well as unsuitability of the space itself. It is requested that an existing registry store room in the Basement be explored instead.

- In order to address the Coroner's point 03 about the Second Floor WC, the kitchen / tea point may need to be brought into the scope to allow for a larger WC and shower as opposed to the existing wet room.
- In order to address the Coroner's point 04 about the reception desk height, a split level desk should be explored.
- In addition, it is requested to explore the addition of a

desk for the security officer in existing Ground Floor alcove in order to reduce pressure on the reception space.

- A Programme for delivery should be reviewed, as the Coroner is already booking inquests into 2025. Construction programme should have a design / procurement element added to the front.

Comments about the initial costings from the Client are as follows:

- Though still high level, the initial costings of the two schemes were well received as they were well below the budget.
- It is understood that FLOH Consulting will need to comment on the MEP element. A meeting is required in order to understand the required scope.
- Ventilation, specifically of the Basement, should be considered, as the function of the facility will mean that it will need to continue running in adverse conditions, such as another pandemic.

- Initial costs are to be reviewed again with an increased contingency to 20% and additional quantified unknowns, such as asbestos removal.
- Going forward, a full scope of decorations and upgrades (services, thermal, etc.) will need to be developed and confirmed.
- As there is additional room in the budget, the additional scope of removing the non-functional Ground Floor stair as well as light refurbishment to the Jury room should be reviewed.

Impact on Design Proposals

In summary, the scheme feedback was overall positive with minor changes to the design proposal. This includes additional scope as requested by the Coroner and Client as well as combining the most successful aspects of Option A and Option B in order to meet the Strategic Brief, which is summarised in the charts below.

Floor	Additional Requests	Impact
Basement		
	Additional Assistant Coroner's Office and window	Medium
Ground Floor		
	Split level reception desk for 2no. staff	Minor
	Security officer space in alcove	Minor
	Removal of non functional rear stair	Medium
First Floor		
	Refinishing of Jury spaces	Minor
Second Floor		
	Additional door into Senior Coroner's office	Minor
	Flipping Senior and Assistant Coroner offices	Minor
	Reconfiguration of WC and Shower Room	Medium

Floor	Space / Proposed Layout	Option A	Option B
Basement			
	Small Coroner's Court Location	No preference	No preference
	Family Rooms Location	No preference	No preference
	Comms Room Location	Preferred if possible	
Ground Floor			
	Coroner's Officers Office Locations	Preferred	
	Medium Coroner's Court Location		Preferred
First Floor			
	No Differences	N/A	N/A
Second Floor			
	Coroner's Office Layout	Preferred with some adjustments	

3.2 Design Concepts

Design Concept

Due to the limited budget available for the project, and the limitations imposed by the existing heritage asset, the main concept behind all proposals is to explore ways to achieve the Client and end user design requirements, whilst minimising interventions to the existing building. This fulfills the joint project requirements of controlling the project budget, whilst presenting a scheme to the local Conservation Officer that is likely to achieve Listed Building Consent.

As such, the response to the Initial Design Brief has been developed in line with the overarching concept for the project as well as Stakeholder feedback.

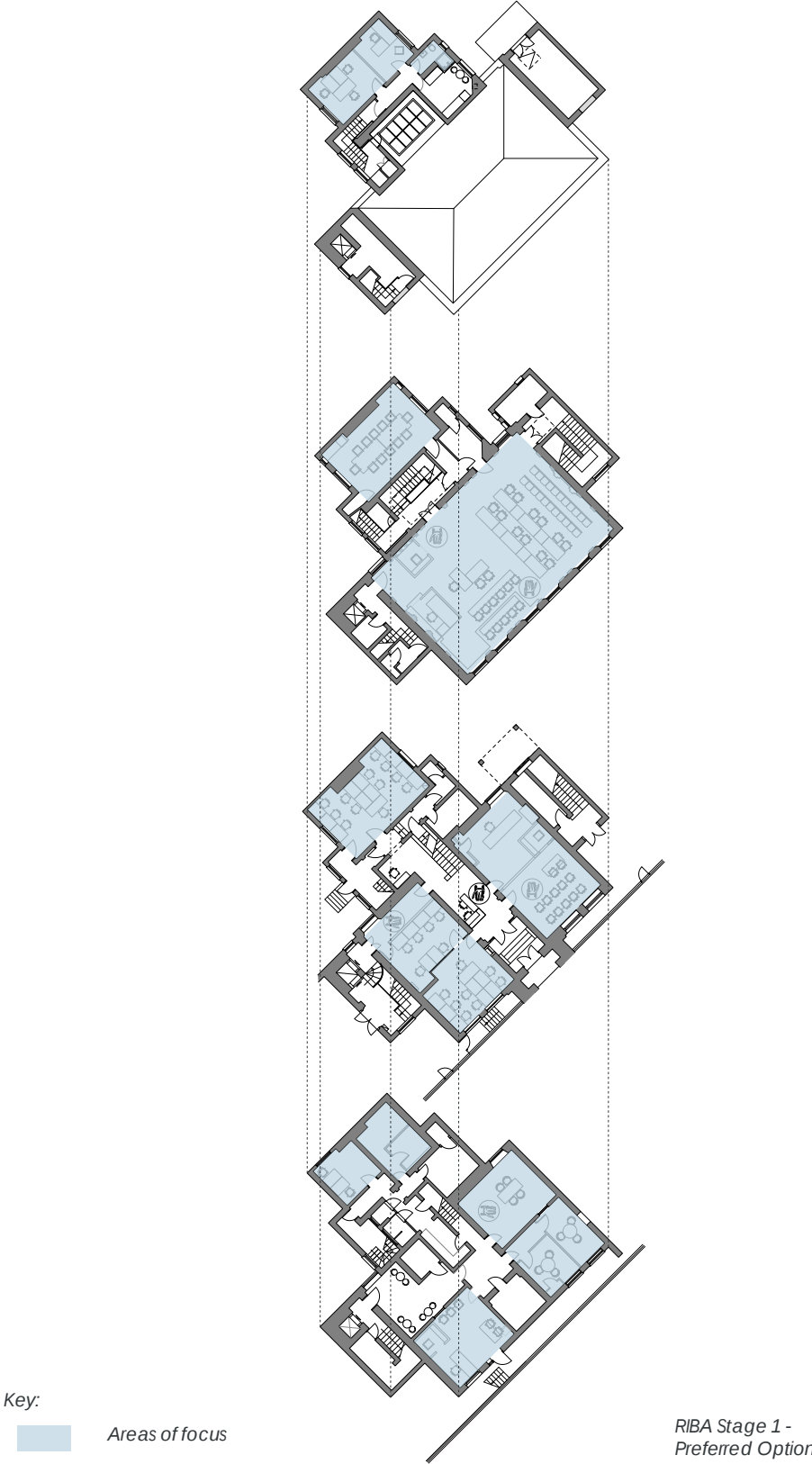
The proposal seeks to answer the Client's minimum brief requirements with regards to Courtroom and staff accommodation within Bromley Hall, as summarised below:

- 3no. Coroner's Court of varying sizes, with one being juried;
- Space for the required 5no. Administrators and 17no. Coroner's Officers;
- Space for the Coroner and 3no. Coroner's Assistants;
- Space for 3no. Family Rooms.

The proposed scheme has met and, in some aspects, exceeded the brief requirements by testing opportune adjacencies and scale of each space. Through the reconfigured internal arrangement, the proposal is able to provide the required 3no. Coroner's Courts: the Small Court is located in the Basement, the Medium Court on the Ground Floor, and the Large Court as existing on the First Floor.

Other than space requirements, a key concept is also user circulation. Due to the sensitive nature of the Coroner's Court operations, circulation must be carefully considered so that certain user groups do not overlap in the corridors.

Finally, as a Grade II Listed Building, it is very important to consider the heritage value of the existing fabric and the impact any alterations might make on its historic importance.



3.2 Design Concepts

Precedents

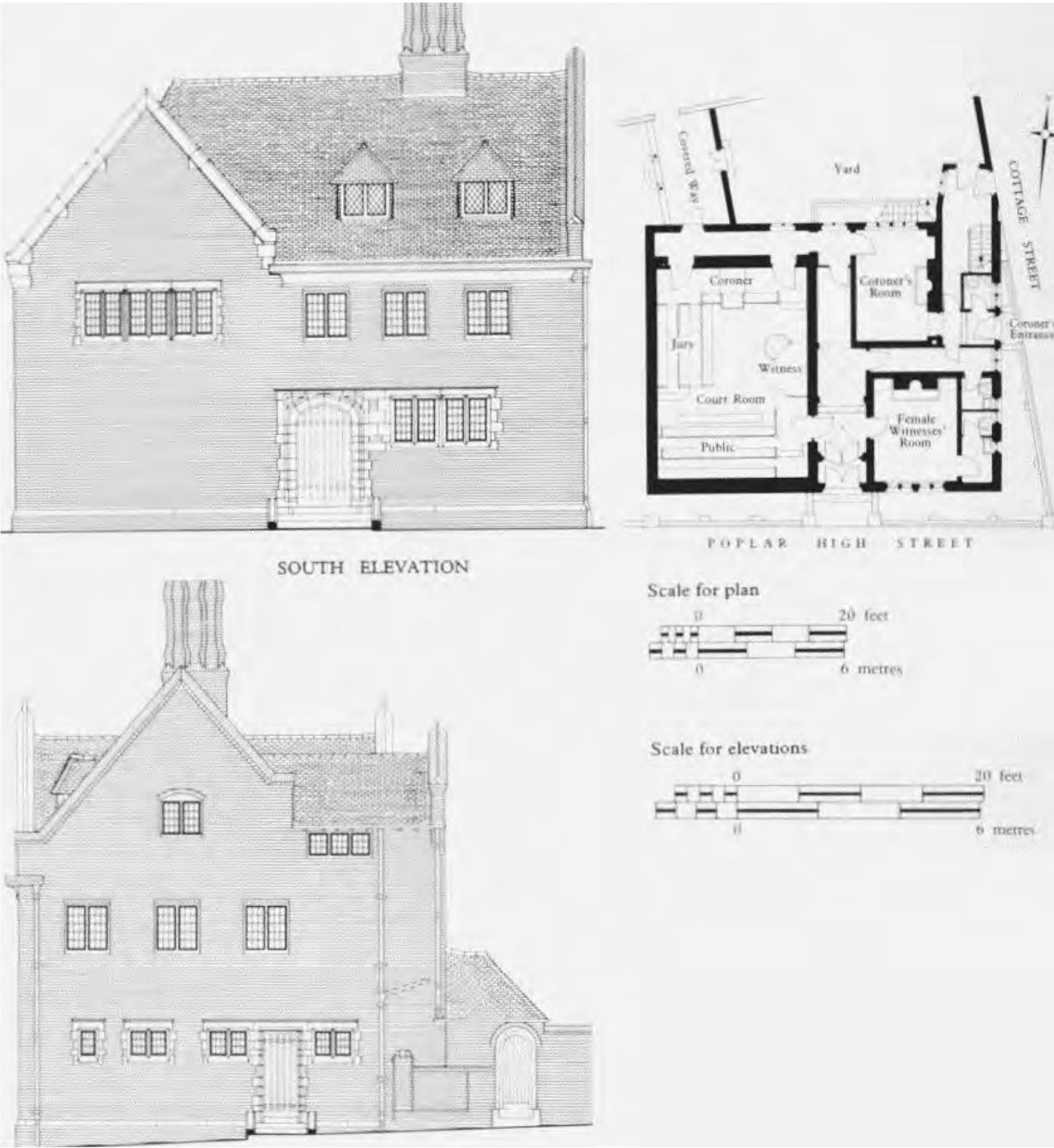
Poplar Coroner's Court E14
The Poplar Coroner's Court is a 2no. storey court built circa 1910 for the Borough of Tower Hamlets. The Court is of architectural significance as an Arts & Crafts style character of red brick and stone.

This precedent relates to the proposal by setting space standards for juried Coroner's Courts, offices, and waiting rooms. However, it should be noted that in a meeting with the Coroner and Client, it was noted that this court was seen as too small.

This courtroom is a useful tool with which the client and key stakeholders can better understand the proposed spaces within our proposals, as they will likely be similar size to the main courtroom at Poplar.



Top Image: Interior view of Poplar Coroner's Court
Bottom Image: Exterior view of Poplar Coroner's Court

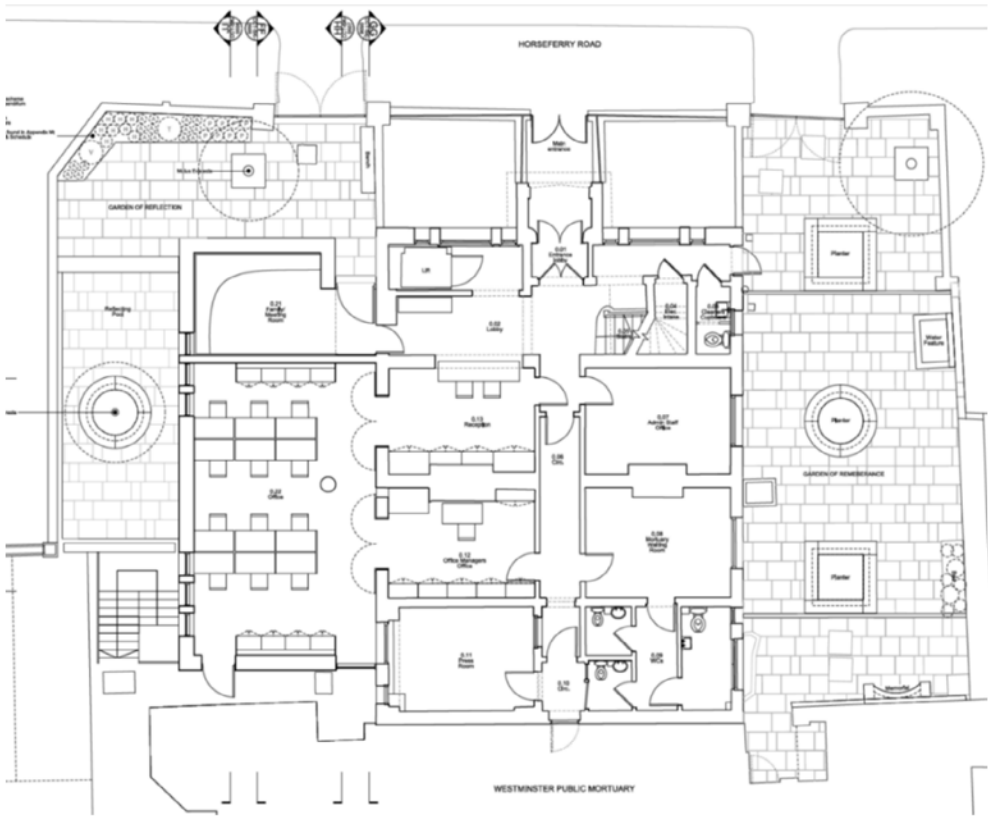


Poplar Coroner's Court Elevations and Floor Plan

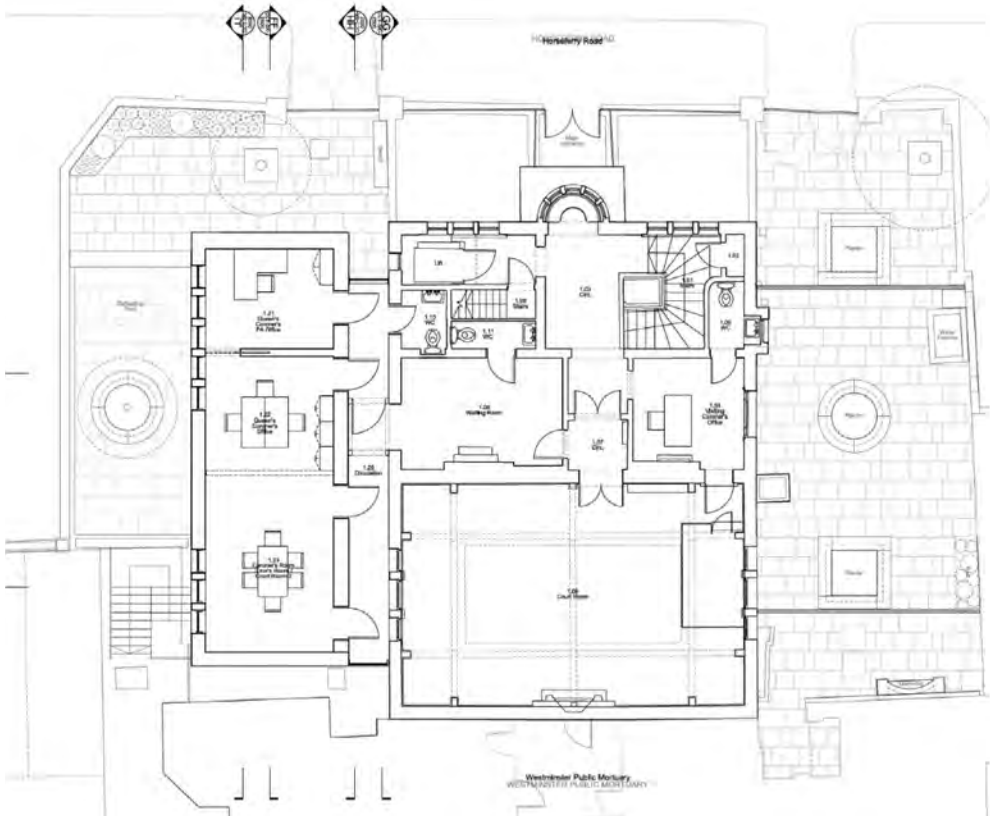
3.2 Design Concepts

Westminster Coroner's Court SW1
Similar to the project at Bromley Public Hall, the Westminster Coroner's Court involves the renovation and extension of a Grade II listed, late Victorian building. The new wing allows for a series of additional office space for the coroner and her staff, as well as improved facilities for jurors and visitors. Additionally, the project creates an outdoor Garden of Remembrance on the eastern side of the existing building for visitors.

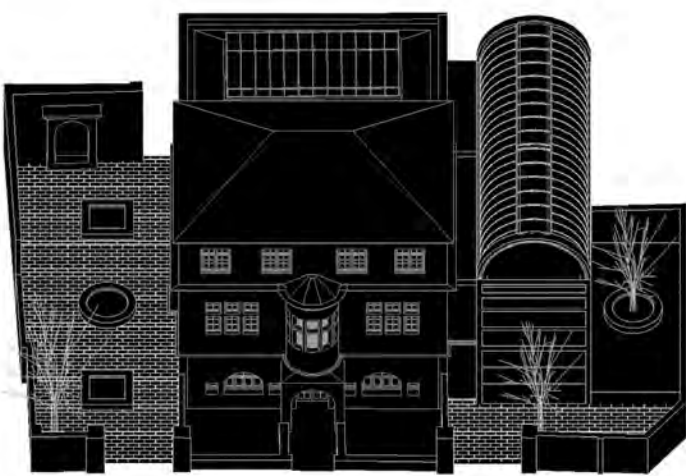
This precedent relates to the proposal by setting providing comparative information for space allowances for juried and unjuried Coroner's Courts, offices, and waiting rooms.



Westminster Coroner's Court Ground Floor Plan



Westminster Coroner's Court First Floor Plan



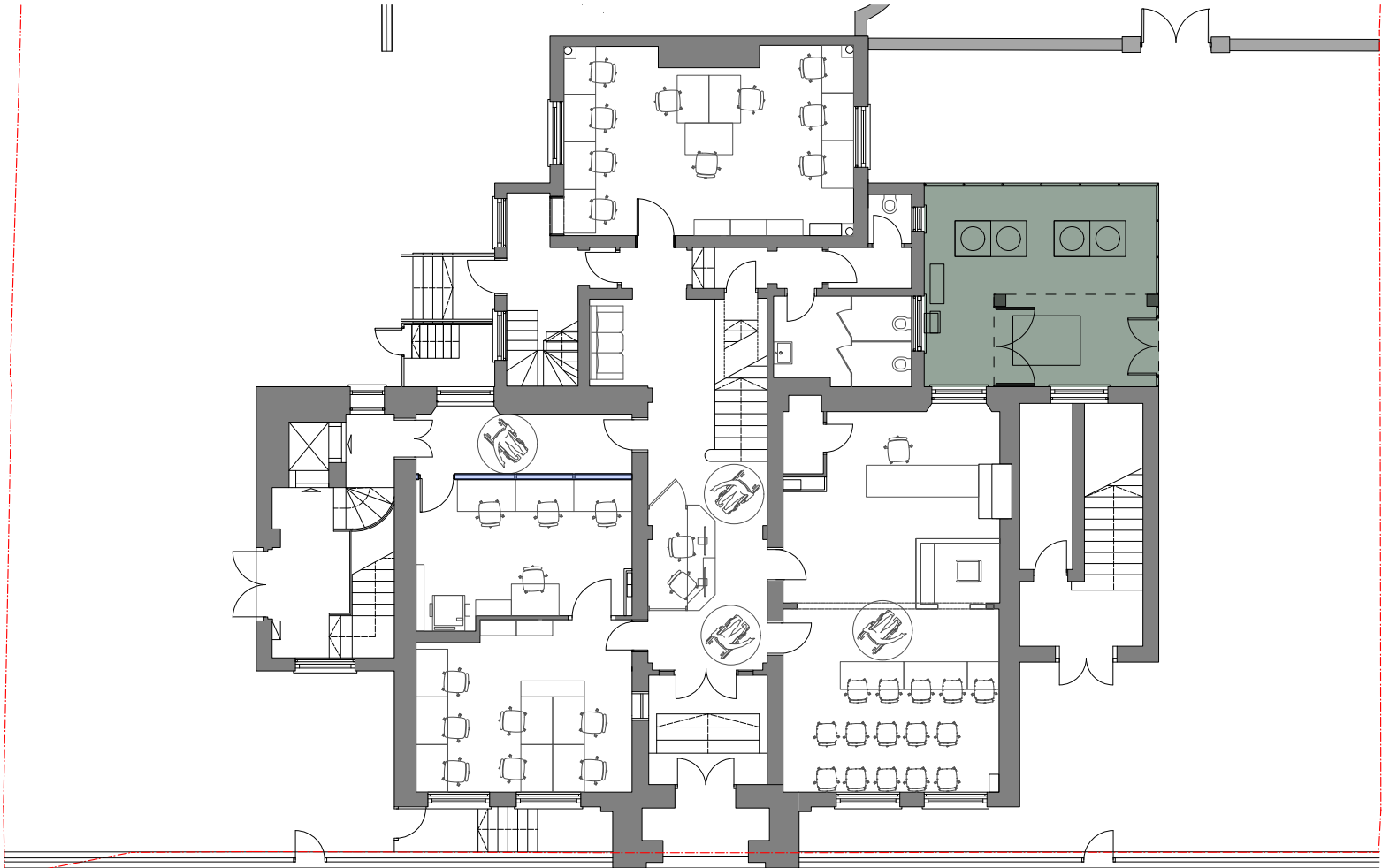
Westminster Coroner's Court Front Elevation



Westminster Coroner's Court Front Elevation

3.3 Architectural Strategy - Site & External Works

No major site works are proposed for Bromley Public Hall. The only significant external works are related to the proposed Air Source Heat Pumps on the southwestern yard of the site. Fencing will be installed for security and noise mitigation.



Ground floor site plan

Key:

	Proposed External Plant Area
	Site Boundary

3.4 Architectural Strategy - Demolition & Removals

Heritage

As a Grade II Listed Building, it is very important to consider the heritage value of the existing fabric prior to any works. In addition to the Heritage Assessment (Appendix A), a set of Heritage Condition Drawings (Appendix B) have been completed to catalog both modern and original fabric, finishes, and decorative features.

The proposals then use these documents as a guide: through the strategic removal of intrusive modern features, the demolition will allow for a better reading of the original historic plan form. Proposals throughout have been kept to a minimum and are primarily related to either the proposed MEP services or the refurbishment works to the floors, walls, and ceilings.

Basement

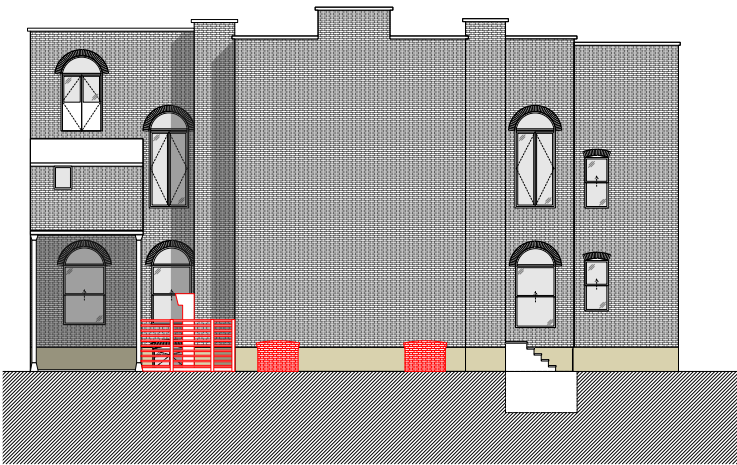
Minimal removals are proposed for the Basement, and are primarily related to the proposed MEP services and refinishing the floors, walls, and ceilings. A few existing partitions, presumed to be modern, will be removed to make room for the proposed Family Rooms. In the rear storage rooms, sections of the exterior wall will be removed to create clerestory windows.

Ground Floor

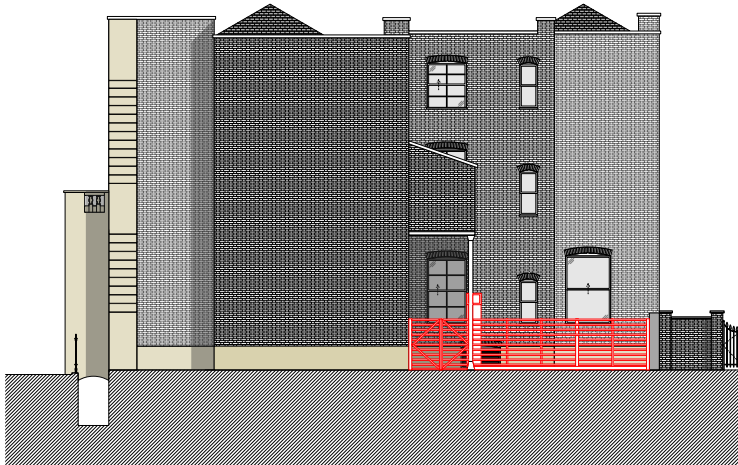
The Ground Floor has the most removals, in addition to works for the proposed MEP services, WC strip out, and refinishing the floors, walls, and ceilings.

The modern partitions in the front of the plan will be removed along with portions of a historic wall in order to open up space for the Medium Coroner’s Court. The dividing line of the historic wall will still be legible and treated more as a cased opening. The modern partition and historic partitions on the front of the plan will be removed to open up this space for offices. Similarly, the modern partitions in the rear area of the Ground Floor will be removed; their removal will reinstate the open space historically in this location.

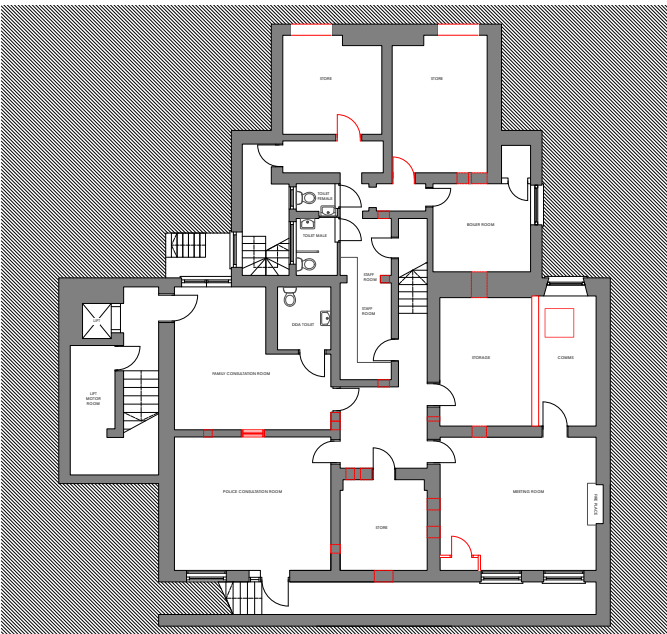
Externally, existing fencing on the southwest of the building will be removed to make room for the proposed plant. For more information on the MEP proposals, refer to Appendix C.



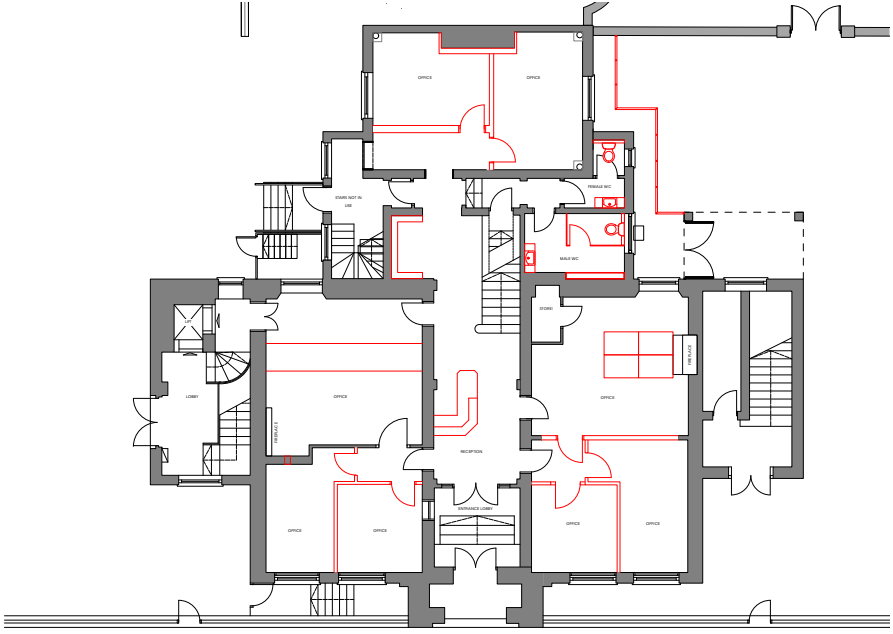
Rear elevation with demolition



West elevation with demolition



Basement demolition plan



Ground floor demolition plan

3.4 Architectural Strategy - Demolition & Removals

First Floor

Works to the First Floor consist of the removal of a modern bulkhead and subsequent remediation works associated with its removal. The removal of this item reinstates the historic plan and will improve the heritage value.

Second Floor

A minimal strip out has been proposed for the Second Floor which is primarily related to the proposed MEP services, the strip out of the WC, kitchen, floor finishes, and the redecoration of walls and ceilings. An opening will be made in the rear room to facilitate the creation of two separate offices, thereby reinstating the historic division of the space.

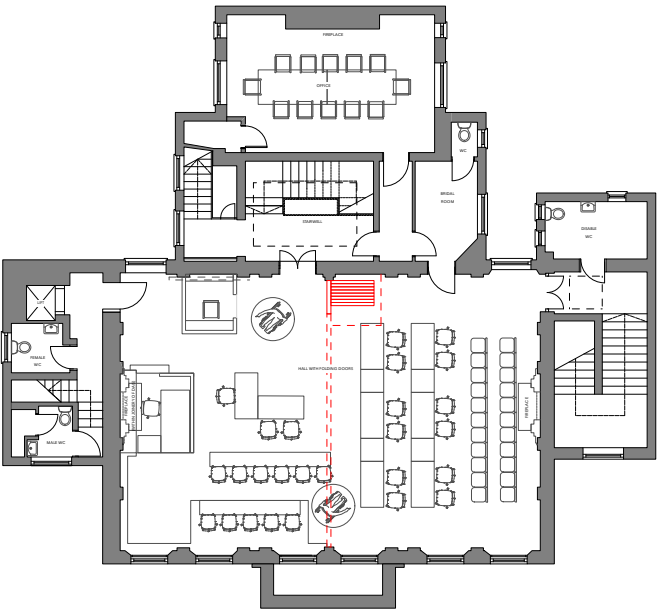
For full demolition scope, refer to Appendix B.



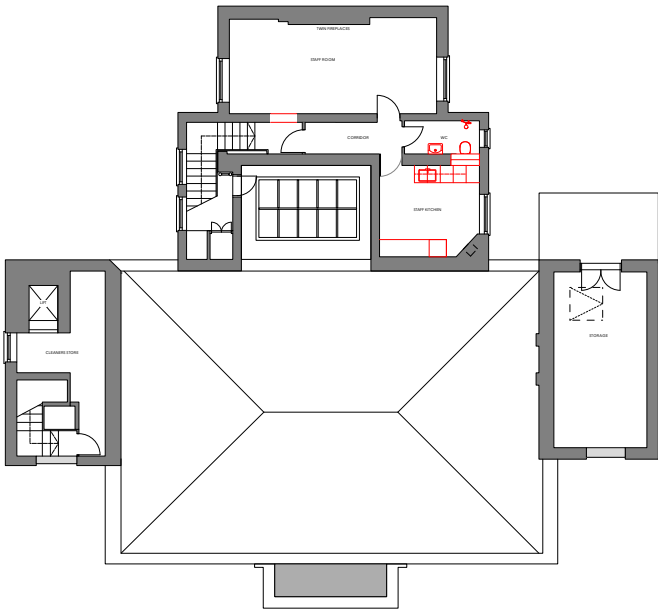
Front elevation with demolition



East elevation with demolition



First floor demolition plan



Second Floor demolition plan

3.5 Architectural Strategy - Form & Massing

Space Requirements

In order to provide the required 3no. Coroner's Courts of varying sizes, it is proposed to retain the existing large Court on the First Floor, create a new medium Court on the Ground Floor, and create a new small Court on the Basement level.

In addition to opening up space for the Courts, it is also proposed to reconfigure the Ground Floor in order to provide more space for the required 5no. Administrators and 17no. Coroner's Officers. This is achieved by relocating the required family rooms to the Basement level, which additionally allows for larger family rooms. During consultation it was also discovered that these spaces being located in the Basement is not detrimental, as they are only used for very short periods of time in the morning by families and their legal teams.

The Second Floor Coroner's office will be reconfigured in order to provide space for the Coroner and 1no. Coroner's Assistant; the remaining 2no. Coroner's Assistant offices will be located in the refurbished rear Basement rooms.

Massing

The proposals have ensured that the original massing and form of the building is retained. In fact, by meeting the space requirements through strategic removals and opening up of spaces, the historic cruciform plan of the building is better understood.

Primary spaces on the Ground Floor are clearly designated through the symmetrical massing which are connected by the central reception and circulation.

The First Floor main hall is also unified into one space as originally built through the removal of the intrusive modern bulkhead.

In doing so, not only is the heritage value increased, but the wayfinding is more clear for users of the building.

Key:

Courtrooms

Public Spaces

Staff Spaces



Massing of the building informed by spatial requirements

3.5 Architectural Strategy - Form & Massing

The following section and diagrams were developed in RIBA Stage 1 to ensure that proposals met the requirements for user circulation; while the layouts have been updated, the overall strategy has not deviated.

User Circulation

Due to the sensitive nature of the Coroner's Court, circulation must be carefully considered. During consultation with Coroner ME Hassell, it was revealed that a Coroner should not intersect with members of the public, jury, legal teams, or witnesses when moving through the building. However, typically a security officer is present to escort the Coroner and prevent any accusations of corroboration.

Additionally, through consultation with the Client, key adjacencies were identified. The following diagrams capture these requirements.

Basement

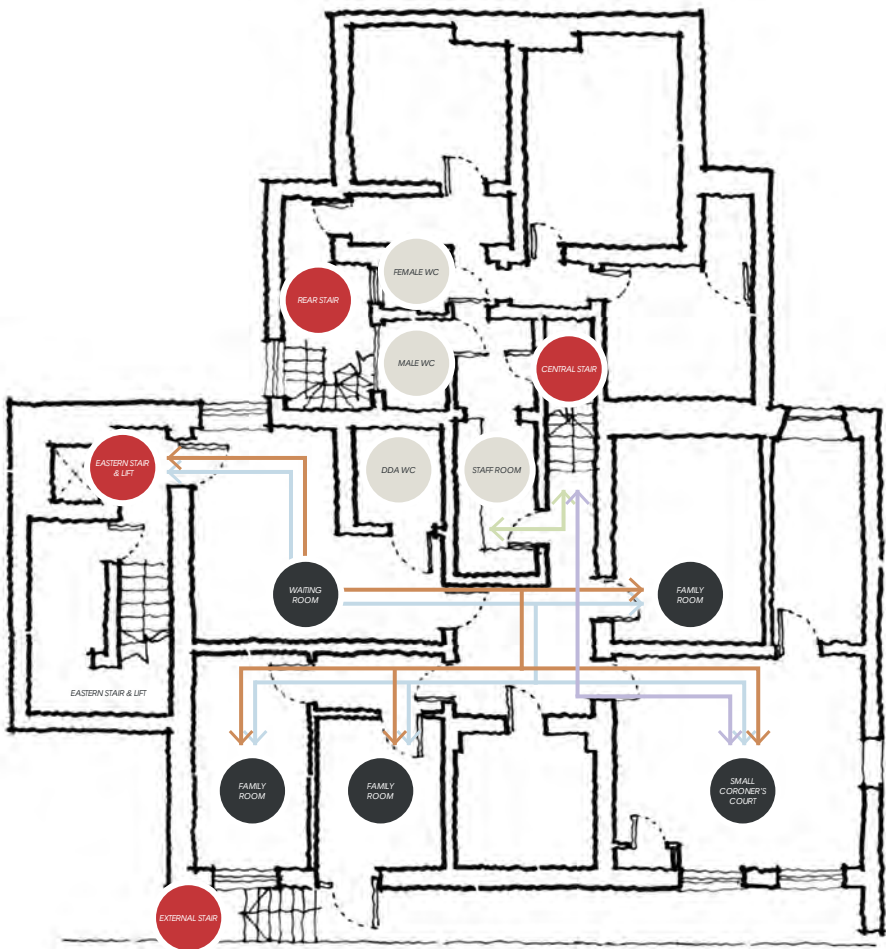
Bereaved families and their legal teams will access the Basement level via the lift and left stairwell, and from there proceed to the family rooms or wait in the waiting room. Following this, the families and legal teams will then proceed to either the small Coroner's Court in the Basement, or the medium and large Coroner's Courts on the Ground and First Floor, respectively.

The staff and Coroner will access the Basement level via the central stair in order to separate themselves from the public, legal teams, and witnesses.

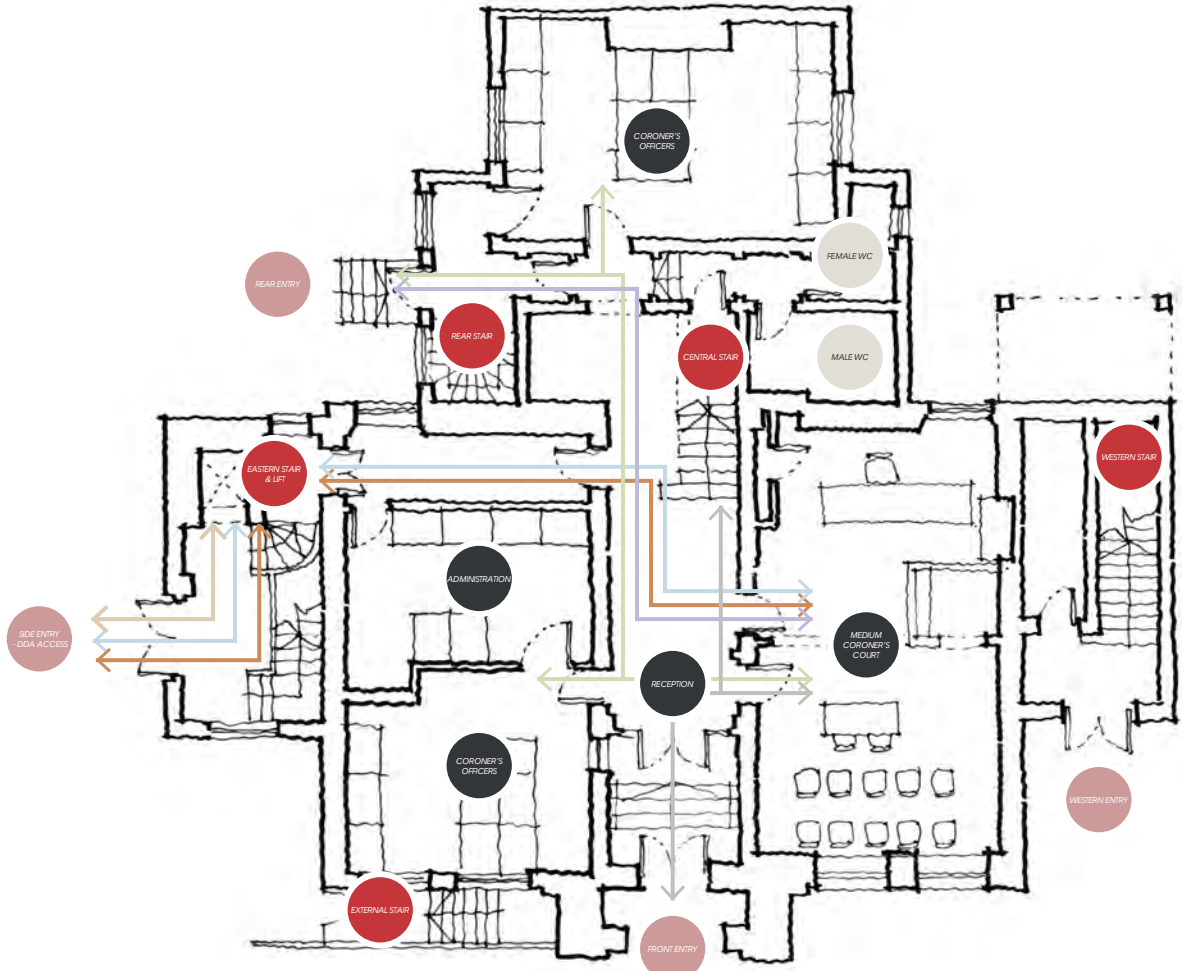
Ground Floor

After entering from the side entrance, bereaved families and their legal teams will access the Ground Floor level via the Administration office and reception in order to check in. Following this, they will likely wait in the family rooms in the Basement prior to proceeding to one of the three Coroner's Courts.

The jury will similarly enter through the side entrance, proceed through the Administration process, and then continue upstairs



Proposed Basement Circulation Strategy



Proposed Ground Floor Circulation Strategy

Key:

Primary space

Secondary space

Bereaved families

Legal team & witnesses

Jury

Coroner

Staff (Administrators, Coroner's Officers, and Coroner's Assistants)

Public

Vertical circulation

Entry / Exit

3.5 Architectural Strategy - Form & Massing

to the large Coroner's Court or jury room on the First Floor. In this way, they will remain separate from the Staff and Coroner.

Staff and the Coroner enter the building separately from the public via the rear entry. Then, they will move about via the rear stair and the main reception coridor.

Members of the public can enter through the side entrance or front entrance, proceed through the Administration process, and then continue to one of the three Coroner's Courts.

First Floor
Bereaved families and their legal teams will access the First Floor level via the lift and left stair, then proceed into the large Coroner's Court.

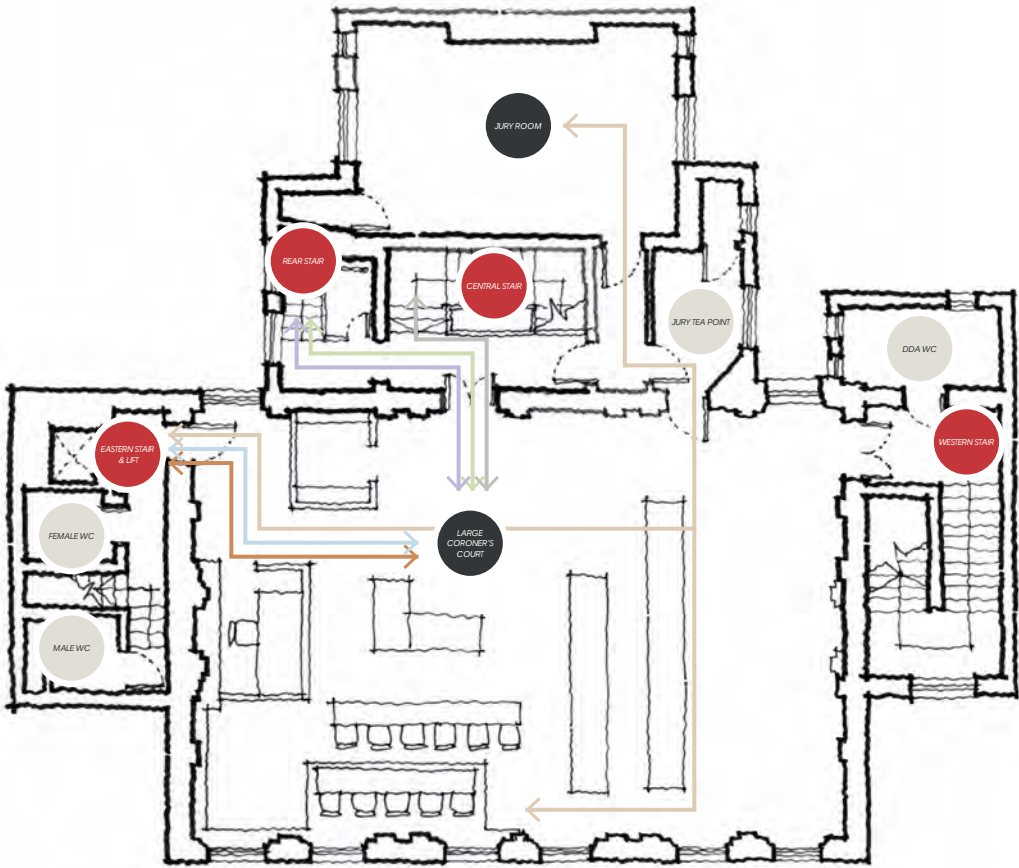
The jury will similarly enter through the side entrance, where they will then proceed to the jury room via their separate coridor or the large Coroner's Court. In this way, they will remain separate from the Staff and Coroner.

Staff and the Coroner will move about via the rear two stairs.

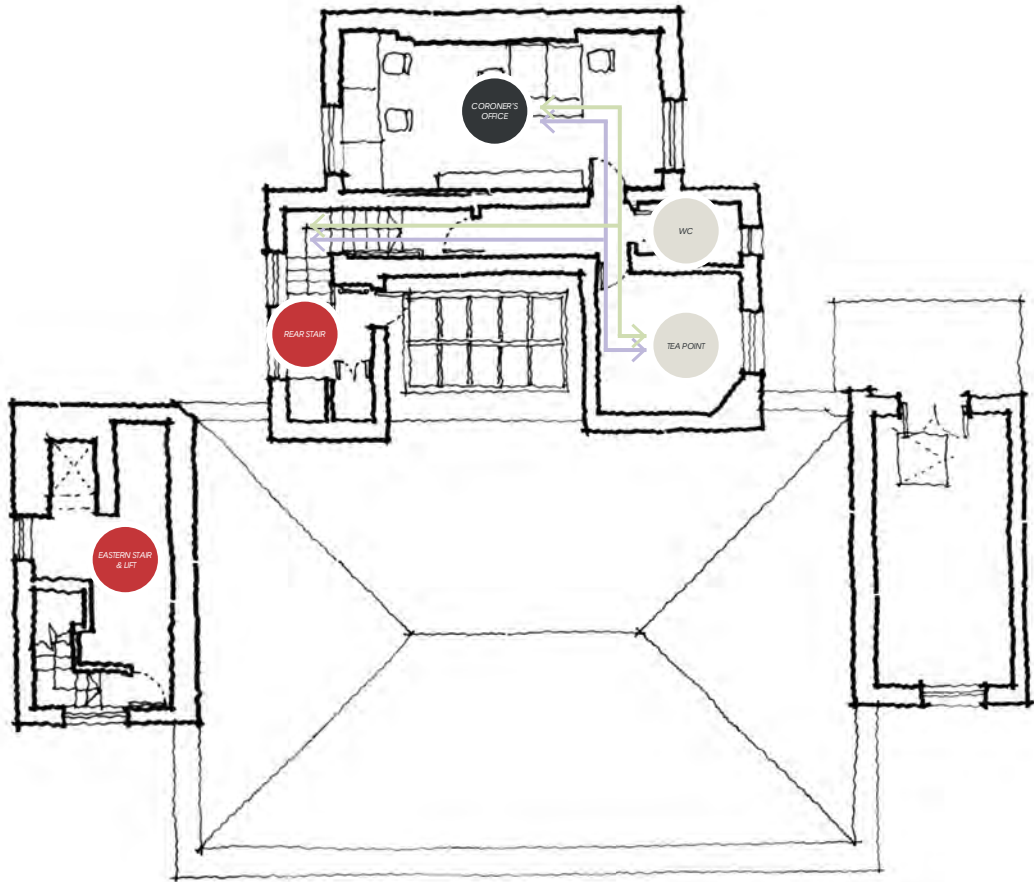
Members of the public can enter through the side entrance or central stair, prior to entering the large Coroner's Court.

Note that the right stair will only be used for emergency egress.

Second Floor
Staff and the Coroner will access the offices on the Second Floor via the rear stair. No other users should have access to this floor.



Proposed First Floor Circulation Strategy



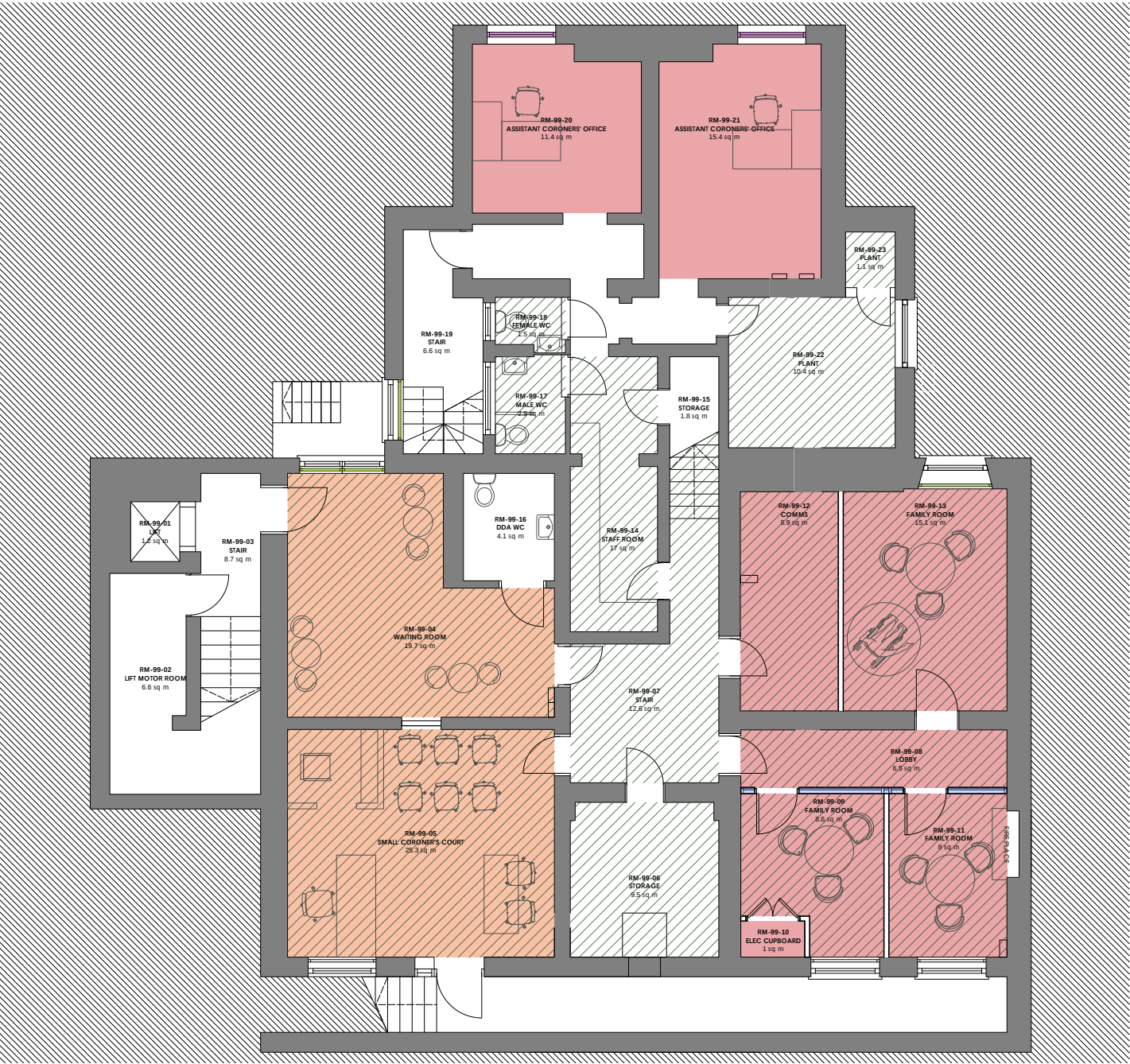
Proposed Second Floor Circulation Strategy

Key:

- Primary space
- Secondary space
- Bereaved families
- Legal team & witnesses
- Jury
- Coroner

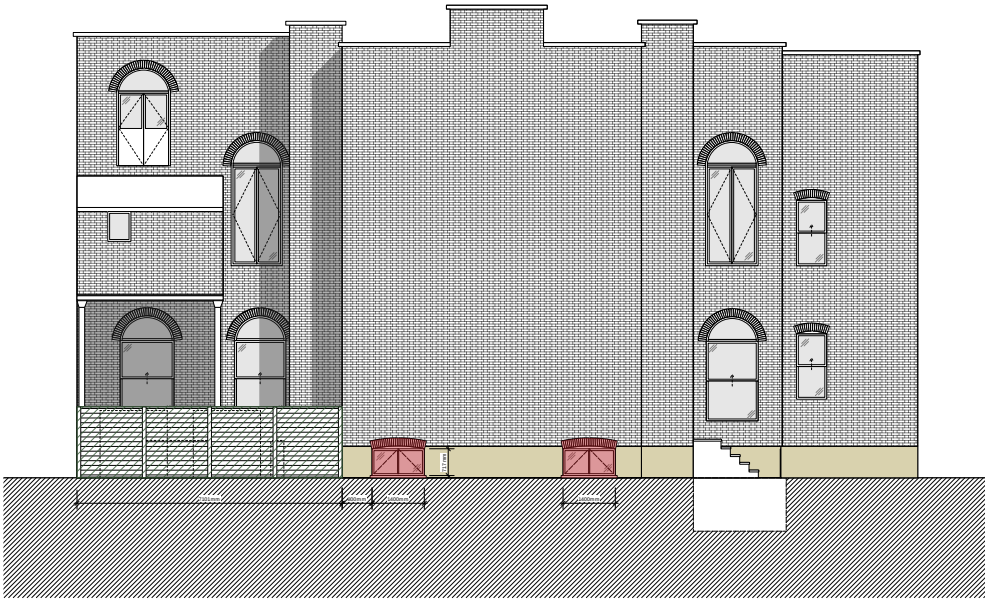
- Staff (Administrators, Coroner's Officers, and Coroner's Assistants)
- Public
- Vertical circulation
- Entry / Exit

3.6 Architectural Strategy - Accommodation & Layout



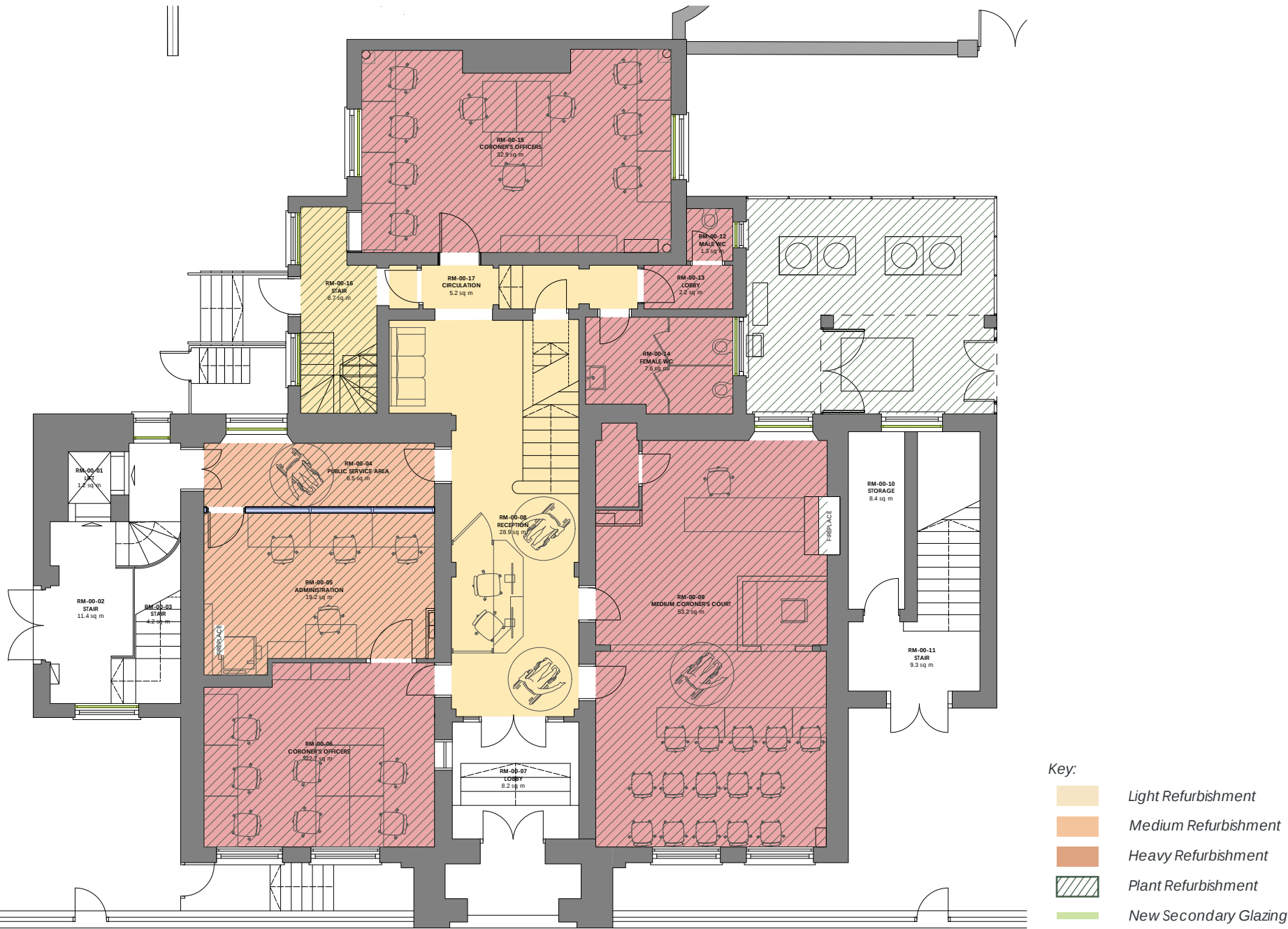
Proposed Basement Plan

Brief Requirements - Basement	
Brief Requirements	Design Response
Small Coroner's Court	The proposal utilises an existing room in the Basement in order to provide a 25.3 sq. m space for the Court.
Space for 3no. Family Rooms	The proposal reconfigures the front of the Basement through the removal of existing partitions in order to open up space for the 3no. Family Rooms.
Assistant Coroner's Office	The proposal adds 2no. additional Assistant Coroner's Offices on the Basement Level by refurbishing the existing rear store rooms. It is also proposed that clerestory windows be added to the rear elevation in the style of the existing fabric.
Plant Room	Refer to full MEP proposals for further detail in Appendix C.
Comms Room	It is proposed that the existing Comms room being relocated to a new space adjacent to the Family Rooms created by the reconfiguration of existing partitions.



Proposed Rear Elevation

3.6 Architectural Strategy - Accommodation & Layout



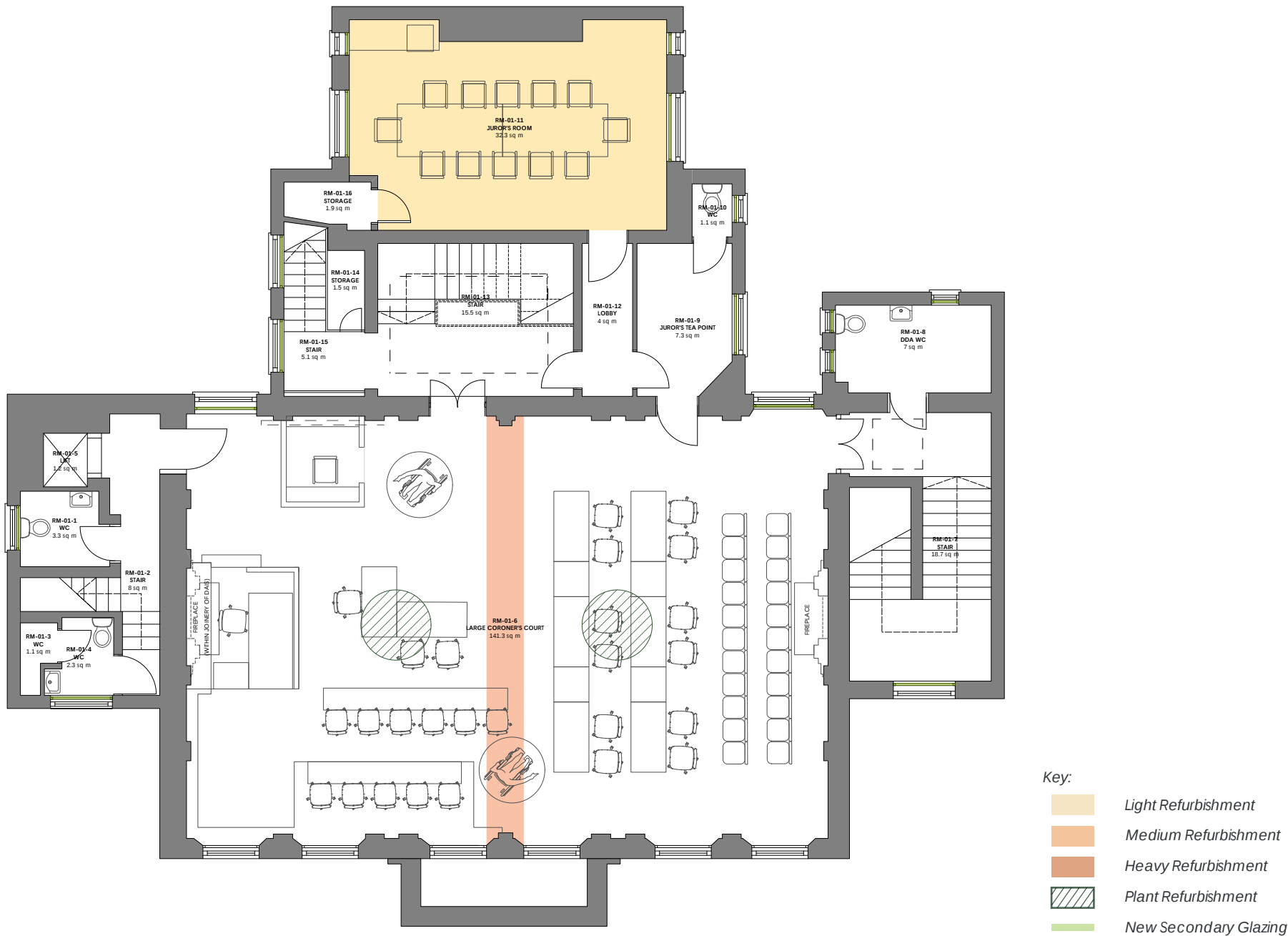
Proposed Ground Floor Plan

Brief Requirements - Ground Floor	
Brief Requirements	Design Response
Space for 5no. Administrators	The proposal maintains the existing location of the Administrators, but allows for the required 5no. desks and public service area.
New Reception Desk	A new reception desk is proposed for the central hall which accommodates 2no. Staff. It is proposed that the desk is split level in order to be Part M / DDA accessible as well as meet the Client request for Staff to be eye level with the public upon entry.
Space for 17no. Coroner's Officers	The proposal reconfigures the Ground Floor through the removal of existing partitions in order to open up space for the offices. This reconfiguration accommodates 17no. desks and space for shelving between the front and rear rooms of the Ground Floor.
Medium Coroner's Court	The proposal reconfigures the front of the Ground Floor through the removal of existing partitions in order to open up a 53.2 sq. m space for the Court.



Proposed West Elevation

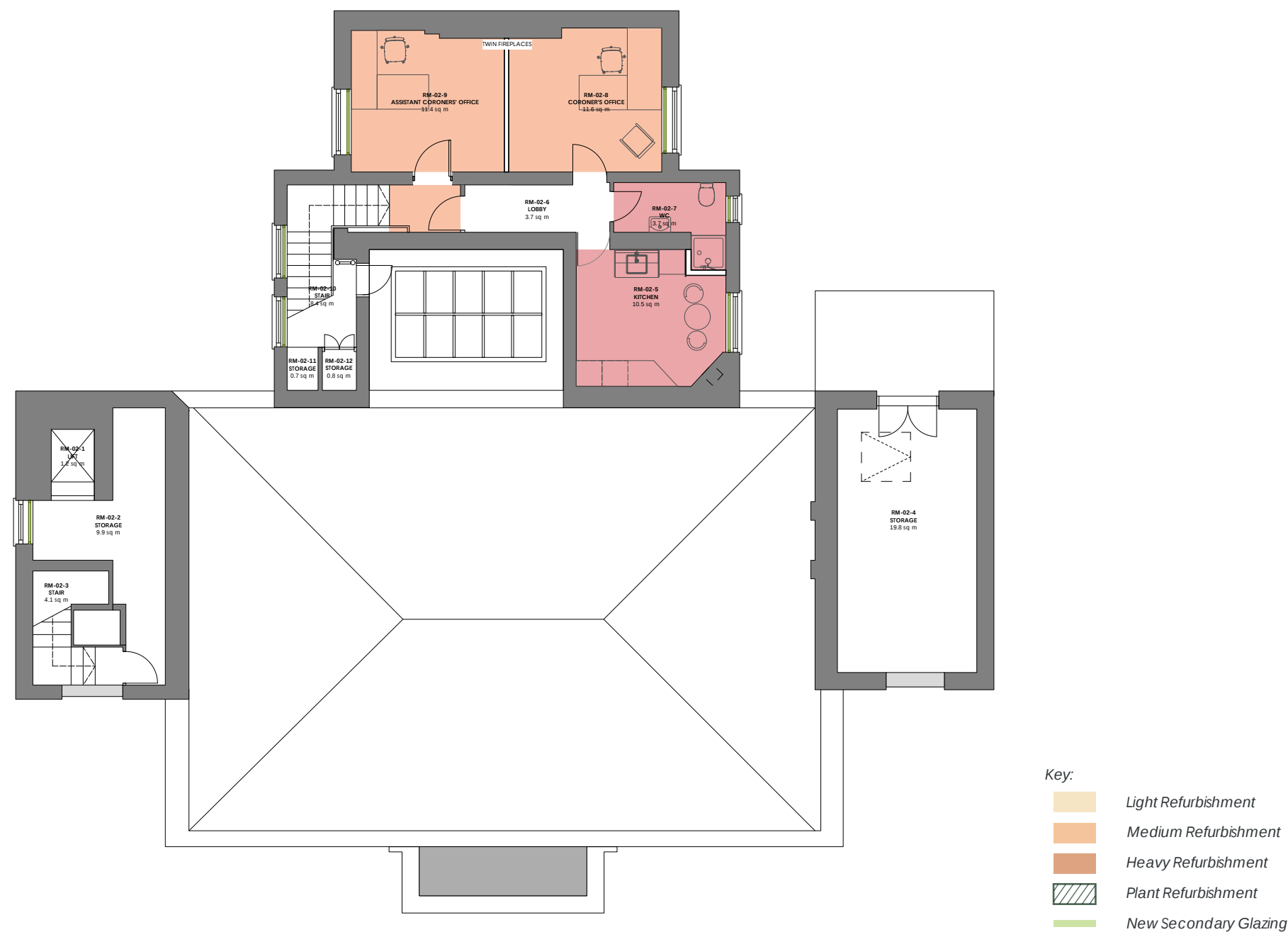
3.6 Architectural Strategy - Accommodation & Layout



Proposed First Floor Plan

Brief Requirements - First Floor	
Brief Requirements	Design Response
Large Coroner's Court	The existing large Coroner's Court will remain in situ, with the removal of the intrusive bulkhead and sliding partition. Some light tough refinishing will be required where the partition is removed. See MEP proposals in Appendix C for full scope of works within the existing chandelier vents.
Jury Room & Jury Tea Point	It is proposed that the Jury spaces be refurbished.

3.6 Architectural Strategy - Accommodation & Layout



Proposed Second Floor Plan

Brief Requirements - Second Floor	
Brief Requirements	Design Response
Office accommodation for the Senior Coroner	A new partition subdivides the room along the historic dividing line of the space in order to give the Senior Coroner a private office. This will also allow the offices to have two separate entrances.
Office accommodation for 3no. Assistant Coroners	The proposal creates space for 1no. Assistant Coroner through a new partition and new door from the corridor. The remaining 2no. Assistant Coroners will be located in the Basement.
WC & Shower Room	The proposal addresses the Client desire for the existing WC to be reconfigured so that the shower is separated from the toilet. This approach requires the extension of the room into the Tea Point.
Tea Point	The existing Tea Point was not initially in the Scope; however, due to the extension of the adjacent WC & Shower Room, general refurbishment is proposed in this space.

3.6 Architectural Strategy - Accommodation & Layout

Scope of Works
An approximate overview of the refurbishment scope has been listed below. This will be further developed in later design stages. For full Scope of Works drawings, refer to Appendix B. For full costing details, refer to Appendix D.

- Light:*
- New paint finish to walls
 - New paint finish to ceilings
 - New paint finish to joinery
 - New floor finishes
- Medium:*
(In addition to points above)
- New fixtures & fittings
 - New lighting
 - Adaptations to partitions
 - Adaptations to joinery/doors/windows
 - Adaptations to services

- Heavy:*
(In addition to points above)
- New partitions
 - New ceilings
 - New wall finishes
 - New joinery/doors/windows

- Plant Refurbishment:*
- New services and connection works
 - Opening up works for ducts, risers, etc.
 - Refer to Appendix C for MEP full scope of works

Bromley Public Hall - Proposed Scope of Works by Floor			
Room	Area	Area	
	sq.m	sq.ft	
Basement			
Light	0.0	0	
Medium	45.0	484	
Heavy	74.9	806	
Plant Refurbishment	148.1	1594	
Ground Floor			
Light	42.8	460	
Medium	27.2	777	
Heavy	119.9	1290	
Plant Refurbishment	168.4	1812	
First Floor			
Light	32.3	347	
Medium	8.1	87	
Heavy	0.0	0	
Plant Refurbishment	4.0	43	
Second Floor			
Light	0.0	0	
Medium	24.8	266	
Heavy	14.2	152	
Plant Refurbishment	0.0	0	
External Elevations			
Light	0.0	0	
Medium	0.0	0	
Heavy	3.0	32	
Plant Refurbishment	23.2	249	

Bromley Public Hall - Proposed Scope of Works Totals			
Room	Area	Area	
	sq.m	sq.ft	
Total			
Light	75.1	808	
Medium	105.1	1131	
Heavy	212.0	2281	
Plant Refurbishment	343.7	3699	

3.6 Architectural Strategy - Accommodation & Layout

Accommodation Provided
Below is a summary of the type and amount of areas provided:

- 1no. Reception Desk providing space for 2no. staff
- 2no. Offices for Coroners Officers providing max: 20no. desks
- 1no. Administrators office providing max: 6no. desks
- 1no. Large Courtroom w/ Jury
- 1no. Medium Courtroom w/out Jury
- 1no. Small Courtroom w/out Jury
- 1no. Jury Room
- 3no. Family Rooms
- 1no. Senior Coroners Office providing max: 1no. desks
- 3no. Assistant Coroners Offices providing max: 4no.desks
- Plant, Comms Rooms, & External Plant Area
- Ground Floor WCs only and 1no. Shower Room on the Second Floor
- 1no. Tea Point on the Second Floor

Bromley Public Hall - Proposed Areas of Work			
Room	Area	Area	
	sq.m	sq.ft	
Basement			
Waiting Room	19.7	212	
Small Coroner's Court	25.3	272	
Storage	9.5	102	
Stair	12.6	135	
Lobby	6.5	69	
Family Room 1	8.6	92	
Electrical Cupboard	1.0	10	
Family Room 2	8.0	86	
Comms	8.9	95	
Family Room 3	15.1	162	
Staff Room	17.0	182	
Male WC	2.9	31	
Female WC	1.5	16	
Assistant Coroner's Office	11.4	122	
Assistant Coroner's Office	15.4	165	
Plant	10.4	111	
Plant	1.1	11	
Subtotal of Areas of Work	174.9	1882	
Total Basement GIA	237.1	2180	
% of Total Floor GIA	73.7%		

Bromley Public Hall - Proposed Areas of Work			
Room	Area	Area	
	sq.m	sq.ft	
Ground Floor			
Public Service Area	8.5	91	
Administration	19.2	206	
Coroner's Officers 1	22.7	244	
Reception	28.9	311	
Medium Coroner's Court	53.2	572	
Male WC	1.3	13	
Lobby	2.2	23	
Female WC	7.6	81	
Coroner's Officers 2	32.9	354	
Stair	8.7	93	
Circulation	5.2	55	
(excl. in subtotal) Exterior Plant Area	29.5	317	
Subtotal of Areas of Work	190.4	2049	
Total Ground Floor GIA	265.1	2475	
% of Total Floor GIA	71.8%		

Bromley Public Hall - Proposed Areas of Work			
Room	Area	Area	
	sq.m	sq.ft	
First Floor			
Juror's Room	32.3	347	
Large Coroner's Court	141.3	1520	
Subtotal	173.6	1868	
Total First Floor GIA	268.3	2624	
% of Total Floor GIA	64.7%		
Second Floor			
Kitchen	10.5	113	
WC & Shower Room	3.7	39	
Coroner's Office	11.6	124	
Assistant Coroner's Office	11.4	122	
Stair	8.4	90	
Subtotal	45.6	490	
Total Second Floor GIA	91.2	953.6	
% of Total Floor GIA	50.0%		
Total			
Total GIA	861.7	8234	
% of Total GIA	67.8%		

Note: these areas do NOT include spaces outside of the scope of works.

3.7 Architectural Strategy - Materials & Appearance



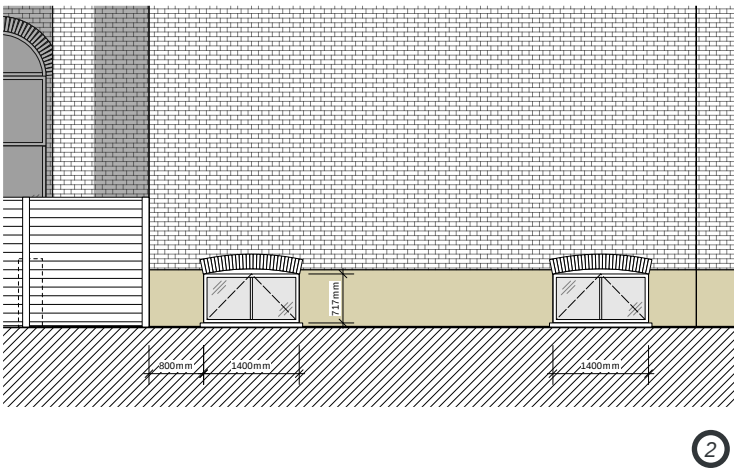
Proposed West Elevation



Proposed Rear Elevation



Proposed External Plant Space



Proposed Basement Clerestory Windows



Close Boarded Timber Fencing



Existing Rear Windows on Bromley Public Hall

The proposed external plant location is intended to be concealed by a secured, close-boarded timber fence. Any noise mitigation strategies will be developed further in RIBA Stage 3.

In order to provide space for 2no. Assistant Coroners' Offices in the Basement, 2no. clerestory windows are proposed for the rear elevation. It is intended that the materiality and detailing will be in keeping with the existing windows through gauged brickwork arches and stone sills. All proposals are to be reviewed by the Heritage Consultant to ensure no negative impact on the historic fabric.

3.8 Architectural Strategy - Interior Design

Due to the significant and well preserved historic fabric in Bromley Public Hall, a detailed catalog of existing heritage features and interior design strategy is being developed separate from this RIBA Stage 2 report.

This section describes an overview to the proposals.

SPAB Approach

It is intended to incorporate conservation philosophy into the proposal in order to ensure the retention of the sensitive historic fabric. Below are excerpts of relevant guidance when working with a historic building from the SPAB Approach:

Conservative Repair

The SPAB Approach champions ‘conservative repair’ in opposition to ‘restoration’. Conservative repair can embrace a wide range of techniques. Its aim is to retain as much as possible of a building’s historic fabric. Sometimes it involves matching the existing materials of a building and sometimes use of compatible alternatives. Conservative repair is based on thorough investigation and understanding of the whole building and of the element directly concerned. It requires careful planning and appropriate craft skills. A good repair deals quietly and modestly with a problem, with a skilled repairer knowing when to hold back and when to intervene with the aim that work is done quietly, modestly and humbly but effectively.

Fitting New to Old

The SPAB Approach calls for new work to be fitted to the old. All too often, old work is cut back or levelled off to make the job of inserting the new simpler. Modelling the new to fit the old can be more complex and technically challenging, but it is necessary to ensure protection of an old building’s surviving fabric.

Materials

A careful choice of materials is essential to the sympathetic and effective repair of old buildings. Often it is best for new materials to match the old, ensuring fabric remains compatible in terms of structural movement or ‘breathability’.

Sometimes though, use of alternative materials may be more fitting and effective, allowing new work to be distinguished from the old, and illustrating that an intervention has occurred. Equally, use of alternative materials can sometimes assist the maximum retention of historic fabric.

Good New Design to Complement the Old

The Society recognises that, from time to time, old buildings may need sympathetic alteration, adaptation or extension to ensure their continuing usefulness. There are occasions, the SPAB Manifesto argues, when it may be better to leave an old building unaltered and to build a new one if the adaptation required would involve serious damage. These cases are the exception. Generally, modest, sympathetic new works allow continuing life for old buildings and can contribute positively to their interest and story. Further alterations and additions, the Society believes, are best when they complement what exists. They should not compete unduly with the old building in form or position; nor should they mimic the original or pretend to be historic. They should fulfil modern needs in a way that respects both the old building’s form and context. The new should not harm the old where they meet, nor create problems with future maintenance.

Spatial Zoning

In addition to the overall conservation guidance, it is intended to categorize different spaces into “zones” based on their use. This will allow a consistent palette to be applied throughout the building which will identify primary, secondary, and tertiary spaces in addition to aiding users through wayfinding.

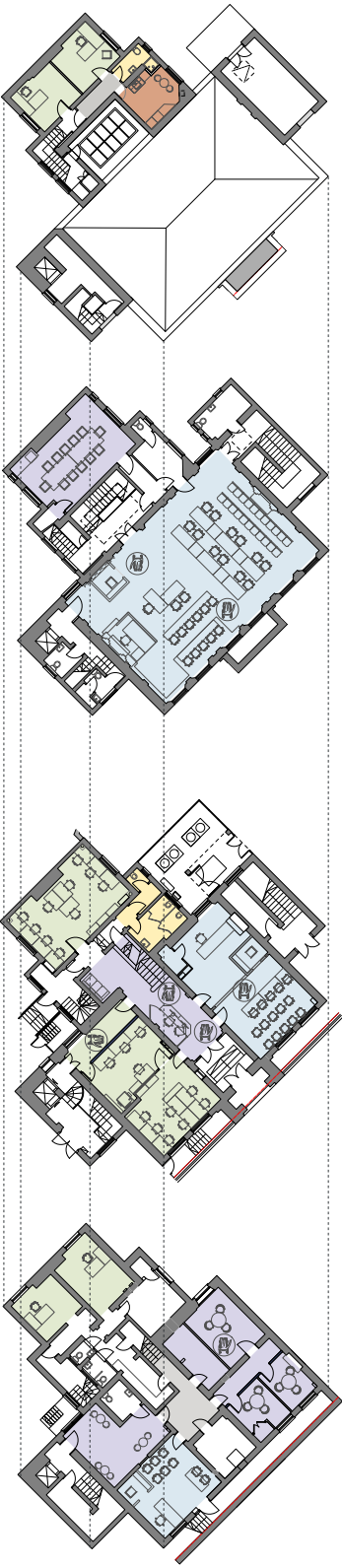
The proposal has identified the following zones:

- Courtrooms
- Public spaces
- Staff offices
- Circulation
- WCs & shower
- Kitchen

These zones and their corresponding palettes will be developed in the next stages.

Key:

- Zone 1 - Courtrooms
- Zone 2 - Public spaces
- Zone 3 - Staff offices
- Zone 4 - Circulation
- Zone 5 - WCs & shower
- Zone 6 - Kitchen



Spatial Zoning

3.9 Sustainability

Sustainability is a top priority in the design proposal as well as Tower Hamlet’s Local Plan 2020 and the London Borough of Camden’s 2030 climate action plan. The following are strategies to be explored as the design progresses.

Low Carbon Design

Embodied Carbon

By utilising the existing building envelope and incorporating a light touch philosophy to the interior, the proposal significantly reduces its contribution to overall embodied carbon. It is also intended to use low carbon products, such as limewash paint or similar, for any interior strategies.

Operational Carbon

As a part of the London Borough of Camden’s climate action plan, the Borough has committed to reducing carbon emissions to net zero by 2030. The action plan states that currently, electricity and gas used by buildings for power and heating makes up approximately 85% of the direct carbon dioxide emissions in the Borough.

Due to the age and fabric of Bromley Public Hall, it is likely to have a high heat loss and therefore energy inefficient. However, potential improvements to improve the fabric performance are extremely limited due to the building’s Grade II Listed status. Despite this, fabric improvements should be considered in order to reduce demand on any space heating or cooling systems.

In terms of thermal efficiency, the main hall benefits from historic secondary glazing to the tall front elevation casement windows. More lightweight secondary glazing is proposed for the other windows in the building as they all have plain reveals which could accommodate a secondary glazing system without harming the building’s special interest. The windows to the rest of the building are single glazed timber framed sash windows. As it is possible the local Conservation Officer would reject proposals to replace the existing units with double glazed alternatives, it has been determined that the installation of secondary glazing would be the most

acceptable way to improve the thermal performance of the existing heritage fabric.

Additionally, fabric improvements such as interior insulation might be considered in key locations. However, due to the Listed Building status and important historic features such as internal pilasters and moulding, this would likely be viewed as detrimental from a conservation perspective.

Finally, the existing domestic hot water provision is currently generated via direct electric means and space heating systems using gas. The latter is becoming less favourable on air quality and carbon grounds, and therefore replacements should be considered. Various electrically driven systems, such as Air Source Heat Pumps (ASHP) or direct electric approaches, have been considered and are incorporated into the proposal. The intended location of the heat pump is along the southwestern elevation, neatly hidden from street view and any entrances. Other locations, such as the roof, were considered, but deemed unacceptable due to the intrusive fabric interventions which would be required.

In summary, areas where operational carbon usage of the building could be reduced are as following:

- Secondary glazing to existing windows
- Fabric improvements such as interior insulation (it is noted that due to the Listed Building status, this is an unlikely option)
- The installation of a new air source heat pump for heating and hot water

Water Use

Where works to water installations, sanitaryware and brasswear are proposed, it is intended to use low water use fittings, with the following water usage:

- 3.5l/m taps wash basins
- 8l/m showers
- 5l/m taps to kitchenettes
- 3.375l effective flush WCs

Connectivity & Transport

The site is well positioned near multiple bus routes, Bow Church and Bow Road Station. The majority of the surrounding area is rated by Transport for London as having a Public Transport Accessibility Level (PTAL) of 6a, of the best rating.

The Bow Road neighbourhood is walkable and has cycle lanes along multiple main roads.

The front of the site is bordered by Bow Road, and the rear by Rainhill Way, where there is a car park, allowing for easy vehicular access.



Examples of secondary glazing to historic windows

3.10 Technical Strategy - Fire

A Fire Risk Assessment of Bromley Public Hall was undertaken in January 2024 by Frankham RMS.

The following risks were identified:

- Low accessibility of fire escape routes for disabled members of the public;
- No evidence of most recent electrical inspection;
- No evidence of routine maintenance or inspection of lightning protection system;
- Breaches of compartmentation where data cabling passes through walls in the basement server room;
- Concern of fire door compliance;
- Unclear fire evacuation procedures;
- Fire evacuation drills are not currently undertaken with users;
- Fire safety training has not been provided for the users;
- Lapses in frequency of weekly fire alarm testing;
- Need for additional internal emergency escape lighting as well as further review of power compliance;
- Need for further review of external emergency escape lighting;
- No evidence of monthly inspections / testing of the emergency lighting systems.

For the full Fire Risk Assessment, see Appendix E.

The report found the building to present a moderate risk and recommended that remedial efforts are essential to reduce risk and harm to occupants.

The majority of the recommendations require management action; in situations where accessibility, building fabric, and services are involved, the Design Team will endeavor to respond to them through any proposals.

To demonstrate compliance with these Building Regulations, the design should adopt the requirements of contemporary fire safety guidance (e.g. Approved Document Part B). A fire consultant will be brought into the team to further develop the fire strategy for the project.

3.11 Technical Strategy - Structure

Structural interventions include the removal of sections of the rear wall to create 2no. new clerestory windows in the Basement; structural input will be required when detailing the openings and lintels.

While some internal walls are to be removed, the majority are modern installations and presumed to be non-load bearing. No propping or additional superstructure is anticipated. However, it is intended that a Structural Engineer be appointed to the Design Team to review all proposals and advise on any precautions to be made prior to any works being carried out.

3.12 Technical Strategy - Services

The following section is an overview of the MEP strategies regarding the proposals. For more information, refer to Appendix C.

While early studies identified that existing MEP installations appear well maintained, a number are nearing end of life and will soon need to be replaced, irrespective of proposed remodelling works. Significant items include the following:

- Central thermal energy generation plant - the existing boiler is nearing 20 years old and will require replacement;
- Main electrical equipment - the primary electrical infrastructure is life expired and non-compliant, therefore necessitating replacement.
- Comfort cooling installations - the existing provisions are life expired.

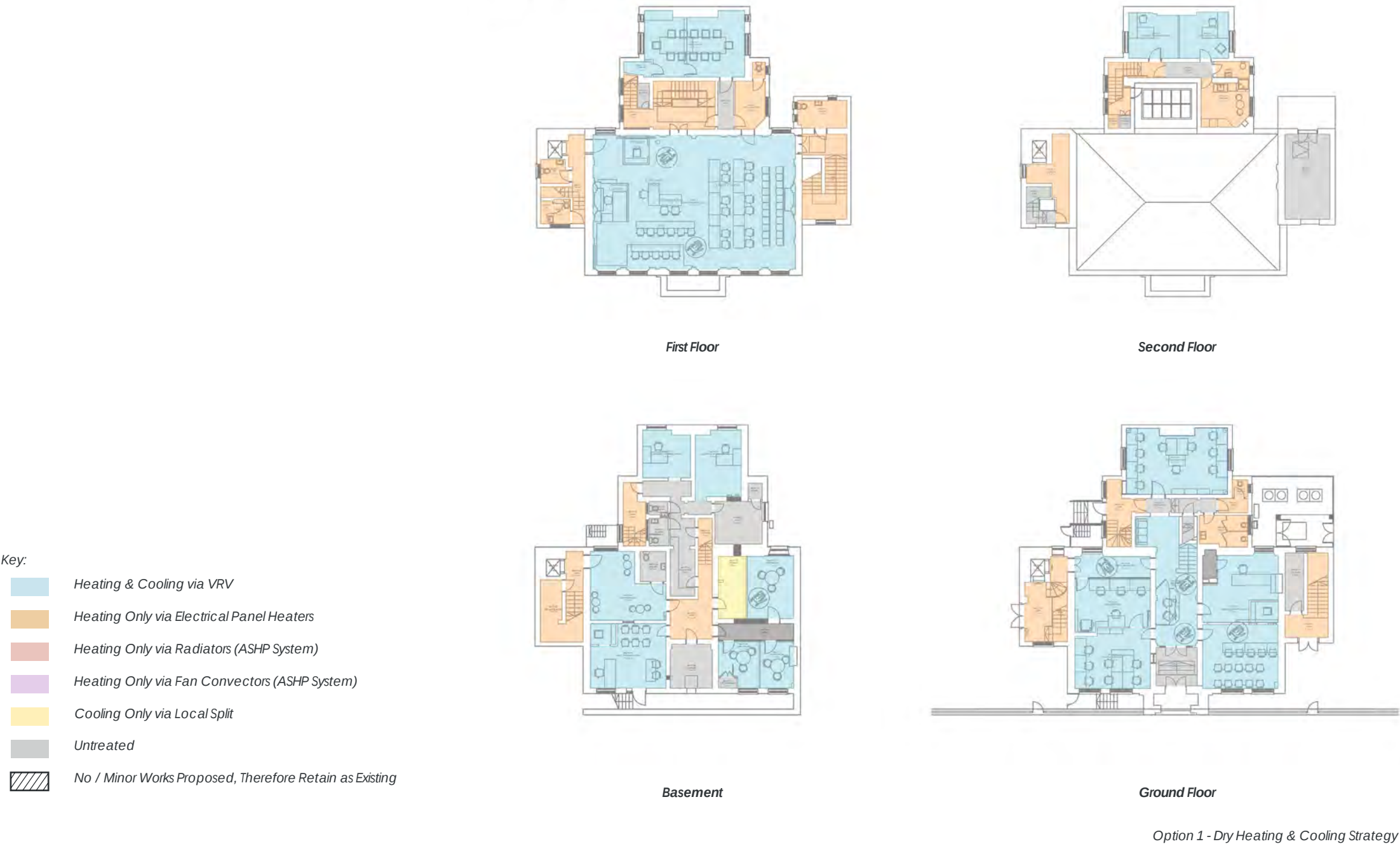
Heating & Cooling

FLOH has developed 2no. options for the heating and cooling of the building, as described below:

Option 1 - “Dry”

- Heating and cooling allocation to the different areas will be achieved through a combination of a refrigerant based VRV system to primary spaces and direct electric panel heaters to transient spaces.
- Some areas receiving cooling do so as a by product of the VRV system.
- Terminals on the VRV system will be served by a series of refrigerant pipelines.

Generally, Option 1 is considered the most efficient strategy given the existing conditions, however both options will be reviewed further during design development. For detailed drawings, see Appendix C.



3.12 Technical Strategy - Services

Option 2 - “Wet”

- Heating and cooling allocation to the different areas will be achieved through a combination of fan convectors and radiators served by an Air Source Heat Pump (ASHP) based heating system.
- In areas where cooling is expected – namely the Courtrooms and higher density office spaces, a refrigerant based VRV system is also proposed which will take the place of the wet system in these areas.
- Terminals on the ASHP system will be served by heating flow and return pipelines.

For detailed drawings, see Appendix C.



First Floor



Second Floor



Basement



Ground Floor

Key:

Heating & Cooling via VRV

Heating Only via Electrical Panel Heaters

Heating Only via Radiators (ASHP System)

Heating Only via Fan Convectors (ASHP System)

Cooling Only via Local Split

Untreated

No / Minor Works Proposed, Therefore Retain as Existing

Option 2 - Wet Heating & Cooling Strategy

3.12 Technical Strategy - Services

Ventilation

An overview of proposed ventilation services is described below:

- New mechanical ventilation installations throughout all proposed Courtrooms and offices to the front of the building, as windows will need to be kept closed to suit the space requirements;
- Natural ventilation via opening windows to office areas to the rear of the building;
- Overhaul of the existing mechanical ventilation system serving the First Floor Courtroom;
- Replacement of the local fans serving existing WC and kitchenette areas.

Due to concerns about the depth of the ceiling void and historic fabric, the strategy aims to avoid using the roof space over the main Courtroom on the First Floor. All services will be routed as to avoid access and coordination issues associated with this space.

As the existing suspended ceiling in the Ground Floor rear offices are to be removed, proposals will avoid locating any equipment in the void.

Plant Space

While multiple locations for plant spaces were reviewed by the Design Team, in order to be sensitive to the proposed layouts as well as heritage value, it is proposed to create an external plant compound to the rear of the building at ground level. The compound generally supports either of the Heating & Cooling options and is compatible with the ventilation strategy.

Domestic Services

Other than reconfiguration of the Second Floor kitchenette and shower room and general sanitaryware replacement on the Ground Floor, no works to domestic services are proposed.

Electrical & Lighting Services

The proposals for replacement electrical installations are as follows:

- Upgrade of existing supply to serve new electric driven heating plant and additional cooling and ventilation systems;
- Main distribution equipment at basement level and reconfiguration of associated enclosure;
- Replacement submains installations throughout;
- New local distribution and outlets to suit new layouts throughout;
- Replacement lighting installations and associated controls throughout;
- Reconfiguration of data installations to suit new layouts.

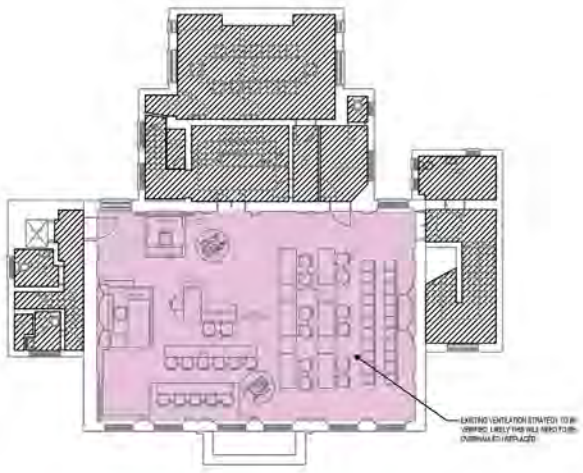
Sustainability

It is acknowledged that the London Borough of Camden has committed to reducing carbon emissions to net zero by 2030. Therefore, the MEP proposal seeks to increase energy efficiency and remove reliance on gas heating systems.

Flat roof space on the east and west stairwells have been identified as potential locations for photovoltaic (PV) panels. This strategy will be incorporated in all options to offset electrical demand.

Key:

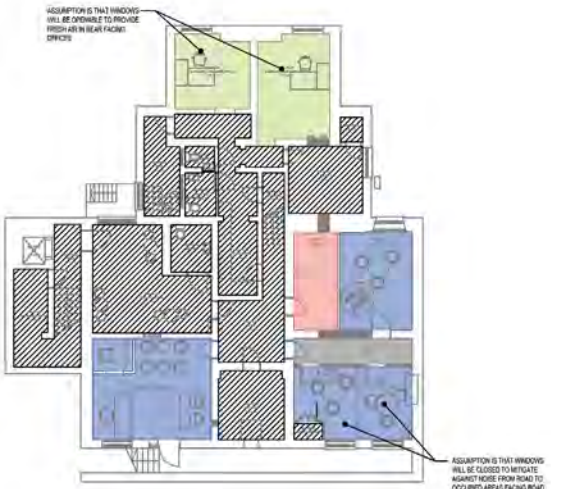
- Naturally Ventilated
- Extract Ventilation
- Assisted Extract Ventilation
- Supply & Extract Ventilation for Minimum Fresh Air
- Untreated (No Openings)
- No / Minor Works Proposed, Therefore Retain as Existing



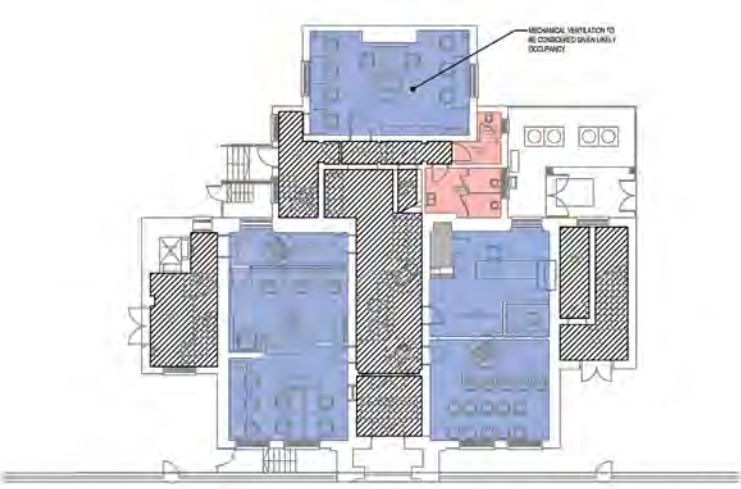
First Floor



Second Floor



Basement



Ground Floor

Ventilation Strategy

3.13 Technical Strategy - Acoustics

As Air Source Heat Pumps (ASHPs) are proposed for the MEP strategy, it is recommended that a Noise Impact Assessment is undertaken during RIBA Stage 3 to provide benchmarking for any noise mitigation strategies.

Where necessary, acoustic enclosures will be utilised so that there is no impact on the function of the building.

3.14 Technical Strategy - Access

The proposed scheme will not result in any change to the existing site at Bromley Public Hall regarding building access, with the main public entry to the front of the property along Bow Road retained. The secondary public entry on the eastern elevation, which is DDA accessible, as well as the rear staff entry, will also be retained.

No new access to the property is proposed.

Any works which reconfigure the internal layout will be compliant with Approved Document Part M regulations.

3.15 Technical Strategy - Refuse & Servicing

Bin Store, Refuse Collection, & Deliveries

Refuse & Recycling

No changes are proposed to the existing refuse and recycling strategies.

Deliveries

Mail and package deliveries will be delivered to the front door along Bow Road and be received by the staff at the main reception desk.

3.16 Technical Strategy - Construction & Phasing

A programme has been developed to project the possible Practical Completion date for the project. Timescales are approximate, and clarification of these, along with deadlines for completion of design or constructions works, are to be confirmed as proposals progress.

A review of the proposed phasing of the works will be reviewed during RIBA Stage 3 and coordinated with operational dates for the Coroner's Court. Dates for court hearings are confirmed far in advance, and currently the Coroner's Court setting dates for hearings in 2025. As such, it not feasible for the Courts to fully cease operations during the construction works.

Therefore, options are being developed which involve the partial closure of the site for short periods of time along with the option of full site closure and temporarily moving the Coroner's Court to a secondary location so that workflows are not entirely disrupted.

4.0 Conclusions

4.1 Conclusion

The proposed design within this report is based on the following:

- The response to the Strategic Brief;
- The response to the constraints of the existing building, including its Grade II Listed status;
- The development of the Client’s Vision and Objectives through discussions and consultations following the issue of Design Options.

Assuch, it represents the RIBA Stage 2 - Concept Design for the proposal and Final Project Brief, and is to be the basis for RIBA Stage 3 - Spatial Coordination stage.

Statement of Need

The London Borough of Camden have refurbished the First Floor of Bromley Public Hall to create a temporary Coroner’s Court, providing 1no. Large Courtroom with jury and jury room to the rear of the site. An application for the regularisation of these works to a Listed Building will need to be submitted to the Local Authority.

As Bromley Public Hall is currently serving as a temporary Coroner’s Court, the Client would also like to review the works required to make this service to be made permanent, and if possible, expanded to include additional courtrooms. A review of the current temporary facility is required to take place to ascertain what works are required to make this facility permanent. Following this, an assessment of the existing building will be made to establish whether it is possible to expand the existing provision, and create the additional courtrooms and ancillary spaces required by the Judiciary and the Ministry of Justice.

All works are to be completed with the local authority providers acting as Clients, with members of the Judiciary as primary Stakeholders.

Client Vision & Objectives

Design

Works to make the temporary court permanent, as well as introduce more court room spaces into Bromley Public Hall, are

to serve to greatly increase the number of cases that can be heard. Along with this, designs should aim to greatly improve transparency in the service, allowing members of the public to enter the building and observe proceedings.

Assuch, proposals are to include 3no. Court room spaces, 2no. more than the current situation, by opening-up and refurbishing various spaces throughout the existing building. As well as the new court accommodation, additional spaces required to support each functioning court, such as Administration Offices, Coroner’s Offices and Family Rooms, are also to be provided. Through the adaptation and refurbishment of other areas of the existing building.

Access into the building for all building users, including Coroners, legal teams, jury members, bereaved families, members of the media and public, along with wheelchair users, is to be improved. A new split between the main ground floor entrance off Bow Road and the side entrance is proposed, to allow for better management of those entering the building, and due to the specific use of the building help prevent interactions between groups who should not be in contact with one another.

The primary elements of work proposed to meet the above are as follows:

Basement

- Creation of a Small Coroner’s Court within the existing Police Consultation Room;
- Relocation of the Comms Room to the side store;
- Creation of 2no. Assistant Coroner’s Offices in the rear stores through the installation of clerestory windows.
- Adaptations to the existing Meeting Room, Store and Comms Room to create 3no. Family Rooms.

Ground Floor

- Creation of a Medium Coroner’s Court through combining the existing Family Rooms and Office to the west of the ground floor;
- Creation of 1no. office for 7no. Coroner’s Officers through

combining the existing Family Rooms to the front of the Ground Floor;

- Creation of 1no. Office for 10no. Coroner’s Officers through combining the existing office and circulation space to the rear of the Ground Floor;
- Removal of the existing reception desk within the central corridor, and creation of a new Reception to the existing office space on the left of the Ground Floor to allow for greater use of the side entrance;

First Floor

- Removal of the existing sliding folding partition, and associated bulkhead, to the Large Coroner’s Court.

Second Floor

- Division of the existing Coroner’s Office to create an Assistant Coroner’s Office and a Coroner’s Office, both with separate entrances;
- Adaptation to the existing WC and shower to increase the size of the space into the adjacent Tea Point, with associated works to the Tea Point to facilitate this.

As well as the progression of designs to create a permanent court, a review of the works previously completed to create the Temporary Coroner’s Court - focussed mainly around the Large Coroner’s Court to the first floor - to establish whether there were any elements that would require retrospective Listed Building Consent has been completed. It has been confirmed that although there are items that will require Listed Building Consent, these are not seen as posing a high Planning risk when retrospective permission is sought alongside any application for the main body of works to create a permanent court.

Consultations

In order for the project to be considered a success, considerable consultation with both Camden’s managing service, who are responsible for operating the site, and the Coroner themselves, is critical to the particular nature of the building. The requirements of a courtroom and its supporting apparatus, along with the specific needs of the Coroner, will

all need to be reviewed and discussed before and during the design process.

Consultations were undertaken with Amal Kunwar, Coronial Services and Business Development Manager for The London Borough of Camden, and Coroner ME Hassell, HM Senior Coroner for Inner North London and East London. The outcome of these consultations solidified necessary space requirements, such as the need for 3no. Courts and increased space for Administrators, Coroner’s Officers, and Family Rooms for the bereaved and their legal teams.

Following the completion of Design Options, a further consultation was completed to establish the Preferred Option, an amalgamation of various elements from each Design Option, along with other features included after further review.

Agreement of the proposal from all interested parties has been confirmed during RIBA Stage 2, which constitutes the Final Project Brief.

The consultation process is to continue throughout RIBA Stage 3 - Spatial Coordination.

Sustainability

The London Borough of Camden and The London Borough of Tower Hamlets have committed to reducing their carbon footprint and are both working towards Net Zero by 2025. In line with both of their sustainability policies, through the utilisation of the existing building envelope and incorporation of a light touch philosophy to the interior, the proposal aims to reduce its contribution to overall embodied carbon.

The opportunity for the incorporation of an air source heat pump (ASHP) and additional secondary glazing to improve the existing fabric will reduce the operational carbon generated by the building.

4.1 Conclusion

Business Case & Project Outcomes

Budget

The requirement for the cost of the projects to meet the available budget of £800,000 was the main business driver for the project. Following completion of the proposed scheme, 2No. Cost Plans were completed which reflect the varying MEP strategies, which can be found in Appendix D. The results are as follows:

- Cost Plan for the “dry system” approach: £901,807.50
- Cost Plan for the “wet system” approach: £1,021,807.50

It is acknowledged that both Cost Plans have come in over the available budget. At this stage, the estimates have been based on rates persquare metre and some Provisional Sums in line with the level of detail provided in RIBA Stage 2. Once the design has been further developed, more accurate costs can be provided in the next stages. There is opportunity to review the scope in RIBA Stage 3.

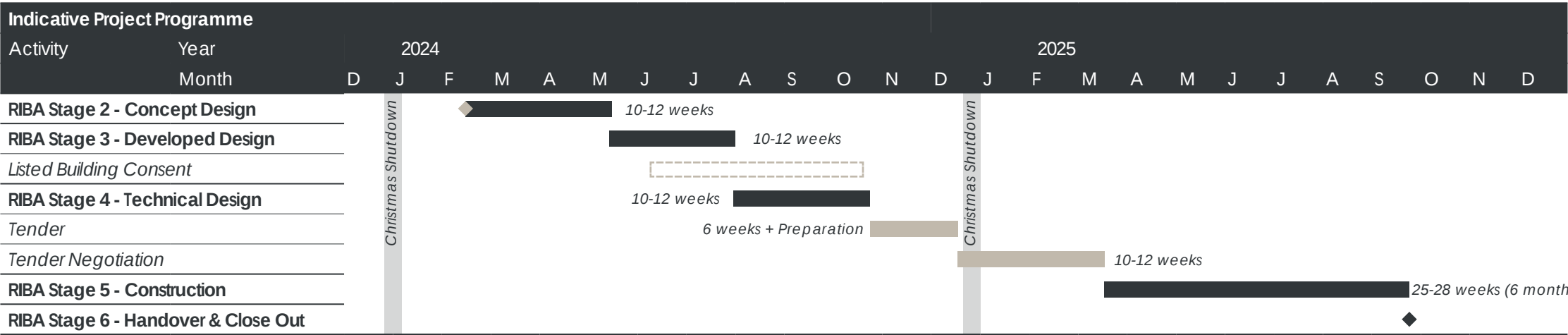
Both Cost Plans have also made provision for a 10% Contingency and a 10% Risk Sum, these have been included to address potential risks such as asbestos removal, services overhaul, and further survey requirements which may be required as the project progresses.

Programme

A programme has been developed to project the possible Practical Completion date for the project. Timescales are approximate, and clarification of these, along with deadlines for completion of design or constructions works, are to be confirmed as proposals progress.

A review of the proposed phasing of the works will be reviewed during RIBA Stage 3 and coordinated with operational dates for the Coroner’s Court. Dates for court hearings are confirmed far in advance, and currently the Coroner’s Court setting dates for hearings in 2025. As such, it not feasible for the Courts to fully cease operations during the construction works.

Therefore, options are being developed which involve the partial closure of the site for short periods of time along with the option of full site closure and temporarily moving the Coroner’s Court to a secondary location so that workflows are not entirely disrupted.



Current Project Programme

4.2 Strategic Brief Benchmarking

4.3 Next Steps

Although the outline requirements of the Strategic Brief have been developed, there have been no deviations from the requirements outlined within it during RIBA Stage 1 and 2.

The next steps in taking the project through to the end of RIBA Stage 3 have been outlined below.

The current programme allows for a period of approximately 3 months to develop detailed design proposals in relation to the current scheme, where the key activities will include:

- Further consultation with Stakeholders and those responsible for the operation of the site;
- Developing the design to incorporate the requirements and proposals of existing and future Design Team members;
- Preparation of information for the submission of the Listed Building Consent and Planning Application;
- Developing interior design concept proposals for the key spaces within Bromley Public Hall;
- Establishing project risks and their potential impact on the available project budget;
- Review of de-canting of Coroner's Court to temporary location whilst works are underway.

Sign - Off Requirements

This report constitutes the RIBA Stage 2 - Concept Design, including consultant information. It has been confirmed by the Client that upon receipt of the Stage 2 Pack, LBC will circulate internally before the project can be signed off for RIBA Stage 3.

Further Consultation

During RIBA Stage 3, we will continue to consult with representatives from the Client and those who manage and operate Bromley Public Hall to ensure that proposals are aligned with their aspirations and ambitions. In addition to the team of representatives from the Client, it is envisaged that the following consultation meetings will be required during RIBA Stage 3:

- *Senior Coroner:* Meeting to be held with the Senior Coroner to review the current proposal so as to align with their needs, specifically around the proposed circulation routes around the building for different End Users.
- *Coroner's Assistants and Coroner's Officers:* Meeting to be

held with Coroner's staff to understand their specific IT and AV requirements for both the offices and the Courtrooms.

- *Administrators:* Meeting to be held with Coroner's staff to understand their specific IT requirements, visitor check in procedures, and review of reception desk concepts.
- *Security:* Meeting to discuss visitor check in procedure, general security, and user circulation.
- *Facilities Management:* Meeting to discuss the daily operation of the Coroner's Court, including waste disposal and collection, cleaning and maintenance of the circulation and offices.

Design Team

In order to continue to develop proposals through RIBA Stage 3, the following list of consultants, beyond those already appointed to the scheme, will likely be required:

- Structural Engineer - to confirm works required to allow for the removal of existing walls to open spaces up;
- Fire Consultant - to review proposals, assess the fire risks of the existing building and use, and produce a fire strategy for the project;
- Acoustic Consultant - to complete a Background Noise Survey and Noise Impact Assessment associated with the proposed ASHPs, and as required by the Local Planning Authority. As well as this, they will be able to provide input on the construction build-ups required to meet the acoustic separation required between various spaces where confidentiality is a requirement.

Following the completion of RIBA Stage 2, and depending on confirmation from the Client, it may be beneficial to appoint a Project Manager to the Design Team. Their services will be able to cover the development of a procurement strategy, as well as provide assistance in managing project risks and budgets.

Surveys & Assessments

Beyond those already commissioned or associated with additional Design Team Members, the following surveys and assessments will be required during RIBA Stage 3:

- Asbestos R&D Survey: Due to the scope of works proposed, an Asbestos R&D Survey will be necessary for the project. As the building is Grade II Listed, the opening up works required to allow for this survey will need to be submitted for Listed Building Consent. A strategy for this is to be developed further.
- Finally, a building survey is also recommended for accurate coordination of works and MEP proposals.

5.0 Appendices

5.1 Appendix A - Heritage Assessment

Heritage Statement
2024.05.27 - The Register Office, Bromley, _Heritage
Statement_v2 The Register Office, Bromley Public Hall
Heritage Statement

5.2 Appendix B -
Architectural Information

Existing Drawings		1146-P322	Existing Site Elevation - Rear w/ Demo
1146-P001	Location Plan	1146-P323	Existing Rear Elevation w/ Demo
1146-P010	Site Plan	1146-P324	Existing Side Elevation - West w/ Demo
		1146-P325	Existing Side Elevation - East w/ Demo
1146-P105	Original First Floor Plan	Proposed Drawings	
1146-P109	Existing Basement Floor Plan	1146-P129	Proposed Basement Floor Plan
1146-P110	Existing Ground Floor Plan	1146-P130	Proposed Ground Floor Plan
1146-P111	Existing / As Built First Floor Plan	1146-P131	Proposed First Floor Plan
1146-P112	Existing Second Floor Plan	1146-P132	Proposed Second Floor Plan
1146-P113	Existing Roof Plan	1146-P133	Proposed Roof Plan
1146-P210	Existing Section AA	1146-P230	Proposed Section AA
1146-P211	Existing Section BB	1146-P231	Proposed Section BB
1146-P310	Existing Site Elevation - Front	1146-P330	Proposed Site Elevation - Front
1146-P311	Existing Front Elevation	1146-P331	Proposed Front Elevation
1146-P312	Existing Site Elevation - Rear	1146-P332	Proposed Site Elevation - Rear
1146-P313	Existing Rear Elevation	1146-P333	Proposed Rear Elevation
1146-P314	Existing Side Elevation - West	1146-P334	Proposed Side Elevation - West
1146-P315	Existing Side Elevation - East	1146-P335	Proposed Side Elevation - East
Heritage Condition Plans		Scope of Works Drawings	
1146-P114	Basement - Heritage Condition Plan	1146-P134	Pro. Basement - Scope of Works
1146-P115	Ground Floor - Heritage Condition Plan	1146-P135	Pro. Ground Floor - Scope of Works
1146-P116	First Floor - Heritage Condition Plan	1146-P136	Pro. First Floor - Scope of Works
1146-P117	Second Floor - Heritage Condition Plan	1146-P137	Pro. Second Floor - Scope of Works
Existing Drawings with Demolition		1146-P138	Pro. Roof - Scope of Works
1146-P119	Basement Floor Demo Plan	1146-P139	Pro. Rear Elevation - Scope of Works
1146-P120	Ground Floor Demo Plan	1146-P140	Pro. West Elevation - Scope of Works
1146-P121	First Floor Demo Plan		
1146-P122	Second Floor Demo Plan		
1146-P123	Ex. Roof Plan w/ Demo		
1146-P125	Ex. Ground Floor RCP w/ Demo		
1146-P220	Existing Section AA w/ Demo		
1146-P221	Existing Section BB w/ Demo		
1146-P320	Existing Site Elevation - Front w/ Demo		
1146-P321	Existing Front Elevation w/ Demo		

5.2 Appendix B -
Architectural Information

Internal Elevations - Existing As Original

1146-P340	Ex. As Original Internal Elevations - First Floor
1146-P341	Ex. As Original Internal Elevations - First Floor
1146-P342	Ex. As Original Internal Elevations - First Floor
1146-P343	Ex. As Original Internal Elevations - First Floor

Internal Elevations - Existing As Built

1146-P344	Ex. Internal Elevations - Basement
1146-P345	Ex. Internal Elevations - Basement
1146-P346	Ex. Internal Elevations - Basement
1146-P347	Ex. Internal Elevations - Basement
1146-P348	Ex. Internal Elevations - Basement

1146-P349	Ex. Internal Elevations - Ground Floor
1146-P350	Ex. Internal Elevations - Ground Floor
1146-P351	Ex. Internal Elevations - Ground Floor
1146-P352	Ex. Internal Elevations - Ground Floor
1146-P353	Ex. Internal Elevations - Ground Floor
1146-P354	Ex. Internal Elevations - Ground Floor
1146-P355	Ex. Internal Elevations - Ground Floor
1146-P356	Ex. Internal Elevations - Ground Floor
1146-P357	Ex. Internal Elevations - Ground Floor
1146-P358	Ex. Internal Elevations - Ground Floor

1146-P359	Ex. As Built Internal Elevations - First Floor
1146-P360	Ex. As Built Internal Elevations - First Floor
1146-P361	Ex. As Built Internal Elevations - First Floor
1146-P362	Ex. As Built Internal Elevations - First Floor

1146-P363	Ex. Internal Elevations - Second Floor
1146-P364	Ex. Internal Elevations - Second Floor
1146-P365	Ex. Internal Elevations - Second Floor
1146-P366	Ex. Internal Elevations - Second Floor

Internal Elevations -Demolition

1146-P367	Demo Internal Elevations - Basement
1146-P368	Demo Internal Elevations - Basement
1146-P369	Demo Internal Elevations - Basement
1146-P370	Demo Internal Elevations - Basement
1146-P371	Demo Internal Elevations - Basement

1146-P372	Demo Internal Elevations - Ground Floor
1146-P373	Demo Internal Elevations - Ground Floor
1146-P374	Demo Internal Elevations - Ground Floor
1146-P375	Demo Internal Elevations - Ground Floor
1146-P376	Demo Internal Elevations - Ground Floor
1146-P377	Demo Internal Elevations - Ground Floor
1146-P378	Demo Internal Elevations - Ground Floor
1146-P379	Demo Internal Elevations - Ground Floor
1146-P380	Demo Internal Elevations - Ground Floor
1146-P381	Demo Internal Elevations - Ground Floor

1146-P382	Demo As Built Internal Elevations - First Floor
1146-P383	Demo As Built Internal Elevations - First Floor
1146-P384	Demo As Built Internal Elevations - First Floor
1146-P385	Demo As Built Internal Elevations - First Floor

1146-P386	Demo Internal Elevations - Second Floor
1146-P387	Demo Internal Elevations - Second Floor
1146-P389	Demo Internal Elevations - Second Floor
1146-P390	Demo Internal Elevations - Second Floor

5.3 Appendix C - MEP Proposals

MEP Emerging Servicing Strategy
F2263-CC-RE-001_RIBA2_Rev00
Report

RIBA Stage 2

5.4 Appendix D - Cost Plan

Stage 2 Cost Plans

5330 / QS	Cost plan Stage 2 dry system option
5330 / QS	Cost plan Stage 2 wet system option

5.5 Appendix E -
Fire Risk Assessment

FRA for Bromley Public Hall
FRMS_ Bromley Public Hall_ Bow Coroners Court_
FRA_804075 Frankham RMS, January 2024

